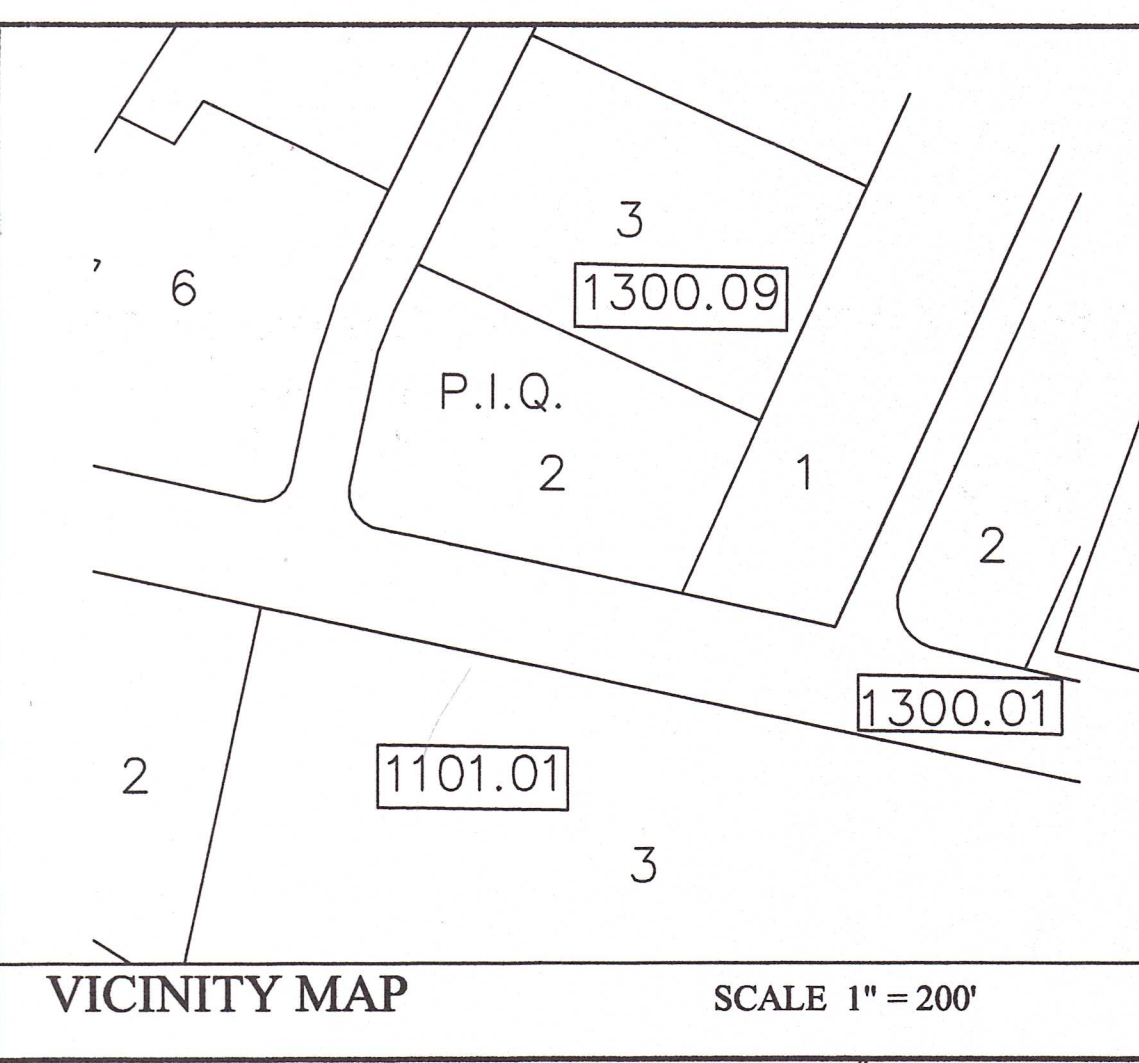


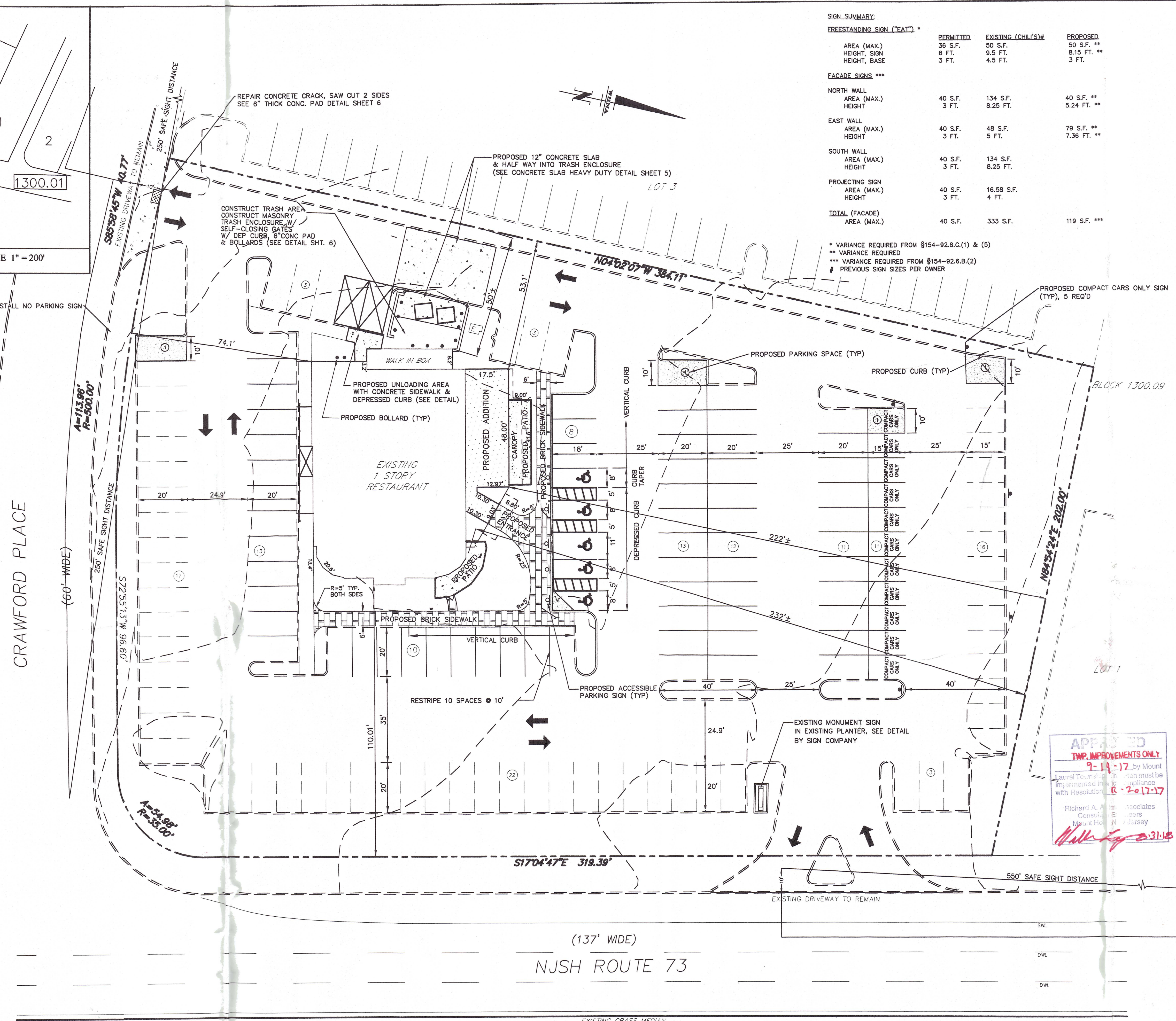


OWNER'S WITHIN 200 FEET

BLOCK	LOT	OWNER
1100.01	2	BALDUCCI, INC.
1300.01	2	HOLMAN AUTOMOTIVE GROUP, INC.
1300.03	5.02	PMC REAL ESTATE, LLC.
1300.09	1	HPT SUITE PROP. TST SELECT HOTELS
	3	BLOOM ORGANIZATION OF SJ, LLC.
		TEJ MT. LAUREL HOSPITALITY, LLC.

