

Trip Generation Statement

For

Jersey Shore Therapeutic Health Care

Lot 11.01, Block 195

**Township of Brick, Ocean County
New Jersey**



Prepared for:

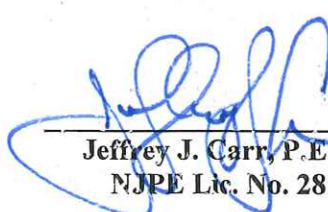
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Project No. 18001

August 8, 2018


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I. INTRODUCTION

A. Purpose of Report

This report has been prepared in fulfillment of the Ocean County Planning Board which requires a traffic statement to be submitted as part of a site plan application to address the proposed traffic conditions. This report presents an analysis of the proposed traffic to be generated by the project once completed and its impact on the County roadway system.

B. Site Description

The subject property is located in the Township of Brick, Ocean County, New Jersey. The site is known as Lot 11.01, Block 195. The property is located at 385 Adamston Road which is also known as Ocean County Route 624. The property is approximately 6.5 acres.

The property includes an existing 1 story brick building having 2,578 square foot of floor area which is located in the front of the site. The property was improved for a bank facility and contains impervious drive aisles and ancillary parking spaces. The remainder of the lot to the rear is entirely covered by woods.

II. PROPOSED CONDITIONS

It is proposed to change the use of the front building from a bank to a medical care patient facility. It is also proposed to construct a 2 story warehouse building having 48,188 square foot of floor area toward the rear of the site. The proposal also includes additional ancillary parking improvements and drive aisles. The warehouse building is proposed to house an indoor cultivation facility where cannabis plants are grown for medicinal purposes.

The medical care patient facility will have one shift per day with a maximum of 12 employees per shift. The hours of operation are Monday through Wednesday 10 am to 6 pm; Thursday and Friday 10 am to 7 pm; and Saturday 9 am to 3 pm. The facility is not open on Sundays.

The indoor cultivation facility will have one shift per day with a maximum of 18 employees per shift. The hours of operation are Monday through Friday 7 am to 7 pm; Saturday 8 am to 4 pm; and Sunday 10 am to 2 pm. The facility will have one security guard on site during unoccupied hours. There will be deliveries in either vans or box trucks three times per week. The deliveries will occur during normal business hours.

The traffic generated by the proposed facilities can be seen in the calculations below.

Medical Care Patient Facility

The estimated 24-hour weekday traffic count for the medical care patient facility is 71 vehicle trips from employees entering or exiting the site during the entire day based on the following:

$5.9 \text{ trips per employee} \times 12 \text{ employees} = 70.8 \text{ or } 71 \text{ vehicle trips/day}$

(Average weekday vehicle trips based on ITE Trip Generations rates for medical office per employee)

The estimated peak-hour traffic count for the medical care patient facility is 16 vehicle trips from employees entering or exiting the site during the peak hours based on the following.

$0.9 \text{ trips per employee} \times 12 \text{ employees} = 10.8 \text{ or } 11 \text{ AM peak hour trips}$

$1.3 \text{ trips per employees} \times 12 \text{ employees} = 15.6 \text{ or } 16 \text{ PM peak hour trips}$

(Peak hour vehicle trips based on ITE Trip Generations rates for medical office per employee)

Indoor Cultivation Facility

The estimated 24-hour traffic count for the indoor cultivation facility is 70 vehicle trips from employees entering or exiting the site during the entire day based on the following:

3.89 trips per employee x 18 employees = 70 vehicle trips/day

(Average weekday vehicle trips based on ITE Trip Generations rates for warehouse per employee)

The estimated peak-hour traffic count for the indoor cultivation facility is 25 vehicle trips from employees entering or exiting the site during the peak hours based on the following:

1.37 trips per employee x 18 employees = 24.66 or 25 AM peak hour trips

1.28 trips per employee x 18 employees = 23 PM peak hour trips

(Peak hour vehicle trips based on ITE Trip Generations rates for warehouse per employee)

III. CONCLUSION

The proposed project consists of a change of use to an existing building from a bank to a medical care patient facility and the construction of a new warehouse building to house an indoor cultivation facility where cannabis plants are grown for medicinal purposes.

There will be an increase in the number of employees on site as a result of the proposed warehouse building and the calculations in this report consider the employees proposed for each use. No large tractor trailer truck deliveries are proposed. Only box trucks or vans will be used at the site.

As set forth above, the proposed project expansion will not significantly increase traffic and is currently not a significant traffic generator. Once the project is completed, there will be adequate parking for employees and adequate onsite traffic circulation. Adamston Road is a County Road. It has adequate capacity to handle the traffic from the site. Once completed, the site will have no negative impact on the County road system.