

Gloucester Soil Conservation District

14 Parke Place Blvd. Suite B Sewell, N.J. 08080 856-589-5250

CERTIFICATION

RICHARD & RUTH PETRIELLO
103 LEWIS COURT
FRANKLINVILLE, NJ 08322

Enclosed is a copy of your certified Soil Erosion and Sediment Control Plan for the referenced project signed by a member of the District Board of Supervisors pursuant to the New Jersey Soil Erosion and Sediment Control Act, N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975.

CERTIFICATION DATE: 3/14/2022

EXPIRATION DATE: 9/11/2025

PROJECT: 103 LEWIS CT - SFR
Application #2022-023
Block Lot
103 LEWIS COURT
Franklin Township

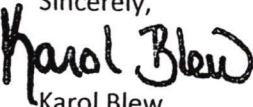
PLAN DATE: 1/14/2022

The requirements of this certification are as follows:

1. The district must be notified in writing at least 48 hours in advance of any land disturbance.
2. Certified copy of the Soil Erosion and Sediment Control Plan must be on site.
3. Any changes in the certified plan relating to, or that will affect land disturbance on the site must be reviewed and approved by the district.
4. Any conveyance of the project (or portion thereof) prior to its completion will transfer full responsibility for compliance to subsequent owner(s). The district must be notified in writing of any new owner(s).
5. No Certificates of Occupancy, temporary or permanent, will be issued by a municipality until a Report of Compliance is issued by the district. **Inspections for a Report of Compliance MUST be scheduled at least 5 business days in advance.**

This certification is limited to the controls specified in this referenced plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency.

Conditions:

Sincerely,

Karol Blew
District Manager

3/14/2022

cc: **Municipal Construction Officer** - Municipal Planning Board - Township Engineer - Design Engineer



2022-023

For District Use Only

APPROVED MAR 14 2022

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975 as amended (NJSA 4:24-39 et. seq.) An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project 103 Lewis Court			Project Location: Municipality Franklin Township		
Project Street Address 103 Lewis Court, Franklinville NJ 08322			Block 5702	Lot 52.03	
Project Owner(s) Name Richard and Ruth Petriello			Email petchx5@comcast.net	Phone # 609-923-0383	Fax # 856-809-0773
Project Owner(s) Street Address (No P.O. Box Numbers) 103 Lewis Court			City Franklinville	State NJ	Zip 08322
Total Project Area (Acres) 1.013	Total Disturbed Area (Acres) 0.16	Total Soil Restoration Area (Acres)	No. Dwelling or other Units 1	Fee \$ 865.00	
Plans Prepared by* Consulting Engineer Services			Email of plan preparer: design@ces-1.com	Phone # 856-228-2200	Fax # 856-232-2346
Street Address 645 Berlin-Cross Keys Rd, Suite 1			City Sicklerville	State NJ	Zip 08081

*(Engineering related items of the Soil Erosion and Sediment Control Plan **MUST** be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13:27-6.1 et. seq.)

Agent Responsible During Construction Gail Hopkins for Schaeffer Family Homes LLC			Email gail@schaefferhomes.com		
Street Address 42 Berlin Road					
City Cherry Hill	State NJ	Zip 08034	Phone 856-809-0010	Fax # 856-809-0773	

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current **Standards for Soil Erosion and Sediment Control In New Jersey** and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

1. To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
2. To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District.
3. To maintain a copy of the certified plan on the project site during construction.
4. To allow District agents to go upon project lands for inspection.
5. That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
6. To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three- and one-half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc. submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* Signature Date 02/22/2022 Applicant Name (Print) Gail Hopkins for Schaeffer Family Homes LLC	3. Plan determined complete: Signature of District Official Date 3/14/22
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official Date 3/13/22	4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official Date 3/14/22

*If other than project owner, written authorization of owner must be attached.

SSCC251 AP10 3/18

APPROVED
AND
CERTIFIED

Jim Hurd
3/14/2022

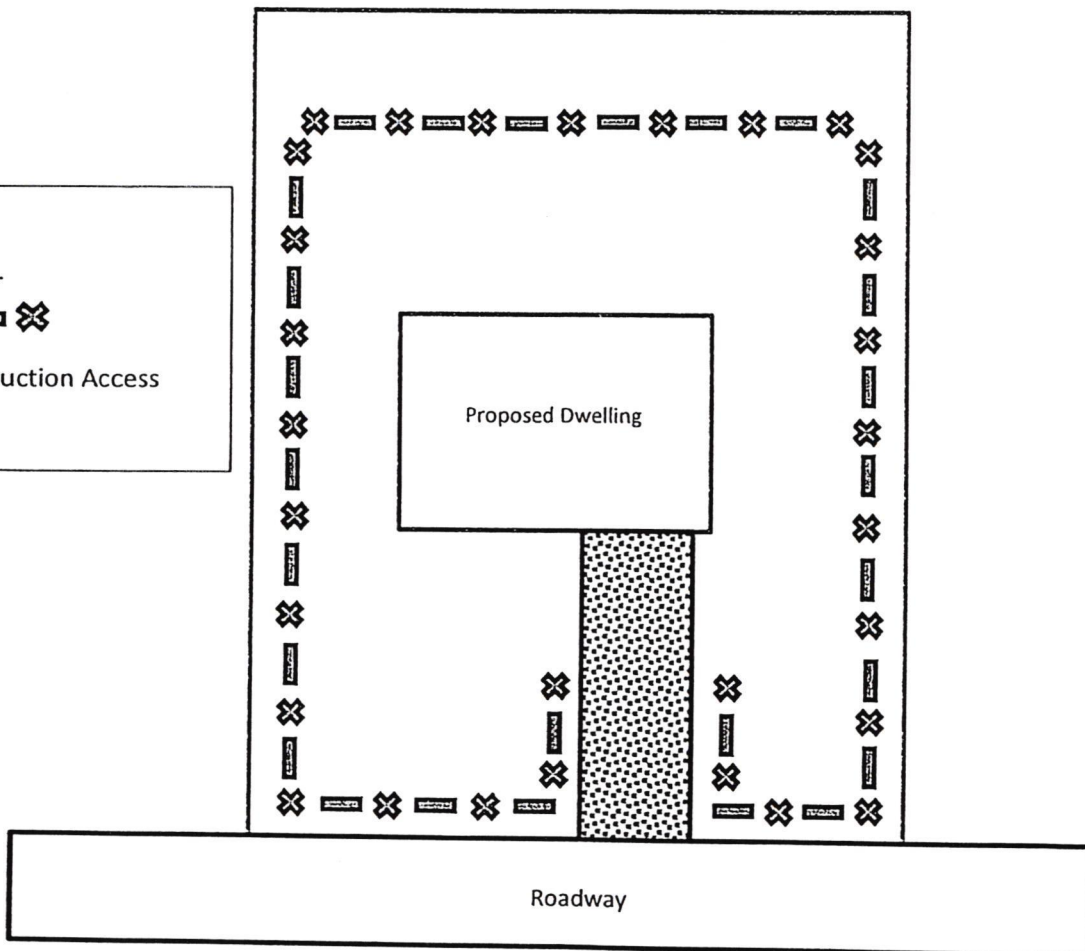
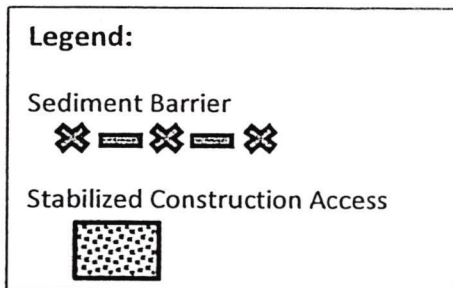
GLOUCESTER SOIL CONSERVATION

Typical Lot Detail

During Construction and/or Lot Area Disturbance
(N.T.S.)

Sediment Barriers are to be installed around perimeter of limit of disturbance for the lot and continued up both sides of driveway – refer to *Standard for Sediment Barriers 23-1*, for examples and installation requirements.

Stabilized Construction Access – Stone Tracking Pad is required at all points of ingress/egress. 2"-2 1/2" clean crushed stone placed 6" thick in area of driveway during construction. Refer to *Standard for Stabilized Construction Access 27-1*.



Note: Responsibility for placement and maintenance of soil erosion control measures on any given lot belongs to the person(s) doing the disturbance or construction

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 ½" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL).
THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
16. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.

18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
3. Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

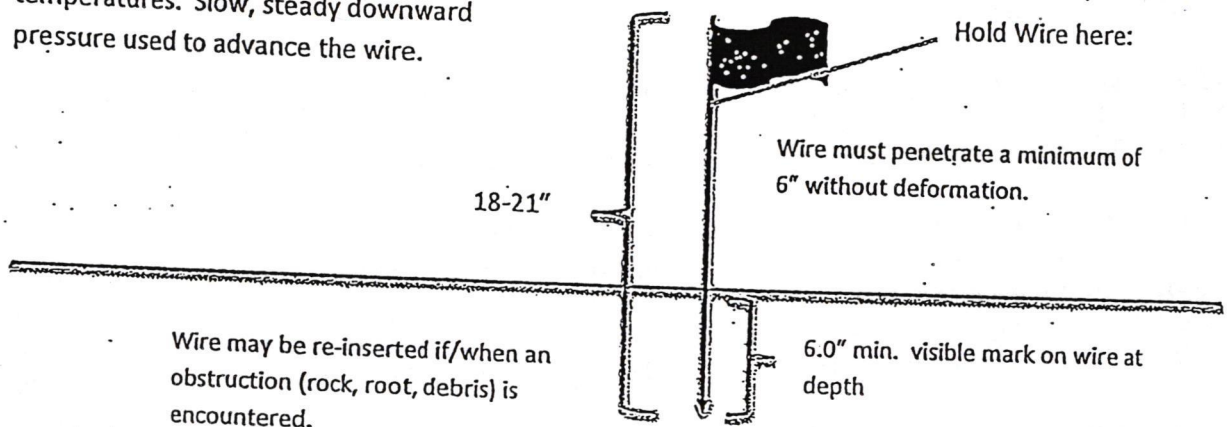
Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted subject to District approval.

Simplified Testing Methods

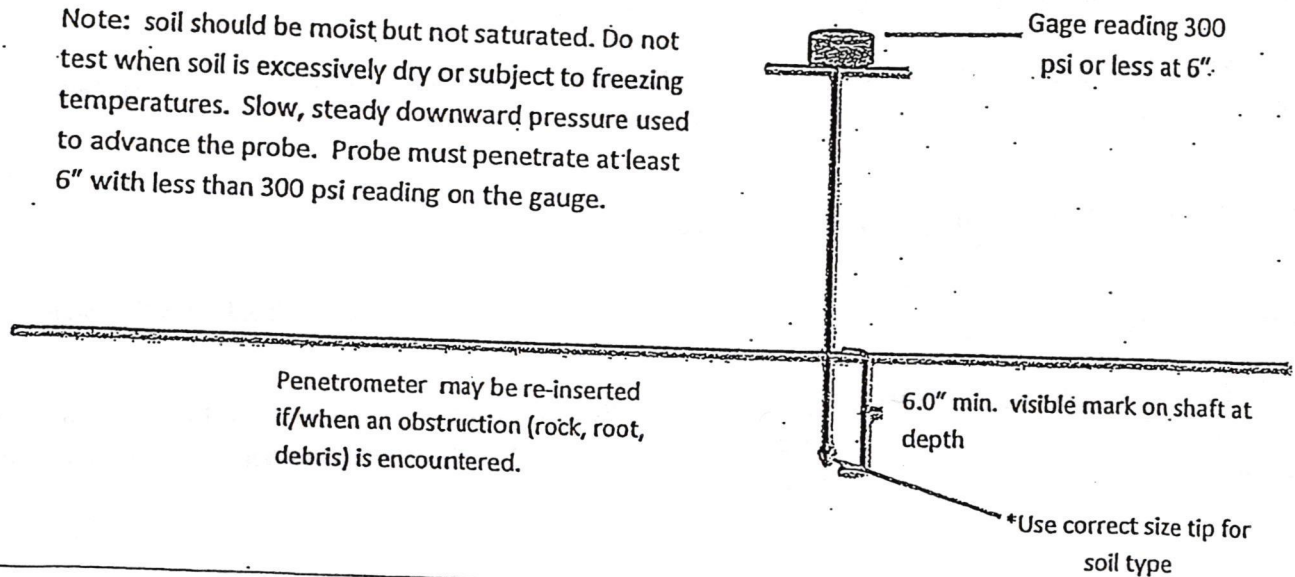
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6\" with less than 300 psi reading on the gauge.