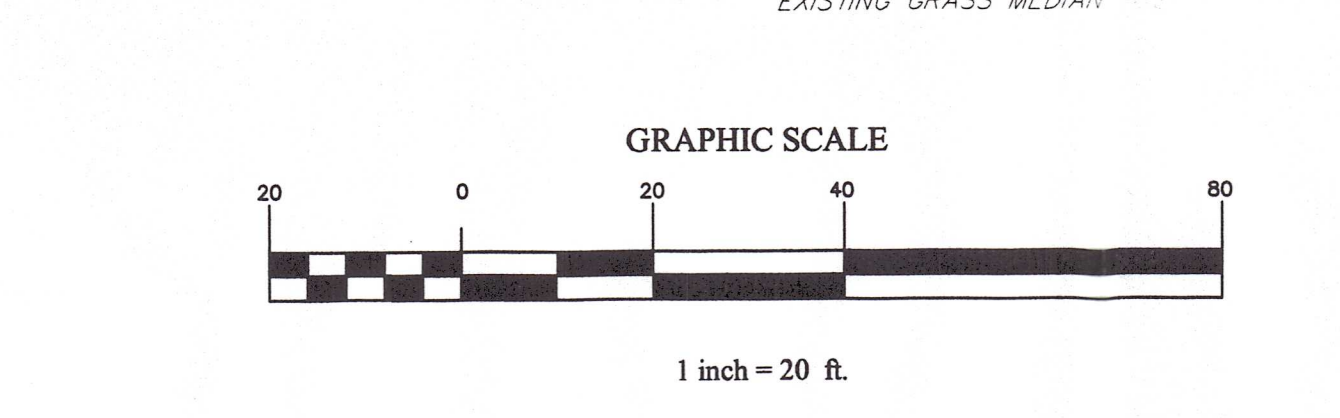
- LEGEND
- 58.57' x
 - EXISTING ELEVATION
 - EXISTING CONTOUR
 - EXISTING CONTOUR
 - PROPOSED ELEVATION
 - PROPOSED CONTOUR
 - EXISTING UTILITY POLE
 - ADDED PARKING SPACE
 - PROPOSED PAVING
 - PROPOSED BOLLARD
 - PROPOSED CURB
 - EXISTING CURB

APPROVED
BOARD PLANNER
REMINGTON & VERNICK ENGINEERS
BY: [Signature] DATE: 8-13-18



APPROVED
BOARD OF TRAFFIC ENGINEER
REMINGTON, VERNICK & ARANGO ENGINEERS
BY: [Signature] DATE: 8-13-2018

Mount Laurel Fire Department
Approved
8-22-18



SIGN SUMMARY:

FREESTANDING SIGN ("FAT")	PERMITTED	EXISTING (CHIL'S)	PROPOSED
AREA (MAX.)	36 S.F.	50 S.F.	50 S.F. **
HEIGHT, SIGN	8 FT.	9.5 FT.	8.15 FT. **
HEIGHT, BASE	3 FT.	4.5 FT.	3 FT.

FACADE SIGNS ***

NORTH WALL	AREA (MAX.)	HEIGHT	EXISTING (CHIL'S)	PROPOSED
AREA (MAX.)	40 S.F.	3 FT.	134 S.F.	40 S.F. **
HEIGHT			8.25 FT.	5.24 FT. **

EAST WALL	AREA (MAX.)	HEIGHT	EXISTING (CHIL'S)	PROPOSED
AREA (MAX.)	40 S.F.	3 FT.	48 S.F.	79 S.F. **
HEIGHT			5 FT.	7.36 FT. **

SOUTH WALL	AREA (MAX.)	HEIGHT	EXISTING (CHIL'S)	PROPOSED
AREA (MAX.)	40 S.F.	3 FT.	134 S.F.	40 S.F. **
HEIGHT			8.25 FT.	5.24 FT. **

PROJECTING SIGN	AREA (MAX.)	HEIGHT	EXISTING (CHIL'S)	PROPOSED
AREA (MAX.)	40 S.F.	3 FT.	16.58 S.F.	4 FT.
HEIGHT				

TOTAL (FACADE) AREA (MAX.) 40 S.F. 333 S.F. 119 S.F. ***

* VARIANCE REQUIRED FROM §154-92.6.C.(1) & (5)
** VARIANCE REQUIRED
*** VARIANCE REQUIRED FROM §154-92.6.B.(2)
PREVIOUS SIGN SIZES PER OWNER