Township of Franklin

Zoning Permit

Application #: **5442** Permit No: **20210217.000** Issue Date: **08/24/2021**

Construction Control Number :

Voucher/Receipt #:	0
Check #:	1378
Amount collected:	\$20.00

Block: **5702** Lot: **52.03**

Qualifier:

Work Site: **103 LEWIS CT**

Zone: **R-A**

Owner: **PETRIELLO, RICHARD & RUTH**

Agent: **PETRIELLO, RICHARD & RUTH**

Address: **103 LEWIS CT**

Address: **103 LEWIS CT**

City/State/Zip: **FRANKLINVILLE NJ 08322**

City/State/Zip: **FRANKLINVILLE NJ 08322**

Telephone: **-**

Telephone: **609 9230385**

Fax: **() -**

Fax: **() -**

EMail:

EMail :

Tenant:

This is to certify that the above-described premises together with any building thereon, are approved for use as indicated below and as depicted on the Plot Plan:

TEMP MOBILE HOME FOR USE WHILE REBUILDING HOME AFTER FIRE WITH TOWNSHIP COMMITTEE APPROVAL

5702-52.03
Which is a:

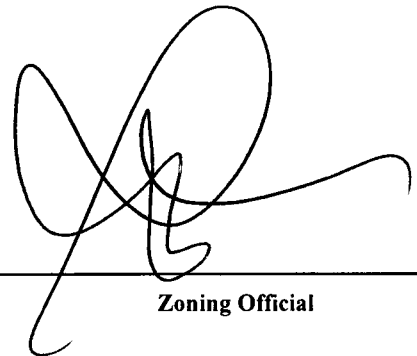
☒ Use permitted by Zoning Ordinance, Article - **XIII-RA** Section - **253-106**

☐ Use permitted by variance approved on _____, # _____ subject to any special conditions attached to the grant thereof.

☐ Valid nonconforming use as established by () findings of the Zoning Board of Adjustment or by () the undersigned zoning officer or by () Planning Board on the basis of evidence supplied by applicant. Conditions, if any:

☐ There is a nonconforming structure on the premises by reason of insufficient

☒ Other: Council Approved Temporary Mobile Home
Construction Permits Required



Zoning Official

This is NOT a Construction Permit

Township of Franklin Community Development Department
1571 Delsea Drive
Franklinville, NJ 08322
(856) 694-1234 ext. 145 Fax (856) 694-2823

AUG 17 2021

5440
Application #
Block 5702 Lot 68 52.03
Fee: Single Family Structure: \$50.00 All other permits: \$20.00

ZONING PERMIT APPLICATION

Zoning permits shall hereafter be secured from the administrative officer prior to the construction, erection, or alteration of any principal or accessory structure or part of a structure, whether or not a construction permit is required, or upon a change in the use of land or a structure. (§253-194.A.)

OFFICE USE ONLY: DATE RECEIVED 8/17/21 RECEIVED BY LR FEE 20 RECEIPT # CHECK # 1378 CASH DATE REVIEWED

Applicant's Name Richard & Ruth Petriello

Mailing Address 103 Lewis Ct

Franklinville State NJ Zip 08322

Tel. # Home 609 923-0385 (Check if unlisted) Work () NA

Name of Property Owner(s) (if other than applicant) Same

Mailing Address Same

State Zip

Project Description (Briefly describe the proposed use, its size, height, # of bedrooms, etc.)

Temp mobile home for use while rebuilding home after fire

Property Location: Street/Road 103 Lewis Ct

Block # 5702 Lot # 68.03 Tax Map Sheet No.

Zoning District R-A Lot Area (Acres) 1.01 (sq.ft)

Present use of the land and/or structure home site

w/ Township
Committee
approval

Proposed development / reason for application (check all that apply):

Type of Use: Residential ☒ Commercial ☐ Industrial ☐

Type of Construction: New Construction ☐ Addition ☐ Renovation ☐

Accessory Structures or Elements: Detached Garage ☐ Deck/Porch/Patio ☐ Fence ☐ Pool ☐

Parking Lot ☐ Sign ☐ Other (Describe) temp. mobile home

Building information: (Attach a floor plan and elevation of the building/structure)

Height: Feet 15 x 20 Stories 1 Building Envelope Area*: sq.ft. Total Coverage*: sq.ft.

Does the property have a garage and/or carport? Yes ☐ No ☒ Area: sq.ft.

Site Plan/Plot Plan of Project:

Attach a copy of the property survey (preferred) or a neatly drawn plot plan, with the date and scale clearly indicated, containing the following information:

- ☒ The zoning district in which the property is located;
- ☒ The location and dimensions of all property lines, easements affecting the property, and streets abutting the property;
- ☒ The location and dimensions of all yards and setbacks required by the Land Development Ordinance (Chapter 253);
- ☒ The location, use and disposition of all existing structures and improvements on the property;
- ☒ A building envelope in which the proposed structure is to be located (Note: this should be larger than the building size);
- ☒ The location and dimensions of the proposed driveway, any proposed accessory structures, any impervious areas (e.g. sidewalks, concrete pads, decks, patios, etc.);
- ☒ The location and dimensions of the septic system, including the disposal field;
- ☒ The location of any proposed water supply well
- ☒ A copy of the resolution pertaining to a variance or temporary use permit affecting the property, if any.

TAX COLLECTORS CERTIFICATION: Taxes Paid per MCST Date 7/29/21
(Authorized signature)

(This section is to be completed by all applicants)

I hereby certify that the information furnished on this application form and all supplemental materials is accurate and true knowing that the Zoning Officer will rely upon its accuracy. I accept all responsibility for any grading, water or drainage issues.

NO STRUCTURES/CONSTRUCTION SHALL BE PERMITTED IN ANY WETLAND AREAS, RIGHT OF WAYS, BUFFERS OR EASEMENTS.

Signature of Applicant

8/17/21
Date

Signature of Property Owner

8/19/21
Date

* Building Envelope calculation should include an additional 3 - 4 ft beyond the foundation area to account for overhangs and projections.
+ Includes all buildings, structures, paving and other impervious surfaces.

Applicants should check with the Construction Department for any additional permits that may be required.

CALL BEFORE YOU DIG FOR UTILITY LOCATIONS 1-800-272-1000

Any building within or adjacent to Atlantic Electric Company easements must first be reviewed and approved by Atlantic City Electric Co. These easements include any easements as shown on the property owner's current survey or plot plan. All inquiries should be addressed to: Atlantic City Electric Co., 5100 Harding Highway, Mays Landing, NJ 08330.

Phone: (856) 694-1234

ZONING BOARD

TOWNSHIP OF FRANKLIN

1517 DELSEA DRIVE
FRANKLINVILLE, NJ 08322

Check from: Ruth Petriello

DATE 8/17/2021

for

Richard & Ruth Petriello 103 Lewis Ct
APPLICANT NAME ADDRESS

2702 / 52.03
BLOCK LOT

\$20.00

Zoning Permit for temporary trailer

Cash or

Check No. 1378

By RP

Ruth Petriello
Richard Petriello
103 Lewis Ct
Franklinville, NJ 08322

Date 8-17-2021

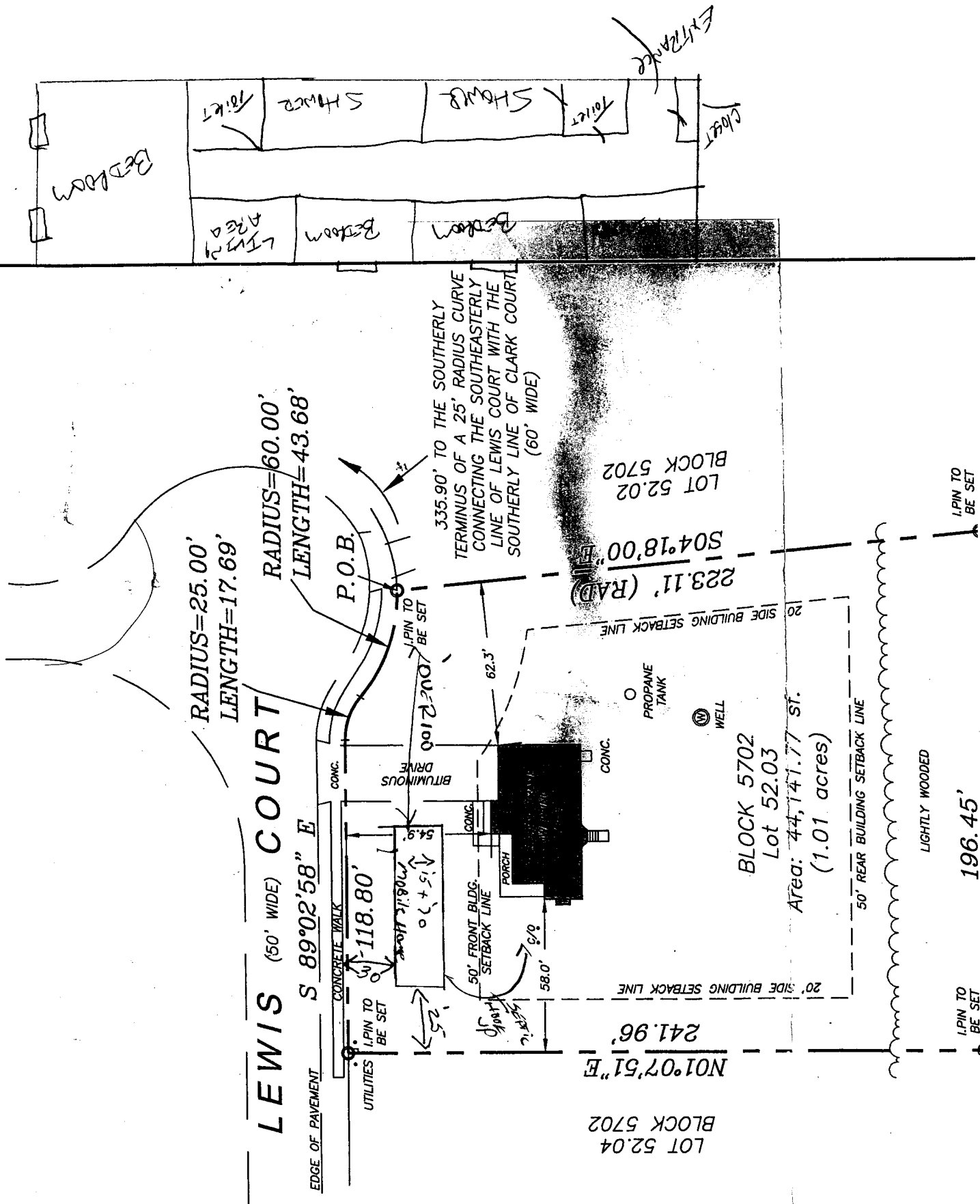
Pay to the Order of Township of Franklin \$ 20.00
Twenty & 00/100

USAA FEDERAL SAVINGS BANK
10750 McDermott Freeway
San Antonio, Texas 78288-9876

For Permit [Signature]

⑆344074269⑆ ⑈108902838⑈ 1378

FILED MAP



LOT 52.04
BLOCK 5702

N01°07'51"E
241.96'

20' SIDE BUILDING SETBACK LINE

Block 5702
Lot 52.03
Area: 44,141.77 sq. ft.
(1.01 acres)

50' REAR BUILDING SETBACK LINE

LIGHTLY WOODED

196.45'

I.PIN TO
BE SET

I.PIN TO
BE SET

LOT 52.02
BLOCK 5702

223.11' (RAD)
S04°18'00"E

20' SIDE BUILDING SETBACK LINE

PROpane
TANK

WELL

CONC.

PORCH

CONC.

50' FRONT BLDG.
SETBACK LINE

CONC.

54.9'

118.80'

CONC.

BITUMINOUS
DRIVE

CONC.

CONCRETE WALK

UTILITIES I.PIN TO
BE SET

EDGE OF PAVEMENT

S 89°02'58" E

50' WIDE

LEWIS COURT

RADIUS=25.00'
LENGTH=17.69'

P.O.B.

RADIUS=60.00'
LENGTH=43.68'

335.90' TO THE SOUTHERLY
TERMINUS OF A 25' RADIUS CURVE
CONNECTING THE SOUTHEASTERLY
LINE OF LEWIS COURT WITH THE
SOUTHERLY LINE OF CLARK COURT
(60' WIDE)

ENTRANCE

TOILET

S HOWER

10'x12'

Bedroom

Bedroom

Bedroom

Living Area



- NOTES
1. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 2. LOT CONTAINS 44,141.77 S.F., MORE OR LESS.
 3. REFERENCE PLAN: "FINAL PLAN OF LOTS, TAX LOTS 39 & 52, BLOCK 5702, FRANKLIN TOWNSHIP, GLOUCESTER COUNTY, NJ" PREPARED BY VARGO ASSOCIATES, DATED 10/09/03, LAST REVISED 11/19/03 AND NOTED AS PROJECT # 02076-MS.

10: RICHARD AND ROUTH FERNILLO
I certify that, to the best of my knowledge and belief, this map or plan is the result of a field survey made on April 18, 2005, by me or under my direct supervision, in accordance with the rules and regulations promulgated by the "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". The information shown hereon correctly represents the conditions found at, and as of the date of the field survey, except such improvements or easements, if any, below the surface and not visible. This certification is given solely to the above named parties except as follows:

A. FOXTONS FINANCIAL, its successors and/or assigns;
B. HOMESTEAD TITLE AGENCY

CAUTION: If this document does not contain a raised impression seal of the professional, it is not an authorized original document and may have been altered.