SITE LOCATION
SCALE 1"=2000'
SOURCE: U.S.G.S TOPOGRAPHIC MAP
MOORESTOWN QUADRANGLE

- GENERAL NOTES:
- PROPERTY OUTBOUND AND SITE TOPOGRAPHY ARE BASED ON "TOPOGRAPHICAL SURVEY" OF BLOCK 1300.09, LOT 26, MOUNT LAUREL TOWNSHIP BY RICHARD M. SAPIO, P.L.S., DATED 5/25/2012.
- CONSTRUCTION NOTES:
- ALL PARKING SPACES SHALL BE DELINEATED BY 4" WIDE WHITE STRIPING.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE N.J. D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AND ALL AGENDA THERE TO, AND BURLINGTON COUNTY ENGINEERING DEPARTMENT SUPPLEMENTAL SPECS.
 - ALL PROPOSED SITE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 P.S.I.
 - THE CONTRACTOR SHALL REPAIR/PATCH POTHOLES AND/OR DAMAGED ASPHALT PAVEMENT THROUGHOUT THE PROPERTY AS NECESSARY.
 - ALL PAVEMENT SUBGRADE PREPARATION MUST BE APPROVED BY THE TOWNSHIP ENGINEER.
 - THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).
 - CONTRACTOR SHALL ADJUST GRADES OF ANY EXISTING UTILITY COVERS/LIDS DUE TO PROPOSED IMPROVEMENTS.

SITE DATA:

TAX MAP DESIGNATION:	LOT 2; BLOCK 1300.09; SHEET 13.07
SITE AREA:	90,867.33 S.F. - 2.09 ACRES.
PRESENT ZONING:	I, INDUSTRY DISTRICT
EXISTING & PROPOSED USE:	RESTAURANT

ZONING SUMMARY:

ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA:	60,000 S.F.	90,867 S.F.	90,867 S.F.
LOT WIDTH (● BLDG.):	100 FT.	370 FT. ±	370 FT. ±
LOT FRONTAGE:	150 FT.	625.70 FT. ±	625.70 FT. ±
FRONT YARD:	50 FT.	110.01 FT. ±	110.01 FT. ±
SIDE YARD:	20 FT.	232 FT. ±	222 FT. ±
SIDE YARD ADJ. TO STREET:	70 FT.	74.1 FT.	74.1 FT.
SIDE YARD AGGREGATE:	50 FT.	306.1 FT. ±	296.1 FT. ±
REAR YARD:	50 FT.	50 FT.	53.1 FT. ±
BUILDING COVERAGE:	50% MAX.	6.1%	7.2%
BUILDING HEIGHT:	80 FT.	<60 FT.	<60 FT.
LOT COVERAGE:	80%	80.4%	81.3%

* VARIANCE REQUIRED

PARKING SCHEDULE:

PARKING SPACES REQUIRED:

240 SEATS/2 SEATS PER SPACE = 120

20 EMPLOYEES/1 EMPLOYEE PER SPACE = 20

TOTAL = 140

PARKING SPACES PROVIDED:

142 SPACES (INCLUDING 5 ACCESSIBLE SPACES & 27 COMPACT SPACES)

THIS PLAN IS HEREBY APPROVED BY THE MOUNT LAUREL TOWNSHIP PLANNING BOARD.

CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

OWNERS SIGNATURE: [Signature] DATE: 8/23/18

OWNER: [Signature] DATE: 8/23/18

APPROVED SET

REQUIRED AGENCIES' APPROVALS:

- MT. LAUREL TOWNSHIP PLANNING BOARD.
- MT. LAUREL TOWNSHIP MUA.

OWNER: CATAWBA ASSOCIATES - MT. LAUREL, LLC
209 E. WASHINGTON STREET
PO BOX 1888
MIDDLEBURG, VA. 20118

APPLICANT: JOSE TEJAS, INC.
8 NORTH LIBERTY STREET
PO BOX 1888
MIDDLEBURG, VA. 20118

PHONE: (540) 687-9790
FAX: (540) 687-9791

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AMENDED PRELIMINARY AND FINAL
MAJOR SITE PLAN
1310 RT. 73
BLOCK 1300.09 LOT 2 SHEET 13.07
MOUNT LAUREL TOWNSHIP BURLINGTON COUNTY, N.J.

William H. Nicholson Associates, P.A.
CIVIL ENGINEERING & LAND PLANNING
4 Rancocas Blvd. Rancocas Woods
Mt. Laurel, N.J. 08054
(856) 778-7447 fax: (856) 778-7744 www.whnappa.com

William H. Nicholson, P.E.
PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 27887

DRAWN: BB
CHECKED: WHN
DATE: 3/10/17
FILE NO.: 1223
SCALE: 1"=20'
Dwg No.: 955
SHEET: 1 OF 6