Edward J. Constantine, Jr.
EDWARD J. CONSTANTINE, JR.
N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 36714

FRANKLIN TOWNSHIP
GLOUCESTER COUNTY, NEW

VARGO
ASSOCIATES
LAND SURVEYING
& PLANNING
Cert. of Authorization # 24GA28021200

Cert. of Authorization # 24GA28021200

2771 ELSEA DRIVE - P.O. BOX 647
FRANKLINVILLE, N.J. 08322 (856) 694-1716
© COPYRIGHT 2005 VARGO ASSOCIATES ALL RIGHTS RESERVED

DATE	SCALE	DRAWN BY	F.BK./PG.	PROJ. NO.
04/18/05	1"=50'	LML	0/0	02076-03

From: zoning@franklintownship.com
Sent: Thursday, January 20, 2022 3:32 PM
To: 'Ruth Petriello'
Subject: Hole on your property exposed

Ruth,
We received a complaint from one of the neighbors that they are concerned about a hole that is exposed on your property. Please ask your husband to put the reflective tape around the hole until it is closed. Usually they just put wood sticks in the ground and the caution reflective tape connecting to the sticks. It will prevent someone from falling in at night, even animals or children. They called construction and they forwarded it to me.

Thank you,

***Rosemary Flaherty
Franklin Township, Gloucester County
Land Use Administrative Officer/Zoning Officer
1571 Delsea Drive
Franklinville, NJ 08322
856-694-1234 ext. 135***

1/20/2022

Engiled owner to put
reflective tape on sinks
around hole-

Tax Account Maintenance

Buttons: Add, Edit, Close, Previous, Next, Detail, Letter, Help

Block: 5702
Lot: 52.03
Qualifier:
Owner: PETRIELLO, RICHARD & RUTH
Prop Loc: 103 LEWIS CT
Account Id: 00008282
Tax Bill
PTR Form

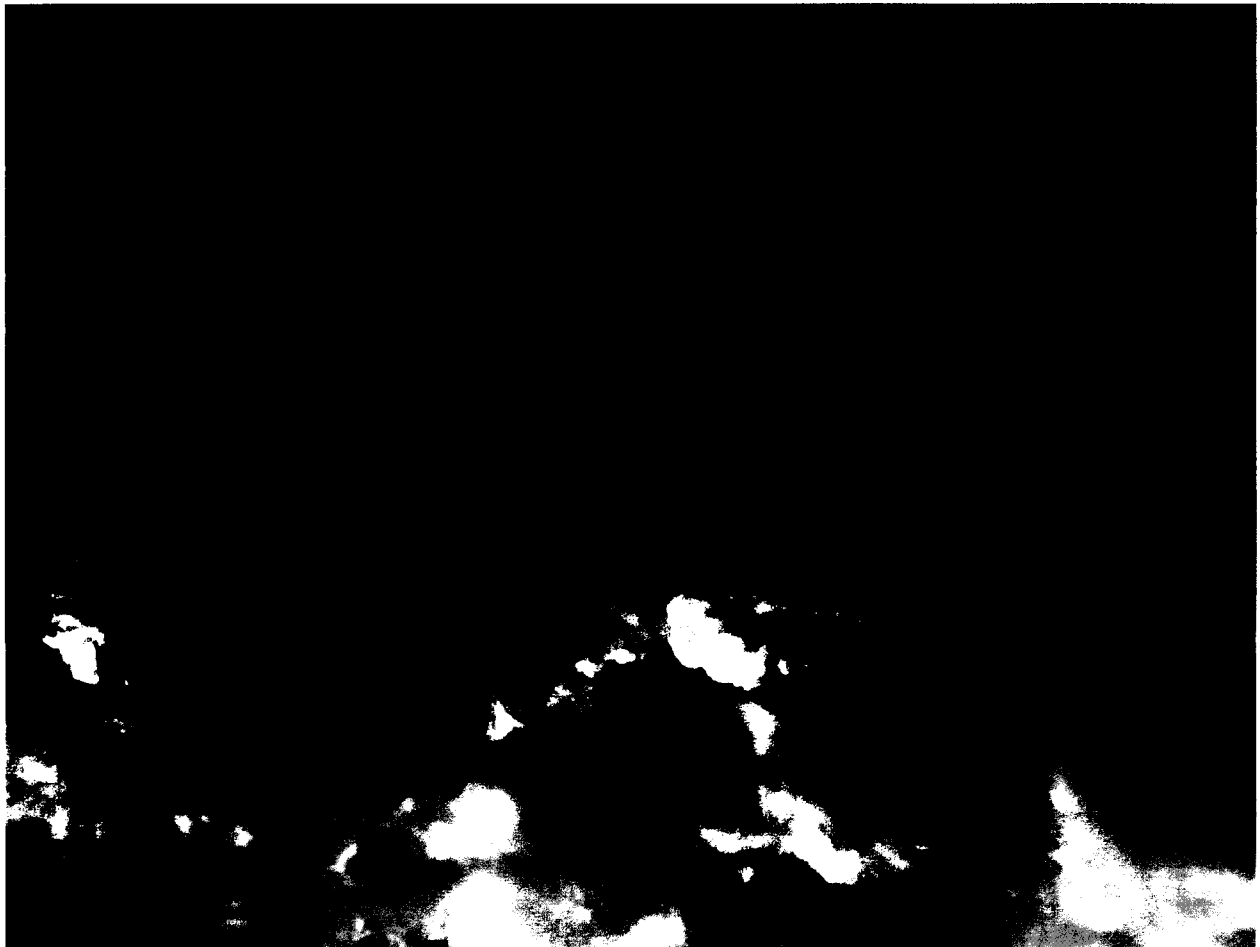
General Assessed Value Additional Billing Deductions Balance All Charges Add/Omit Notes

Owner Street 1: 103 LEWIS CT
Street 2:
City/St: FRANKLINVILLE, NJ
Zip: 08322-
Country:
Phone: () -
Email:
Bank Code: 00660 CORELOGIC TAX SERVICE
Municipal Lien: Assignment: Bankruptcy: APR 2:
Outside Lien: Sp Charges: Install Plan:
Online Payment Restrictions: None

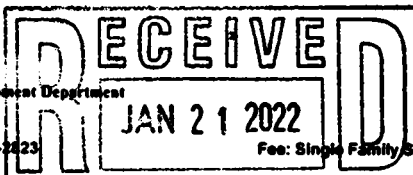
Additional Lot 1:
Additional Lot 2: JEFFERSON III MODEL
Property Class: 2
Parcel Key:
Unpaid Interest: .00
Vendor:
User Msgs:
Exclude from Tax Sale:
Restricted Edit

Large hole in front left opposite Trailer
Been opened for weeks.
Gas Company was out, but on the opposite side.





Township of Franklin Community Development Department
1571 Delson Drive
Franklinville, NJ 08322
(856) 694-1234 ext. 145 Fax (856) 694-2223



Application # 5012
Block 5702 of 5203
Fee: Single Family Structure: \$50.00 All other permits: \$20.00

TOWNSHIP OF FRANKLIN COMMUNITY DEVELOPMENT ZONING PERMIT APPLICATION

Zoning permits shall hereafter be secured from the Administrative Officer prior to the construction, erection, or alteration of any principal or accessory structure or part of a structure, whether or not a construction permit is required, or upon a change in the use of land or a structure. (§253-194.A.)

OFFICE USE ONLY 1/21/22 RECEIVED BY RO FEE 50 CHECK # 1101
DATE RECEIVED _____ RECEIPT # _____ CASH _____ DATE REVIEWED _____

Applicant's Name Richard & Ruth Petriello

Mailing Address 103 Lewis Ct

Franklinville State NJ Zip 08322

Tel. # Home 609 923-0383 (Check if unlisted ☐) Work ☐ NA

Name of Property Owner(s) (if other than applicant) NA

Mailing Address NA

State _____ Zip _____

Project Description (Briefly describe the proposed use, its size, height, # of bedrooms, etc.)

single family home 3 bed rooms

Property Location: Street/Road 103 Lewis Ct

Block # 5702 Lot # 5203 Tax Map Sheet No. _____

Zoning District R-A Lot Area (Acres) _____ (sq.ft) _____

Present use of the land and/or structure residential

Proposed development / reason for application (check all that apply):

Type of Use: Residential ☒ Commercial _____ Industrial _____

Type of Construction: New Construction _____ Addition _____ Renovation ☒

Accessory Structures or Elements: Detached Garage _____ Deck/Porch/Patio _____ Fence ☒ Pool ☒

Parking Lot _____ Sign _____ Other (Describe) _____

Building information: (Attach a floor plan and elevation of the building/structure)

Height: Feet _____ Stories _____ Building Envelope Area: _____ sq.ft. Total Coverage: _____ sq.ft.

Does the property have a garage and/or carport? Yes ☒ No _____ Area: _____ sq.ft.

Site Plan/Plot Plan of Project:

Attach a copy of the property survey (preferred) or a neatly drawn plot plan, with the date and scale clearly indicated, containing the following information:

- ☒ The zoning district in which the property is located;
- ☐ The location and dimensions of all property lines, easements affecting the property, and streets abutting the property;
- ☐ The location and dimensions of all yards and setbacks required by the Land Development Ordinance (Chapter 253);
- ☐ The location, use and disposition of all existing structures and improvements on the property;
- ☐ A building envelope in which the proposed structure is to be located (Note: this should be larger than the building size);
- ☐ The location and dimensions of the proposed driveway, any proposed accessory structures, any impervious areas (e.g. sidewalks, concrete pads, decks, patios, etc.);
- ☐ The location and dimensions of the septic system, including the disposal field;
- ☐ The location of any proposed water supply well
- ☐ A copy of the resolution pertaining to a variance or temporary use permit affecting the property, if any.

TAX COLLECTORS CERTIFICATION: Taxes Paid per _____ Date _____
(Authorized signature)

(This section is to be completed by all applicants)

I hereby certify that the information furnished on this application form and all supplemental materials is accurate and true knowing that the Zoning Officer will rely upon its accuracy. I accept all responsibility for any grading, water or drainage issues.
NO STRUCTURES/CONSTRUCTION SHALL BE PERMITTED IN ANY WETLAND AREAS, RIGHT OF WAYS, BUFFERS OR EASEMENTS.

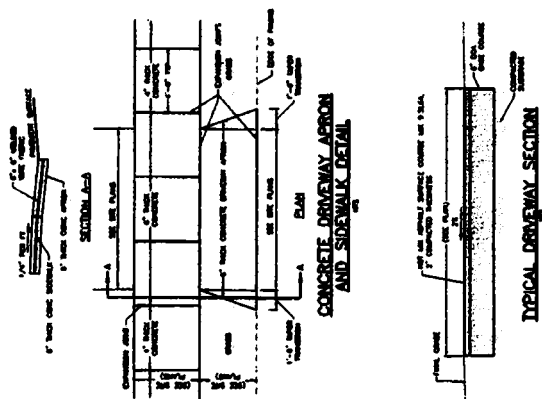
[Signature] 1-21-2022
Signature of Applicant Date Signature of Property Owner Date

* Building Envelope calculation should include an additional 3 - 4 ft beyond the foundation area to account for overhangs and projections.
+ Includes all buildings, structures, paving and other impervious surfaces.

Applicants should check with the Construction Department for any additional permits that may be required.

CALL BEFORE YOU DIG FOR UTILITY LOCATIONS 1-800-272-1000

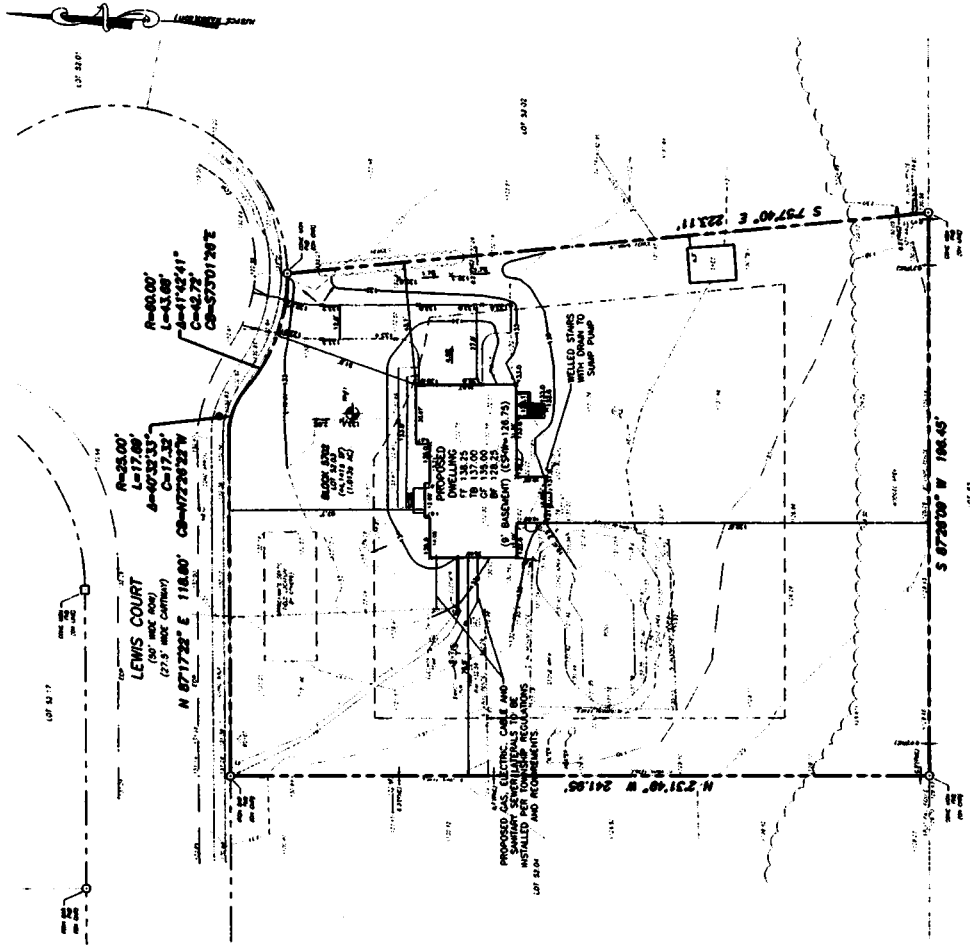
Any building within or adjacent to Atlantic Electric Company easements must first be reviewed and approved by Atlantic City Electric Co. These easements include any easements as shown on the property owner's current survey or plot plan. All inquiries should be addressed to: Atlantic City Electric Co., 5100 Harding Highway, Mays Landing, NJ 08330.



STONES BEHIND
A CURTAIN

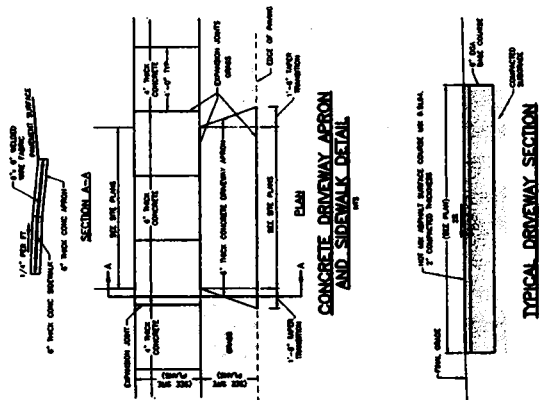
CR-100

LEGEND

[illegible][illegible]

PROPOSED GRADING
PLAN VIEW
SCALE: 1"=20'

A horizontal scale bar with markings at 0, 20, and 40 cm. The text "GRAPHIC SCALE" is written vertically above the bar.



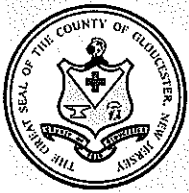
**CONCRETE DRIVEWAY APRON
AND SIDEWALK DETAIL**

TYPICAL DRIVEWAY SECTION

BOARD OF
COUNTY COMMISSIONERS
COUNTY OF GLOUCESTER

DIRECTOR
Frank J. DiMarco

LIAISON
Jim Jefferson



DEPARTMENT OF HEALTH
& HUMAN SERVICES

DIVISION OF HEALTH

DIRECTOR
Michelle L. Baylor

Offices at East Holly
204 East Holly Avenue
Sewell, NJ 08080

PHONE: (856) 218-4101
FAX: (856) 218-4109

mbaylor@co.gloucester.nj.us

www.gloucestercountynj.gov

The County of Gloucester complies with all state and federal rules and regulations against discrimination in admission to, access to, or operations of its programs, services, and activities. In addition, County encourages participation of people with disabilities in its programs and activities and offers special services to all residents 60 years of age and older. Inquiries regarding compliance may be directed to the County's ADA Coordinator at (856) 384-6842/ New Jersey Relay Service 711.



(856) 218-4170

February 4, 2022

RE: Real Estate Inspection Report Review
Report provided by: C & H Disposal Service, Inc. from inspection received on
2/4/2022
Property Inspected: Block 5702 Lot 52.03
103 Lewis Court
Franklin Twp

The Gloucester County Department of Health and Human Services has reviewed the above referenced report in accordance with N.J.A.C. 7:9A-3.4 and N.J.A.C. 7:9A-12.6.

Based on the details submitted in the report the system functionality cannot be determined due to insufficient/inconsistent information provided in the report. No determination on the required action may be made with the information provided.

2. A septic system designer certifies that the existing septic tank and disposal field do not exhibit any condition representative of non-compliance, including any of the malfunction criteria listed at N.J.A.C. 7:9A-3.4(b), and are adequate to treat and dispose of the estimated volume and type of sanitary sewage generated by the reconstructed structure, the existing system may continue to be used, limited to the following cases:

- i. The reconstruction is necessitated by a catastrophic event, such as fire, storm or flood; or
- ii. The existing system was approved by the administrative authority after December 31, 1996.

Note: Any work performed on a subsurface sewage disposal system must be done with an approved permit issued by our Department and must meet the requirements of N.J.A.C. 7:9A-3.3.

Sincerely yours,

Matt Olejarski
Principal Registered Environmental Health Specialist

XC: C & H Disposal Service, Inc. via email
Franklin Twp Construction Official via email
Gloucester County Septic Portal
<https://nj.healthinspections.us/gloucesterseptic/>



C & H DISPOSAL SERVICE, INC

47 GRIERS LANE
ELMER, NJ 08318



PHONE (800) 367-0147, (856) 358-3457, FAX (856) 358-3813

New Jersey Department of Consumer Affairs License Number 13VH01834000

SEPTIC INSPECTION REPORT OF ON-SITE WASTEWATER TREATMENT SYSTEM

RESULTS: SATISFACTORY



January 28, 2022

Schaeffer Family Homes
Attn: Josh Adams
42 Berlin Rd.
Cherry Hill, NJ 08034

RECEIVED

FEB 02 2022

Gloucester County
Health Dept.

RE: OWNER: RICHARD & RUTH PETRIELLO
ADDRESS: 103 LEWIS COURT, FRANKLINVILLE, NJ 08322
FRANKLIN TWP, GLOUCESTER COUNTY
BLOCK: 5702 LOT: 52.03

To Whom It May Concern:

As requested, C & H Disposal Service performed an inspection of the onsite wastewater treatment system at the above referenced 3 bedroom property on January 27, 2022. The findings of this evaluation are documented below.

There are three main components: a treatment tank (to trap the solids,) the conveyance system (to move the liquid from the treatment tank to the absorption area,) and the absorption area (to percolate the liquid into the ground,) which is also known as a disposal field.

The 1,000 gallon, pre-cast concrete septic tank was opened, pumped, and inspected. The septic tank has a concrete lid. The liquid level was at the proper operating level, which indicates no back up from the disposal field. The baffle that directs the solids to the base of the tank (the inlet baffle) was inspected and in the appropriate place. The baffle that prohibits the floating solids from leaving the tank (the outlet baffle) was also inspected and in place. The septic tank was inspected for cracks, flaws, and root intrusion. **At the time of this inspection, the treatment tank was found to be SATISFACTORY.**

The conveyance system in this case consists of a distribution box, which was exposed and checked for functionality. **At the time of this inspection, the conveyance system was found to be SATISFACTORY.**

The absorption area for this system consists of a chamber disposal field. The disposal field was probed in various locations and there was 3" of standing water in the disposal field. It should be noted that chamber septic systems do not handle homeowner abuse well, and are more likely to fail earlier than a traditional stone and pipe system. No sewage odors were detected. **At the time of this inspection, the absorption area was found to be SATISFACTORY.**

There is a temporary trailer on the property that is being occupied while the house is being rebuilt after a fire. The trailer discharges into the septic tank.

At the time of this inspection, all septic system components appear to be working properly under current conditions. As with any on-site septic system, water conservation measures should be carefully practiced and the septic tank should be pumped out annually. This evaluation does not guarantee how well the system will work in the future, due to the fact that C&H does not control how well the system will be maintained or the amount of water, cooking grease, or laundry detergent that will be disposed of in this septic system.

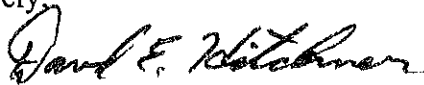
You can contact your local County Health Department for more information at the following website:
<http://www.nj.gov/health/lh/directory/lhdselectcounty.shtml>

This Report is Not a Warranty

C & H Disposal Service, Inc. provides no warranty, expressed or implied, including any warranty of the merchantability or fitness for purpose, or any other warranty whatsoever, that the system meets any code or specifications, or will function properly for any period of time.

If you have any questions or need additional information on proper operation and maintenance procedures for septic systems, do not hesitate to contact us. Thank you for allowing C&H Disposal Service to meet your inspection needs.

Sincerely,



David E. Hitchner Sr.

Member of NJSMA Certification No. 707470915

cc: Matt Olejarski, Gloucester County Health Department, E: molejarski@co.gloucester.nj.us

ONSITE SYSTEM INSPECTION FORM

Inspection Overview

- Preliminary system information
- Inspection of treatment tanks
- Absorption system inspection
- Disposal/conveyance system assessment
- Identification of any alternative technology approved components
- Requires additional inspection

INTERNAL USE ONLY:

C & H Disposal Service, Inc.
47 Griers Lane
Elmer, New Jersey 08318
PHONE: 856-358-3457
FAX: 856-358-3813

Client Name:

Josh Adams / Petriello

Different from owner? ☒ yes ☐ no

Client Address:

42 Berlin Rd.

Cherry Hill 08034

CLIENT INFO

Inspector Name: David Hiltner

Date: 1-27-22, Thursday

ISSDS Address (including municipality):

103 Lewis Court
Franklinville 08322
Franklin Twp.
Gloucester County

New Jersey Coordinate: Block: 5702 Lot: 5203

Was GPS used? ☒ yes ☐ no

ONSITE SYSTEM LOCATION

Preliminary Information:

Weather: Clear

Last precipitation: 5 days

Age of system: 18 years

Type of dwelling?

☒ Residential

Number of Bedrooms: 3

☐ Non residential Describe: _____

How many systems are being inspected? 1

List any commercial activities or high impact hobbies:

n/a

Describe prior problems and/or repair history including soil fracturing or use of chemical additives. Include dates and explain why the remedial measures have been applied to the system (if available):

n/a

Date file review requested with administrative authority:

m/022020/4821/20/22

Is there a site plan or septic map available?

Is the dwelling currently being occupied?

If so, how many occupants? 3

If no, date last occupied? _____

If there is a washing machine, is it connected to a Separate gray water disposal system?

Is the dwelling free of additional gray water systems?

Is the dwelling free of garbage disposal systems?

Is the dwelling free of sump pump discharges to the System?

Is the dwelling free of any historical sewage back ups Into the structure?

Does all sewage enter the septic system and no type of sewage bypass exists?

Septic Tank Pumping:

Is the septic tank pumped regularly?

Frequency: 3 years

Date of last pumping: 2019

Was file review completed prior to inspection?

If no, explain why below

Pump out receipt attached

Yes No

☒ ☐

☒ ☐

☐ ☒

☒ ☐

☒ ☐

☒ ☐

☒ ☐

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☒ ☐

Comments:

Treatment Tank:				Yes	No
Type of system being inspected?					
☒ Septic tank ☐ Cesspool ☐					
Other _____					
☐ Gray water ☐ Multi-compartment: # _____					
Name the material of the system?					
☒ Concrete ☐ Block					
☐ Steel ☐ Other _____					
Approximate Treatment Tank Volume: <u>1000</u> gal.					
Evaluate the conditions of tank below:					
	Satisfactory	Unsatisfactory	N/A		
Top and Lids	☒	☐	☐	☒	☐
Inlet baffle	☒	☐	☐	☒	☐
Outlet baffle	☒	☐	☐	☒	☐
Cracks or Leaks	☒	☐	☐	☒	☐
Sewage Flow from structure	☒	☐	☐	☒	☐
Main tank lid opened for inspection?				☒	☐
Liquid level below the tank's inlet invert?				☒	☐
Liquid level below the tank's outlet invert?				☐	☒
Treatment tank pumped for this inspection?				☒	☐
Are all portions of the tank(s) clear of Structures like a deck or a driveway?				☒	☐
Is the area clear of evidence that sewage has Surfaced above the treatment tank?				☒	☐
Does water flow unimpeded from the Treatment tank?				☒	☐
Is an effluent filter a part of the system?				☐	☒
If yes, does it appear properly maintained?				☐	☐
Are there any other types of accessory units Present?				☐	☒
Depth to top of tank: <u>6</u> inches					
Depth to top of tank access: <u>0</u> inches					
Comments: <u>concrete lid at grade</u>					

Absorption Area:

Name the type of the absorption system?

- ☒ disposal bed ☐ disposal trench
☐ seepage pit ☐ mounded
☐ cesspool ☒ other chambers

Was the absorption system located? ☒ yes ☐ no If no, explain below.

Are inspection ports present? ☐ yes ☒ no

If yes, how many? _____

Were the inspection ports checked? ☐ yes* ☐ no ☒ N/A *All levels observed must be included in report

Was a separate probe dug in the absorption area to confirm the observations in the inspection ports? ☒ yes ☐ no ☐ N/A

Is the area of the absorption system free of sewage odors? ☒ yes ☐ no

Does sewage flow from the treatment tank to the absorption system without flowing back? ☒ yes ☐ no ☐ N/A

Is the area above or near any of the system components free from visible signs of effluent or sewage? ☒ yes ☐ no

Are the areas at or near the inlet invert of any absorption area component free of visible signs of sewage or effluent? ☒ yes ☐ no

Are areas above or near system components free of lush vegetation? ☒ yes ☐ no

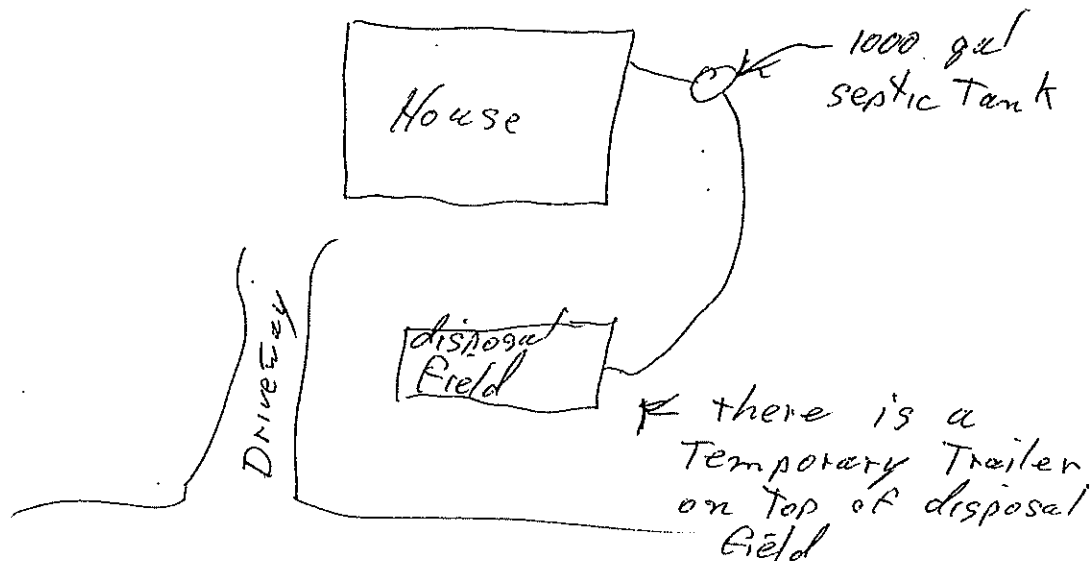
If exposed, is the distribution box in satisfactory condition? ☒ yes ☐ no ☐ N/A

If not exposed, explain why not: _____

Is the area directly over any part of the absorption system free of any evidence of, large objects (cars, pools, etc.)? ☒ yes ☐ no

Comments: 3" of water in disposal field

Sketch the approximate system location in this space provided:



Dosing or Pump Tank:	Yes	No	N/A
Does the system contain a pump tank?	☐	☒	☐
Is the pump operating?	☐	☐	☒
Do the alarm(s) on the pump work?	☐	☐	☒
Is the pump elevated above the tank floor?	☐	☐	☒
Is the lid in satisfactory condition?	☐	☐	☒
Is the tank in satisfactory condition?	☐	☐	☒
Is the tank free of accumulated solids?	☐	☐	☒

Summary:	Satisfactory	Satisfactory with Concerns	Unsatisfactory	Requires Additional Investigation	N/A
Condition of the treatment tank(s)	☒	☐	☐	☐	☐
Condition of the conveyance and pump system(s)	☒	☐	☐	☐	☐
Condition of the and absorption area(s)	☒	☐	☐	☐	☐
Condition of any accessory components	☐	☐	☐	☐	☐

Comments: There is a temporary trailer on property that is being lived in while house is being rebuilt after fire

Trailer discharges into septic Tank

Health Department Reporting:

Note if any of the following conditions were observed during the inspection:

- () 1. Ponding or breakout of sewage or effluent onto the surface of the ground
- () 2. Seepage of sewage or effluent into portions of buildings below ground
- () 3. Backup of sewage into the building served which is not caused by a physical blockage of the internal plumbing
- () 4. Any manner of leakage observed from or into septic tanks, connecting pipes, distribution boxes and other components that are not designed to emit sewage or effluent.

Pursuant to N.J.A.C. 7:9A-3.4 notification of any observation that is consistent with a condition noted above should be reported to the local administrative authority within 24 hours of the observation. Regardless of observations made, a copy of this report should be provided to the local administrative authority within 10 days of the issuance of this report.

If encountered, describe all observed noncompliant conditions encountered during this inspection:

Customer authorization:

I authorize "The Company" to enter the above listed property for the purpose of performing a sub-surface sewage disposal system inspection. I authorize "The Company" to expose parts of the system if required, to determine location and condition. I understand that "The Company" relies on information supplied by the owner(s) of the listed property or their agent and the local administrative authority in the evaluation of the sub-surface disposal system. I authorize "The Company" to provide this form to all parties as required.

Customer signature: _____ Printed name: _____

Inspector's signature: David E. Hitchner Printed name: David Hitchner

Disclaimer:

Based on today's observations and the information provided by the owner(s) or their agent, "The Company" submits this sub-surface sewage disposal system inspection form. The inspection is based on the current condition of the onsite sewage disposal system. "The Company" makes no representation that the system was designed, installed or meets N.J.A.C. 7:9A-1.1 et seq.. "The Company" has not been retained to warrant, guarantee, or certify the proper functioning of the system for any period of time. Because of numerous factors (usage, soil type, installation, maintenance, etc.) which affect the proper operation of a sub-surface disposal system, as well as the inability of "The Company" to supervise or monitor the use and maintenance of the system, this form shall not be construed as a warranty by "The Company" that the system will function properly for any prospective buyer. "The Company" disclaims any warranty, either expressed or implied, arising from the inspection of the septic system.

This form was developed as a cooperative effort of:
Pennsylvania/New Jersey Sewage Management Association;
Rutgers Cooperative Extension New Jersey Agricultural Experiment Station; and
The New Jersey Department of Environmental Protection Septic System Inspection Protocol Subcommittee

www.chdisposalservice.com

thursday

1-27-22

Schaeffer Family Homes

203538

All claims and returned goods MUST be accompanied by this bill.

THANK YOU

Gloucester County Department of
Health

204 E Holly Ave
Sewell, NJ 08080

Sales Receipt

DATE	SALE NO.
2/4/2022	

SOLD TO
C & H Disposal Service 47 Griers Lane Elmer, NJ 08318

	CHECK NO.	PAYMENT METH...	PROJECT
	39075	Check	
DESCRIPTION	QUANTITY	RATE	AMOUNT
Real Estate septic system inspection 05-5702-52.03	1	125.00	125.00
EH	Total		\$125.00

Township of Franklin

Zoning Permit

Application #: **5612** Permit No: **20220011.000** Issue Date: **01/24/2022**

Construction Control Number :

Voucher/Receipt #:	0
Check #:	1401
Amount collected:	\$50.00

Block: **5702** Lot: **52.03**

Qualifier:

Work Site: **103 LEWIS CT**

Zone: **R-A**

Owner: **PETRIELLO, RICHARD & RUTH**

Agent: **PETRIELLO, RICHARD & RUTH**

Address: **103 LEWIS CT**

Address: **103 LEWIS CT**

City/State/Zip: **FRANKLINVILLE NJ 08322**

City/State/Zip: **FRANKLINVILLE NJ 08322**

Telephone: **___-___**

Telephone: **609 9230383**

Fax: **()-___**

Fax: **()-___**

EMail:

EMail :

Tenant:

This is to certify that the above-described premises together with any building thereon, are approved for use as indicated below and as depicted on the Plot Plan:

rebuild single family 3-bedroom home

Which is a:

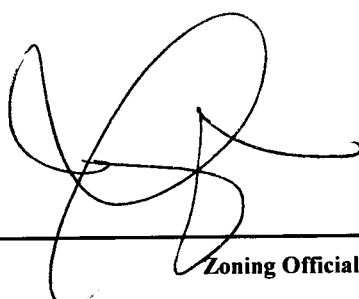
☒ Use permitted by Zoning Ordinance, Article - **XIII-RA** Section - **253-95D**

☐ Use permitted by variance approved on _____, # _____ subject to any special conditions attached to the grant thereof.

☐ Valid nonconforming use as established by () findings of the Zoning Board of Adjustment or by () the undersigned zoning officer or by () Planning Board on the basis of evidence supplied by applicant. Conditions, if any:

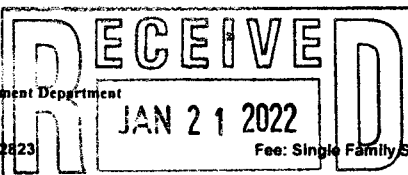
☐ There is a nonconforming structure on the premises by reason of insufficient

☒ Other: **Construction Permits Required**


Zoning Official

This is NOT a Construction Permit

Township of Franklin Community Development Department
1571 Delsea Drive
Franklinville, NJ 08322
(856) 694-1234 ext. 145 Fax (856) 694-2823



Application # 5017
Block 5702 Lot 5203
Fee: Single Family Structure: \$50.00 All other permits: \$20.00

ZONING PERMIT APPLICATION

Zoning permits shall hereafter be secured from the administrative officer prior to the construction, erection, or alteration of any principal or accessory structure or part of a structure, whether or not a construction permit is required, or upon a change in the use of land or a structure. (§253-194.A.)

OFFICE USE ONLY 1/21/22 RECEIVED BY (Ro) FEE 50 CHECK # 1101
DATE RECEIVED RECEIPT # CASH DATE REVIEWED

Applicant's Name Richard & Ruth Petriello
Mailing Address 103 Lewis Ct
Franklinville State NJ Zip 08322
Tel. # Home 609 923-0383 (Check if unlisted ☐) Work ☐ NA
Name of Property Owner(s) (if other than applicant) NA
Mailing Address NA
State Zip

Project Description (Briefly describe the proposed use, its size, height, # of bedrooms, etc.)

single family home 3 bed rooms

Property Location: Street/Road 103 Lewis Ct
Block # 5702 Lot # 5203 Tax Map Sheet No.
Zoning District R-A Lot Area (Acres) (sq.ft)

Present use of the land and/or structure residential

Proposed development / reason for application (check all that apply):

Type of Use: Residential ☒ Commercial ☐ Industrial ☐

Type of Construction: New Construction ☐ Addition ☐ Renovation ☒

Accessory Structures or Elements: Detached Garage ☐ Deck/Porch/Patio ☐ Fence ☒ Pool ☒

Parking Lot ☐ Sign ☐ Other (Describe)

Building information: (Attach a floor plan and elevation of the building/structure)

Height: Feet Stories Building Envelope Area*: sq.ft. Total Coverage*: sq.ft.

Does the property have a garage and/or carport? Yes ☒ No ☐ Area: sq.ft.

Site Plan/Plot Plan of Project:

Attach a copy of the property survey (preferred) or a neatly drawn plot plan, with the date and scale clearly indicated, containing the following information:

- ☒ The zoning district in which the property is located;
- ☐ The location and dimensions of all property lines, easements affecting the property, and streets abutting the property;
- ☐ The location and dimensions of all yards and setbacks required by the Land Development Ordinance (Chapter 253);
- ☐ The location, use and disposition of all existing structures and improvements on the property;
- ☐ A building envelope in which the proposed structure is to be located (Note: this should be larger than the building size);
- ☐ The location and dimensions of the proposed driveway, any proposed accessory structures, any impervious areas (e.g. sidewalks, concrete pads, decks, patios, etc.);
- ☐ The location and dimensions of the septic system, including the disposal field;
- ☐ The location of any proposed water supply well
- ☐ A copy of the resolution pertaining to a variance or temporary use permit affecting the property, if any.

TAX COLLECTORS CERTIFICATION: Taxes Paid per Date
(Authorized signature)

(This section is to be completed by all applicants)

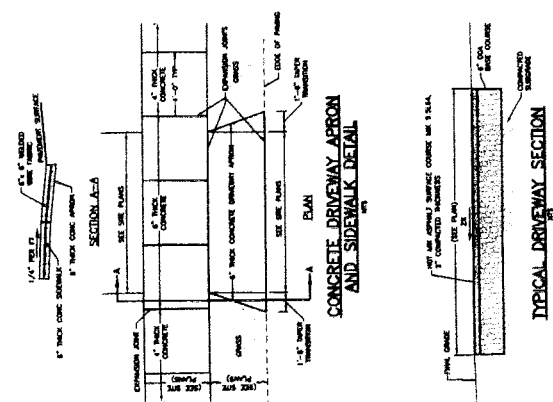
I hereby certify that the information furnished on this application form and all supplemental materials is accurate and true knowing that the Zoning Officer will rely upon its accuracy. I accept all responsibility for any grading, water or drainage issues.
NO STRUCTURES/CONSTRUCTION SHALL BE PERMITTED IN ANY WETLAND AREAS, RIGHT OF WAYS, BUFFERS OR EASEMENTS.

[Signature] 1-21-2022
Signature of Applicant Date Signature of Property Owner Date

* Building Envelope calculation should include an additional 3 - 4 ft beyond the foundation area to account for overhangs and projections.
+ Includes all buildings, structures, paving and other impervious surfaces.

Applicants should check with the Construction Department for any additional permits that may be required.
CALL BEFORE YOU DIG FOR UTILITY LOCATIONS 1-800-272-1000

Any building within or adjacent to Atlantic Electric Company easements must first be reviewed and approved by Atlantic City Electric Co. These easements include any easements as shown on the property owner's current survey or plot plan. All inquiries should be addressed to: Atlantic City Electric Co., 5100 Harding Highway, Mays Landing, NJ 08330.

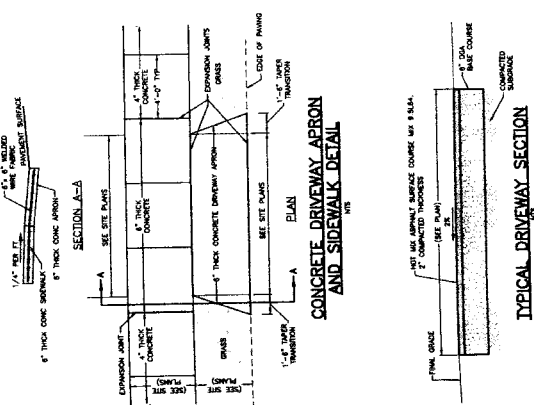


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[illegible][illegible]

THIS PLAN HAS BEEN PREPARED FOR BUILDING PERMIT/PLAT MAP APPROVAL. PURPOSES OF THIS PLAN ARE TO BE LIMITED TO THE ABOVE STATED PURPOSES. NO OTHER PURPOSES OR CONSIDERATIONS ARE TO BE TAKEN INTO ACCOUNT.

A. EXISTING UTILITIES, TOPOGRAPHY, EXISTING LINES, RIGHT-OF-WAY LINES AND EASEMENTS ARE BASED ON PLAT 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 9



Township of Franklin

Zoning Permit

Application #: 5442 Permit No: 20210217.000 Issue Date: 08/24/2021

Construction Control Number :

Block: 5702 Lot: 52.03

Work Site: 103 LEWIS CT

Owner: PETRIELLO, RICHARD & RUTH

Address: 103 LEWIS CT

City/State/Zip: FRANKLINVILLE NJ 08322

Telephone: -

Fax: () -

EMail:

Tenant:

Qualifier:

Zone: R-A

Agent: PETRIELLO, RICHARD & RUTH

Address: 103 LEWIS CT

City/State/Zip: FRANKLINVILLE NJ 08322

Telephone: 609 9230385

Fax: () -

EMail :

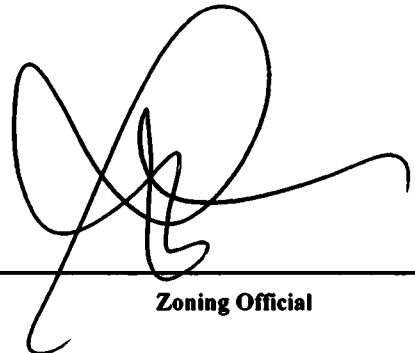
Voucher/Receipt #: 0
Check #: 1378
Amount collected: \$20.00

This is to certify that the above-described premises together with any building thereon, are approved for use as indicated below and as depicted on the Plot Plan:

TEMP MOBILE HOME FOR USE WHILE REBUILDING HOME AFTER FIRE WITH TOWNSHIP COMMITTEE APPROVAL

5702-52.03
Which is a:

- ☒ Use permitted by Zoning Ordinance, Article - XIII-RA Section - 253-106
- ☐ Use permitted by variance approved on _____, # _____ subject to any special conditions attached to the grant thereof.
- ☐ Valid nonconforming use as established by () findings of the Zoning Board of Adjustment or by () the undersigned zoning officer or by () Planning Board on the basis of evidence supplied by applicant. Conditions, if any:
- ☐ There is a nonconforming structure on the premises by reason of insufficient
- ☒ Other: Council Approved Temporary Mobile Home Construction Permits Required



Zoning Official

This is NOT a Construction Permit

Township of Franklin Community Development Department
1571 Delsea Drive
Franklinville, NJ 08322
(856) 694-1234 ext. 145 Fax (856) 694-2823

AUG 17 2021

Application #

Block 5702 Lot 52.03

Fee: Single Family Structure: \$80.00 All other permits: \$20.00

ZONING PERMIT APPLICATION

Zoning permits shall hereafter be secured from the administrative officer prior to the construction, erection, or alteration of any principal or accessory structure or part of a structure, whether or not a construction permit is required, or upon a change in the use of land or a structure. (§253-194.A.)

OFFICE USE ONLY
DATE RECEIVED 8/17/21 RECEIVED BY LR FEE 20 CHECK # 1378
RECEIPT # CASH DATE REVIEWED

Applicant's Name Richard & Ruth Petriello

Mailing Address 103 Lewis Ct

Franklinville

State NJ

Zip 08822

Tel. # Home 609 923-0385 (Check if unlisted) Work () NA

Name of Property Owner(s) (if other than applicant) Same

Mailing Address Same

State

Zip

Project Description (Briefly describe the proposed use, its size, height, # of bedrooms, etc.)

Temp mobile home for use while rebuilding home after fire

Property Location: Street/Road 103 Lewis Ct

Block # 5702 Lot # 52.03 Tax Map Sheet No.

Zoning District R-A Lot Area (Acres) .101 (sq. ft.)

Present use of the land and/or structure home site

Proposed development / reason for application (check all that apply):

Type of Use: Residential ☒ Commercial ☐ Industrial ☐

Type of Construction: New Construction ☐ Addition ☐ Renovation ☐

Accessory Structures or Elements: Detached Garage ☐ Deck/Porch/Patio ☐ Fence ☐ Pool ☐

Parking Lot ☐ Sign ☐ Other (Describe) temp. mobile home

Building Information: (Attach a floor plan and elevation of the building/structure)

Height: Feet 12 x 20 Stories 1 Building Envelope Area: sq. ft. Total Coverage: sq. ft.

Does the property have a garage and/or carport? Yes ☐ No ☒ Area: sq. ft.

Site Plan/Plot Plan of Project:

Attach a copy of the property survey (preferred) or a neatly drawn plot plan, with the date and scale clearly indicated, containing the following information:

- ☒ The zoning district in which the property is located;
- ☐ The location and dimensions of all property lines, easements affecting the property, and streets abutting the property;
- ☐ The location and dimensions of all yards and setbacks required by the Land Development Ordinance (Chapter 253);
- ☐ The location, use and disposition of all existing structures and improvements on the property;
- ☐ A building envelope in which the proposed structure is to be located (Note: this should be larger than the building size);
- ☐ The location and dimensions of the proposed driveway, any proposed accessory structures, any impervious areas (e.g. sidewalks, concrete pads, decks, patios, etc.);
- ☐ The location and dimensions of the septic system, including the disposal field;
- ☐ The location of any proposed water supply well;
- ☒ A copy of the resolution pertaining to a variance or temporary use permit affecting the property, if any.

TAX COLLECTORS CERTIFICATION: Taxes Paid per MCST Date 7/29/21
(Authorized signature)

(This section is to be completed by all applicants)

I hereby certify that the information furnished on this application form and all supplemental materials is accurate and true knowing that the Zoning Officer will rely upon its accuracy. I accept all responsibility for any grading, water or drainage issues.
NO STRUCTURES/CONSTRUCTION SHALL BE PERMITTED IN ANY WETLAND AREAS, RIGHT OF WAYS, BUFFERS OR EASEMENTS.

Signature of Applicant

Date 8/17/21

Signature of Property Owner

Date 8/17/21

- * Building Envelope calculation should include an additional 3 - 4 ft beyond the foundation area to account for overhangs and projections.
- + Includes all buildings, structures, paving and other impervious surfaces.

Applicants should check with the Construction Department for any additional permits that may be required.
CALL BEFORE YOU DIG FOR UTILITY LOCATIONS 1-800-272-1000

Any building within or adjacent to Atlantic Electric Company easements must first be reviewed and approved by Atlantic City Electric Co. These easements include any easements as shown on the property owner's current survey or plot plan. All inquiries should be addressed to: Atlantic City Electric Co., 5100 Harding Highway, Mays Landing, NJ 08330.

Phone: (856) 694-1234

ZONING BOARD

TOWNSHIP OF FRANKLIN

1517 DELSEA DRIVE
FRANKLINVILLE, NJ 08322

Check from: Ruth Petriello

DATE 8/17/2021

for

Richard & Ruth Petriello 103 Lewis Ct

APPLICANT NAME

ADDRESS

0702 152.03

BLOCK LOT

\$20.00

Zoning Permit for Temporary Trailer

Cash or

Check No. 1378

By RP

Ruth Petriello
Richard Petriello
103 Lewis Ct
Franklinville, NJ 08322

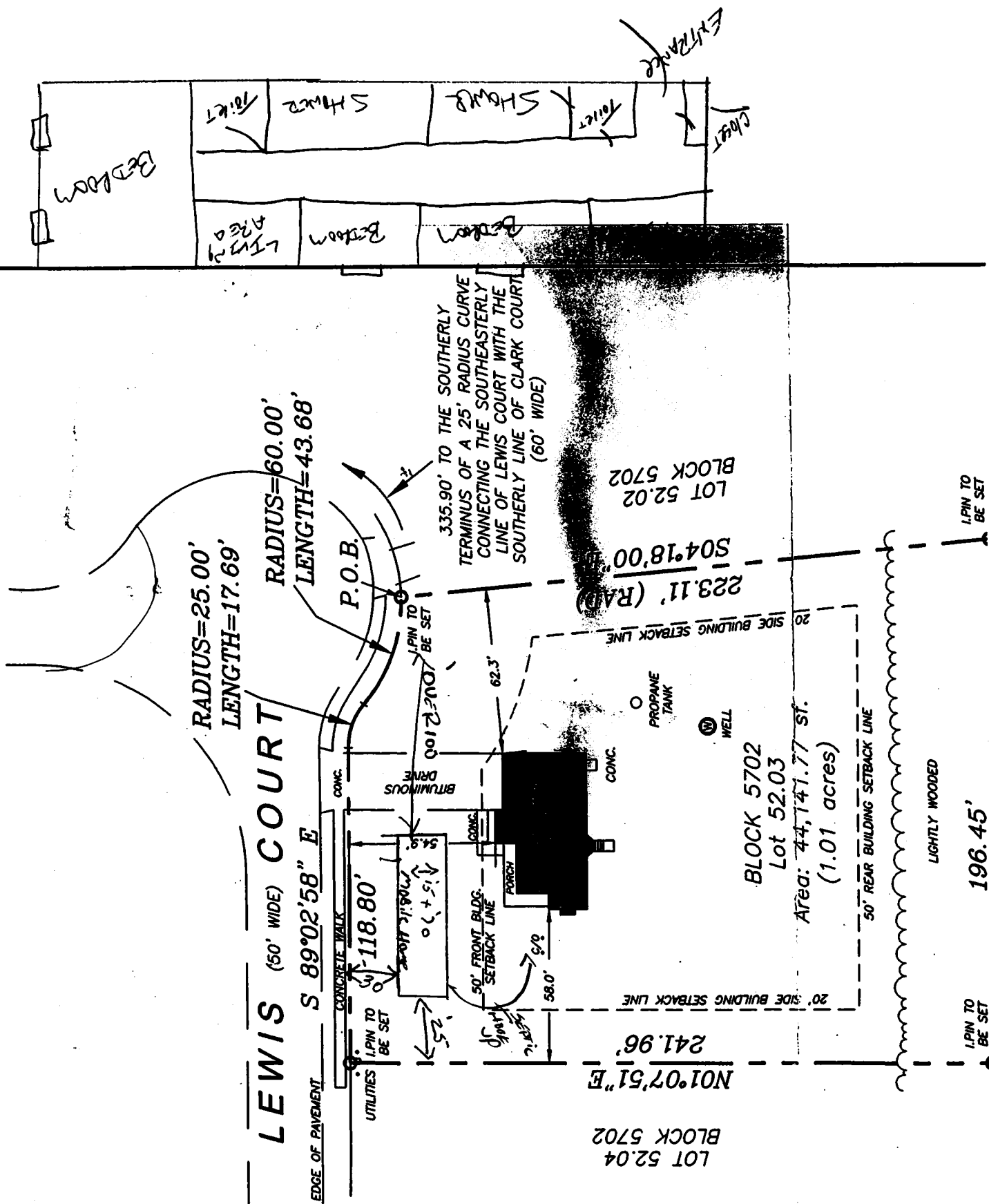
Date 8-17-2021

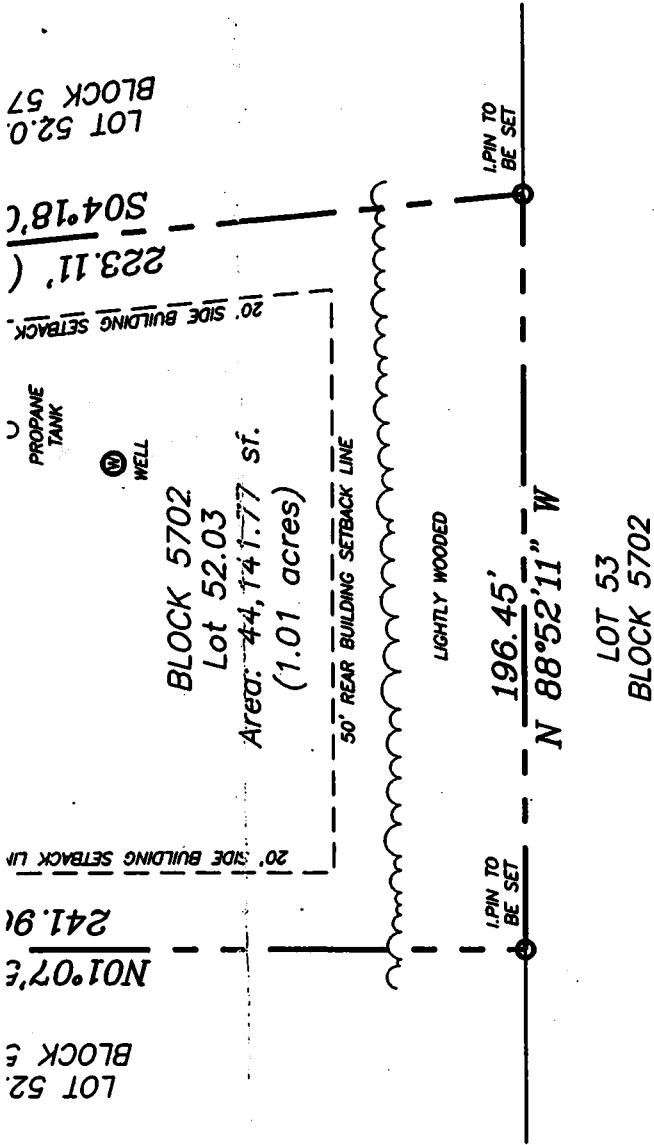
Pay to the
Order of Township of Franklin \$ 20.00
Twenty & 00/100

USAA FEDERAL SAVINGS BANK
10750 McDermott Way
San Antonio, Texas 78249-9676

For Permanence Stacy

⑆364074269⑆ ⑈108902838⑈ 1378





NOTES

1. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. LOT CONTAINS 44,141.77 S.F., MORE OR LESS.
3. REFERENCE PLAN: "FINAL PLAN OF LOTS, TAX LOTS 39 & 52, BLOCK 5702, FRANKLIN TOWNSHIP, GLOUCESTER COUNTY, NJ," PREPARED BY VARGO ASSOCIATES, DATED 10/09/03, LAST REVISED 11/19/03 AND NOTED AS PROJECT # 02076-MS.

To: RICHARD AND RUTH PETRIELLO
 I certify that, to the best of my knowledge and belief, this map or plan is the result of a field survey made on April 18, 2005, by me or under my direct supervision, in accordance with the rules and regulations promulgated by the "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS". The information shown hereon correctly represents the conditions found at, and as of the date of the field survey, except such improvements or easements, if any, below the surface and not visible. This certification is given solely to the above named parties except as follows:
 A. FOXTONS FINANCIAL, its successors and/or assigns;
 B. HOMESTEAD TITLE AGENCY

CAUTION: If this document does not contain a raised impression seal of the professional, it is not an authorized original document and may have been altered.

Edward J. Constantine, Jr.
EDWARD J. CONSTANTINE, JR.
 N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 36714

MAP OF SURVEY
TAX LOT 52.03, BLOCK 5702
 FRANKLIN TOWNSHIP
 GLOUCESTER COUNTY, NEW JERSEY

VARGO ASSOCIATES
 LAND SURVEYING & PLANNING
 Cert. of Authorization # 24GA28021200
 2771 DEISEA DRIVE - P.O. BOX 647
 FRANKLINVILLE, N.J. 08322 (856) 694-1716
 © COPYRIGHT 2005, VARGO ASSOCIATES ALL RIGHTS RESERVED

DATE	SCALE	DRAWN BY	F.BK./PG.	PROJ. NO.
04/18/05	1"=50'	LML	0/0	02076-03

Gloucester Soil Conservation District

14 Parke Place Blvd. Suite B Sewell, N.J. 08080 856-589-5250

CERTIFICATION

RICHARD & RUTH PETRIELLO
103 LEWIS COURT
FRANKLINVILLE, NJ 08322

Enclosed is a copy of your certified Soil Erosion and Sediment Control Plan for the referenced project signed by a member of the District Board of Supervisors pursuant to the New Jersey Soil Erosion and Sediment Control Act, N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975.

CERTIFICATION DATE: 3/14/2022

EXPIRATION DATE: 9/11/2025

PROJECT: 103 LEWIS CT - SFR
Application #2022-023
Block Lot
103 LEWIS COURT
Franklin Township

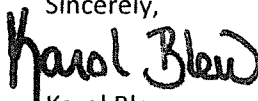
PLAN DATE: 1/14/2022

The requirements of this certification are as follows:

1. The district must be notified in writing at least 48 hours in advance of any land disturbance.
2. Certified copy of the Soil Erosion and Sediment Control Plan must be on site.
3. Any changes in the certified plan relating to, or that will affect land disturbance on the site must be reviewed and approved by the district.
4. Any conveyance of the project (or portion thereof) prior to its completion will transfer full responsibility for compliance to subsequent owner(s). The district must be notified in writing of any new owner(s).
5. No Certificates of Occupancy, temporary or permanent, will be issued by a municipality until a Report of Compliance is issued by the district. **Inspections for a Report of Compliance MUST be scheduled at least 5 business days in advance.**

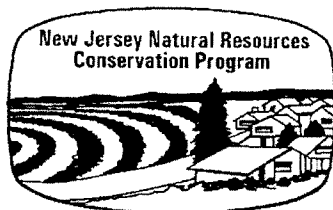
This certification is limited to the controls specified in this referenced plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency.

Conditions:

Sincerely,

Karol Blew
District Manager

3/14/2022

cc: Municipal Construction Officer - Municipal Planning Board - Township Engineer - Design Engineer



2022-023

For District Use Only	APPROVED MAR 14 2022

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975 as amended (NJSA 4:24-39 et. seq.) An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project 103 Lewis Court			Project Location: Municipality Franklin Township	
Project Street Address 103 Lewis Court, Franklinville NJ 08322			Block 5702	Lot 52.03
Project Owner(s) Name Richard and Ruth Petriello			Email petchx5@comcast.net	Phone # 609-923-0383 Fax # 856-809-0773
Project Owner(s) Street Address (No P.O. Box Numbers) 103 Lewis Court			City Franklinville	State NJ Zip 08322
Total Project Area (Acres) 1.013	Total Disturbed Area (Acres) 0.16	Total Soil Restoration Area (Acres)	No. Dwelling or other Units 1	Fee \$ 865.00
Plans Prepared by* Consulting Engineer Services			Email of plan preparer: design@ces-1.com	Phone # 856-228-2200 Fax # 856-232-2346
Street Address 645 Berlin-Cross Keys Rd, Suite 1			City Sicklerville	State NJ Zip 08081

*(Engineering related items of the Soil Erosion and Sediment Control Plan **MUST** be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13:27-6.1 et. seq.)

Agent Responsible During Construction Gail Hopkins for Schaeffer Family Homes LLC		Email gail@schaefferhomes.com	
Street Address 42 Berlin Road			
City Cherry Hill	State NJ	Zip 08034	Phone 856-809-0010 Fax # 856-809-0773

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current **Standards for Soil Erosion and Sediment Control In New Jersey** and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

1. To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
2. To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District.
3. To maintain a copy of the certified plan on the project site during construction.
4. To allow District agents to go upon project lands for inspection.
5. That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
6. To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three- and one-half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc. submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* Signature <i>[Signature]</i> Date <i>02/22/2022</i> Gail Hopkins for Schaeffer Family Homes LLC Applicant Name (Print)	3. Plan determined complete: Signature of District Official <i>[Signature]</i> Date <i>3/14/22</i>
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official <i>[Signature]</i> Date <i>3/13/22</i>	4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official <i>[Signature]</i> Date <i>3/14/22</i>

*If other than project owner, written authorization of owner must be attached.

SSCC251 AP10 3/18

Gloucester Soil Conservation District

14 Parke Place Blvd. Suite B Sewell, N.J. 08080 856-589-5250

CERTIFICATION

RICHARD & RUTH PETRIELLO
103 LEWIS COURT
FRANKLINVILLE, NJ 08322

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EXPIRATION DATE: 9/11/2025

PROJECT: 103 LEWIS CT - SFR
Application #2022-023
Block Lot
103 LEWIS COURT
Franklin Township

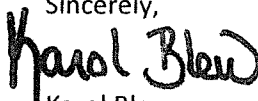
PLAN DATE: 1/14/2022

The requirements of this certification are as follows:

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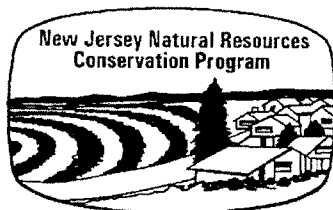
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Conditions:

Sincerely,

Karol Blew
District Manager

3/14/2022

cc: Municipal Construction Officer - Municipal Planning Board - Township Engineer - Design Engineer



2022-023

For District Use Only	APPROVED MAR 14 2022

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

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Project Owner(s) Street Address (No P.O. Box Numbers) 103 Lewis Court			City Franklinville	State NJ Zip 08322
Total Project Area (Acres) 1.013	Total Disturbed Area (Acres) 0.16	Total Soil Restoration Area (Acres)	No. Dwelling or other Units 1	Fee \$ 865.00
Plans Prepared by* Consulting Engineer Services			Email of plan preparer: design@ces-1.com	Phone # 856-228-2200 Fax # 856-232-2346
Street Address 645 Berlin-Cross Keys Rd, Suite 1			City Sicklerville	State NJ Zip 08081

*(Engineering related items of the Soil Erosion and Sediment Control Plan **MUST** be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13:27-6.1 et. seq.)

Agent Responsible During Construction Gail Hopkins for Schaeffer Family Homes LLC		Email gail@schaefferhomes.com	
Street Address 42 Berlin Road			
City Cherry Hill	State NJ	Zip 08034	Phone 856-809-0010 Fax # 856-809-0773

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current **Standards for Soil Erosion and Sediment Control In New Jersey** and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

1. To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
2. To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District.
3. To maintain a copy of the certified plan on the project site during construction.
4. To allow District agents to go upon project lands for inspection.
5. That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
6. To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three- and one-half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc. submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* Signature <i>[Signature]</i> Date <i>02/22/2022</i> Gail Hopkins for Schaeffer Family Homes LLC Applicant Name (Print)	3. Plan determined complete: Signature of District Official <i>[Signature]</i> Date <i>3/14/22</i>
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official <i>[Signature]</i> Date <i>3/13/22</i>	4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official <i>[Signature]</i> Date <i>3/14/22</i>

*If other than project owner, written authorization of owner must be attached.

SSCC251 AP10 3/18

Gloucester Soil Conservation District

14 Parke Place Blvd. Suite B Sewell, N.J. 08080 856-589-5250

CERTIFICATION

RICHARD & RUTH PETRIELLO
103 LEWIS COURT
FRANKLINVILLE, NJ 08322

Enclosed is a copy of your certified Soil Erosion and Sediment Control Plan for the referenced project signed by a member of the District Board of Supervisors pursuant to the New Jersey Soil Erosion and Sediment Control Act, N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975.

CERTIFICATION DATE: 3/14/2022

EXPIRATION DATE: 9/11/2025

PROJECT: 103 LEWIS CT - SFR
Application #2022-023
Block Lot
103 LEWIS COURT
Franklin Township

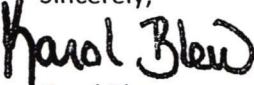
PLAN DATE: 1/14/2022

The requirements of this certification are as follows:

1. The district must be notified in writing at least 48 hours in advance of any land disturbance.
2. Certified copy of the Soil Erosion and Sediment Control Plan must be on site.
3. Any changes in the certified plan relating to, or that will affect land disturbance on the site must be reviewed and approved by the district.
4. Any conveyance of the project (or portion thereof) prior to its completion will transfer full responsibility for compliance to subsequent owner(s). The district must be notified in writing of any new owner(s).
5. No Certificates of Occupancy, temporary or permanent, will be issued by a municipality until a Report of Compliance is issued by the district. **Inspections for a Report of Compliance MUST be scheduled at least 5 business days in advance.**

This certification is limited to the controls specified in this referenced plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency.

Conditions:

Sincerely,

Karol Blew
District Manager

3/14/2022

cc: **Municipal Construction Officer** - Municipal Planning Board - Township Engineer - Design Engineer



2022-023

For District Use Only	APPROVED MAR 14 2022

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act, Chapter 251, P.L. 1975 as amended (NJSA 4:24-39 et. seq.) An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project 103 Lewis Court			Project Location: Municipality Franklin Township		
Project Street Address 103 Lewis Court, Franklinville NJ 08322			Block 5702	Lot 52.03	
Project Owner(s) Name Richard and Ruth Petriello			Email petchx5@comcast.net	Phone # 609-923-0383 Fax # 856-809-0773	
Project Owner(s) Street Address (No P.O. Box Numbers) 103 Lewis Court			City Franklinville	State NJ	Zip 08322
Total Project Area (Acres) 1.013	Total Disturbed Area (Acres) 0.16	Total Soil Restoration Area (Acres)	No. Dwelling or other Units 1	Fee \$ 865.00	
Plans Prepared by* Consulting Engineer Services			Email of plan preparer: design@ces-1.com	Phone # 856-228-2200 Fax # 856-232-2346	
Street Address 645 Berlin-Cross Keys Rd, Suite 1			City Sicklerville	State NJ	Zip 08081

*(Engineering related items of the Soil Erosion and Sediment Control Plan **MUST** be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13:27-6.1 et. seq.)

Agent Responsible During Construction Gail Hopkins for Schaeffer Family Homes LLC			Email gail@schaefferhomes.com		
Street Address 42 Berlin Road					
City Cherry Hill	State NJ	Zip 08034	Phone 856-809-0010	Fax # 856-809-0773	

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current **Standards for Soil Erosion and Sediment Control In New Jersey** and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

1. To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
2. To notify the District upon completion of the Project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District.
3. To maintain a copy of the certified plan on the project site during construction.
4. To allow District agents to go upon project lands for inspection.
5. That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
6. To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three- and one-half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. It is further understood that all documents, site plans, design reports etc. submitted to the district shall be made available to the public (upon request) pursuant to the Open Public Records Act, N.J.S.A. 47:1A-1 et seq.

1. Applicant Certification* Signature <i>[Signature]</i> Date 02/02/2022 Gail Hopkins for Schaeffer Family Homes LLC Applicant Name (Print)	3. Plan determined complete: Signature of District Official <i>[Signature]</i> Date 3/14/22
2. Receipt of fee, plan and supporting documents is hereby acknowledged: Signature of District Official <i>[Signature]</i> Date 3/3/22	4. Plan certified, denied or other actions noted above. Special Remarks: Signature of District Official <i>[Signature]</i> Date 3/14/22

*If other than project owner, written authorization of owner must be attached.

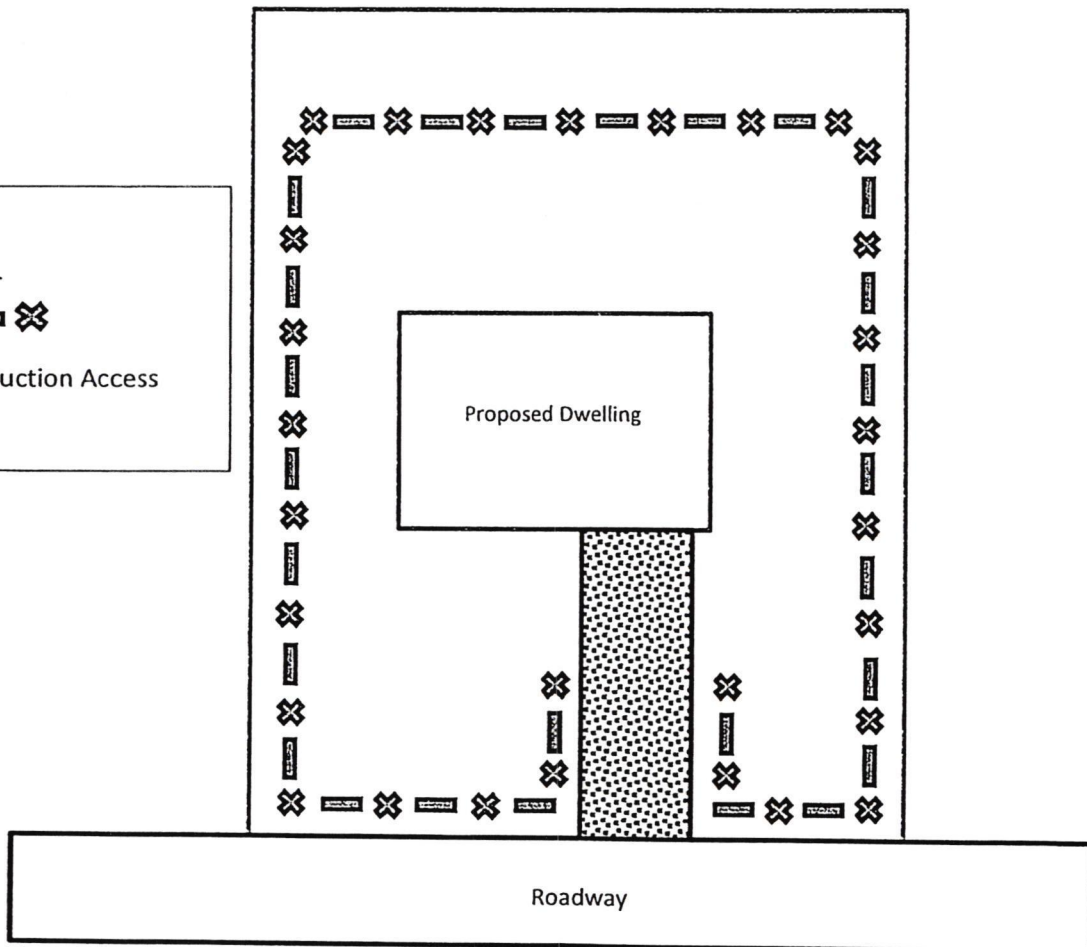
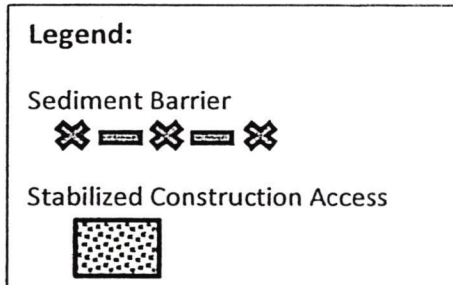
SSCC251 AP10 3/18

Typical Lot Detail

During Construction and/or Lot Area Disturbance
(N.T.S.)

Sediment Barriers are to be installed around perimeter of limit of disturbance for the lot and continued up both sides of driveway – refer to *Standard for Sediment Barriers 23-1*, for examples and installation requirements.

Stabilized Construction Access – Stone Tracking Pad is required at all points of ingress/egress. 2"-2 ½" clean crushed stone placed 6" thick in area of driveway during construction. Refer to *Standard for Stabilized Construction Access 27-1*.



Note: Responsibility for placement and maintenance of soil erosion control measures on any given lot belongs to the person(s) doing the disturbance or construction

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
4. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
5. ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE GLOUCESTER SOIL CONSERVATION DISTRICT.
7. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
8. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
10. A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZED PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 ½" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
12. PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL).
THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
16. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
17. MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.

18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
20. THE GLOUCESTER SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
21. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
22. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
23. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE GLOUCESTER SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4 OR LESS.
25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE.
30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
3. Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

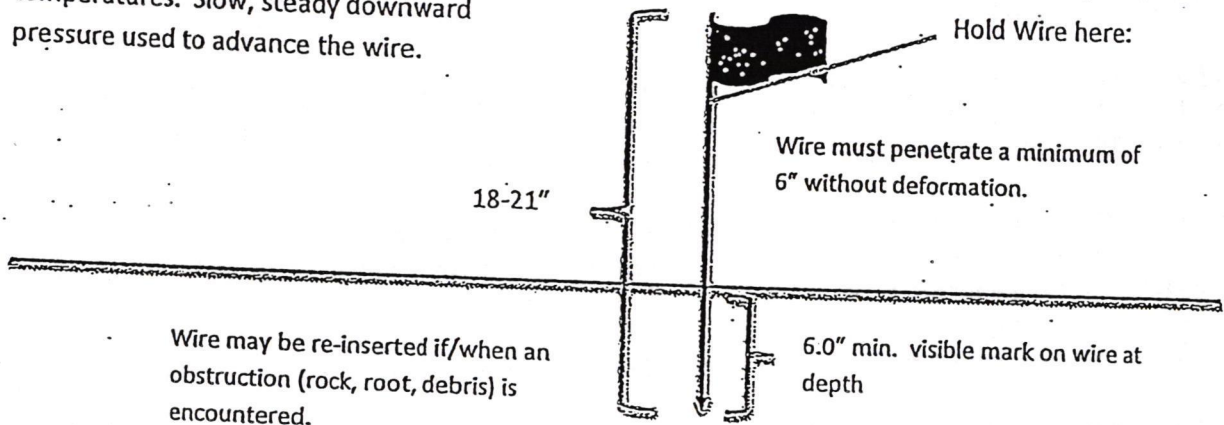
Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted subject to District Approval.

Simplified Testing Methods

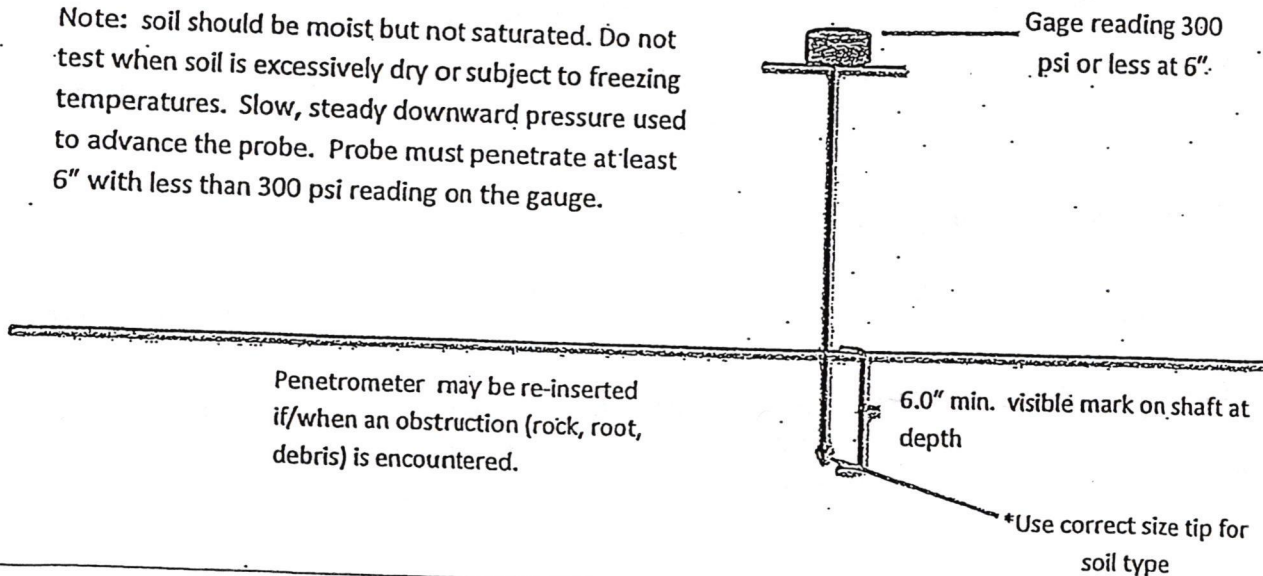
Probing Wire Test- 15.5 ga steel wire (survey flag)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6\" with less than 300 psi reading on the gauge.



Township of Franklin

Zoning Permit

Application #: **5612** Permit No: **20220011.000** Issue Date: **01/24/2022**

Construction Control Number :

Block: **5702** Lot: **52.03**

Work Site: **103 LEWIS CT**

Owner: **PETRIELLO, RICHARD & RUTH**

Address: **103 LEWIS CT**

City/State/Zip: **FRANKLINVILLE NJ 08322**

Telephone: **___-___**

Fax: **()-___**

EMail:

Tenant:

Qualifier:

Zone: **R-A**

Agent: **PETRIELLO, RICHARD & RUTH**

Address: **103 LEWIS CT**

City/State/Zip: **FRANKLINVILLE NJ 08322**

Telephone: **609 9230383**

Fax: **()-___**

EMail :

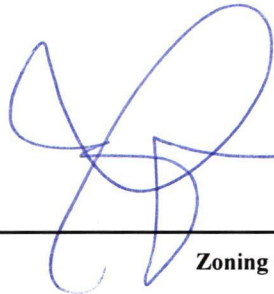
Voucher/Receipt #:	0
Check #:	1401
Amount collected:	\$50.00

This is to certify that the above-described premises together with any building thereon, are approved for use as indicated below and as depicted on the Plot Plan:

rebuild single family 3-bedroom home

Which is a:

- ☒ Use permitted by Zoning Ordinance, Article - **XIII-RA** Section - **253-95D**
- ☐ Use permitted by variance approved on _____, # _____ subject to any special conditions attached to the grant thereof.
- ☐ Valid nonconforming use as established by () findings of the Zoning Board of Adjustment or by () the undersigned zoning officer or by () Planning Board on the basis of evidence supplied by applicant. Conditions, if any:
- ☐ There is a nonconforming structure on the premises by reason of insufficient
- ☒ Other: **Construction Permits Required**



Zoning Official

This is NOT a Construction Permit

Township of Franklin

Zoning Permit

Application #: 5612 Permit No: 20220011.000 Issue Date: 01/24/2022

Construction Control Number :

Voucher/Receipt #: 0
Check #: 1401
Amount collected: \$50.00

Block: 5702 Lot: 52.03

Qualifier:

Work Site: 103 LEWIS CT

Zone: R-A

Owner: PETRIELLO, RICHARD & RUTH

Agent: PETRIELLO, RICHARD & RUTH

Address: 103 LEWIS CT

Address: 103 LEWIS CT

City/State/Zip: FRANKLINVILLE NJ 08322

City/State/Zip: FRANKLINVILLE NJ 08322

Telephone: ____-____

Telephone: 609 9230383

Fax: (____)____-____

Fax: (____)____-____

Email:

Email :

Tenant:

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rebuild single family 3-bedroom home

Which is a:

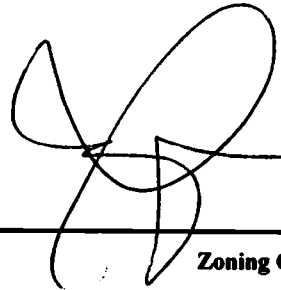
☒ Use permitted by Zoning Ordinance, Article - XIII-RA Section - 253-95D

☐ Use permitted by variance approved on _____, # _____ subject to any special conditions attached to the grant thereof.

☐ Valid nonconforming use as established by () findings of the Zoning Board of Adjustment or by () the undersigned zoning officer or by () Planning Board on the basis of evidence supplied by applicant. Conditions, if any:

☐ There is a nonconforming structure on the premises by reason of insufficient

☒ Other: Construction Permits Required



Zoning Official

This is NOT a Construction Permit