

Jewish Russian Center, INC.
Amended Preliminary & Final Major Site Plan
With Use Variance
for
LOT 10, BLOCK 207

MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY



LIST OF OWNERS WITHIN 200'

OWNERS WITHIN 200 FEET OF LOT 10 IN BLOCK 207 MARLBORO TOWNSHIP MONMOUTH COUNTY, NJ		
BLOCK	LOT(S)	OWNER(S)
206	27	MAGHAN, JAMES H.
206	28	MARLBORO TWP. BD. OF ED
206	29	GECESEY, JOHN P. & GRACE LOIS E.
206.01	35	YIP, ROBIN & REN, PEI
206.01	36	AJASHVILI, ELI & GLOZSHTEYN, ALLA
207	5	WINDRIDGE / PATTERSON / J BROWN
207	6	LOPES, JOAO C. & NATERCIA H.
207	7	PARRA, WILLIAM
207	9	GALEROS, GENA M.
207	11,12,14	VEJSEL, ARUN & NAZA
OTHERS:		
W.M.U.A. MARLBORO TOWNSHIP WATER UTILITY GORDONS CORNER WATER COMPANY N.J. NATURAL GAS COMPANY CABLEVISION OF MONMOUTH VERIZON NEW JERSEY INC. I.C.P. & L. MONMOUTH COUNTY PLANNING BOARD N.J.D.O.T.		

LIST OF REQUESTED DESIGN WAIVERS AND VARIANCES

220-47 LC LAND CONSERVATION DISTRICT
(A) PERMITTED USES - THE HOUSE OF WORSHIP IS AN EXISTING NON CONFORMING USE.

220-34 D AREA YARD AND BUILDING REQUIREMENTS
LOT AREA 5 ACRES REQUIRED, 3.40 ACRES - EXISTING CONDITION
LOT WIDTH 400 FEET REQUIRED, 306.56 FEET - EXISTING CONDITION
LOT DEPTH 500 FEET REQUIRED, 455 FEET ± - EXISTING CONDITION
MINIMUM FRONT YARD SETBACK (PRINCIPAL) 75 FEET REQUIRED - 59 FEET - EXISTING CONDITION
MINIMUM SIDE YARD SETBACK 75 FEET REQUIRED - 49.5 FEET - PROPOSED
MAXIMUM BUILDING HEIGHT - 35 FEET REQUIRED - 40 FEET - EXISTING CONDITION
MAXIMUM LOT COVERAGE - 5% REQUIRED - 51.8% - PROPOSED
MAXIMUM BUILDING COVERAGE - 2% REQUIRED 13.3% - PROPOSED

220-97 OFF STREET PARKING
(B) 10'x20' REQUIRED 9'x18' EXISTING / PREVIOUSLY APPROVED.

220-97 F (11) INSTITUTIONAL
1 PER 3 SEATS = 187 REQUIRED/ 127 PROPOSED.

I HEREBY THAT I AM THE OWNER OF THE
PROPERTY KNOWN AS BLOCK 207, LOT 10
IN THE TOWNSHIP OF MARLBORO, MONMOUTH
COUNTY, NJ.

RABBI YOSHI KANELSKY FOR
JEWISH RUSSIAN CENTER, INC.

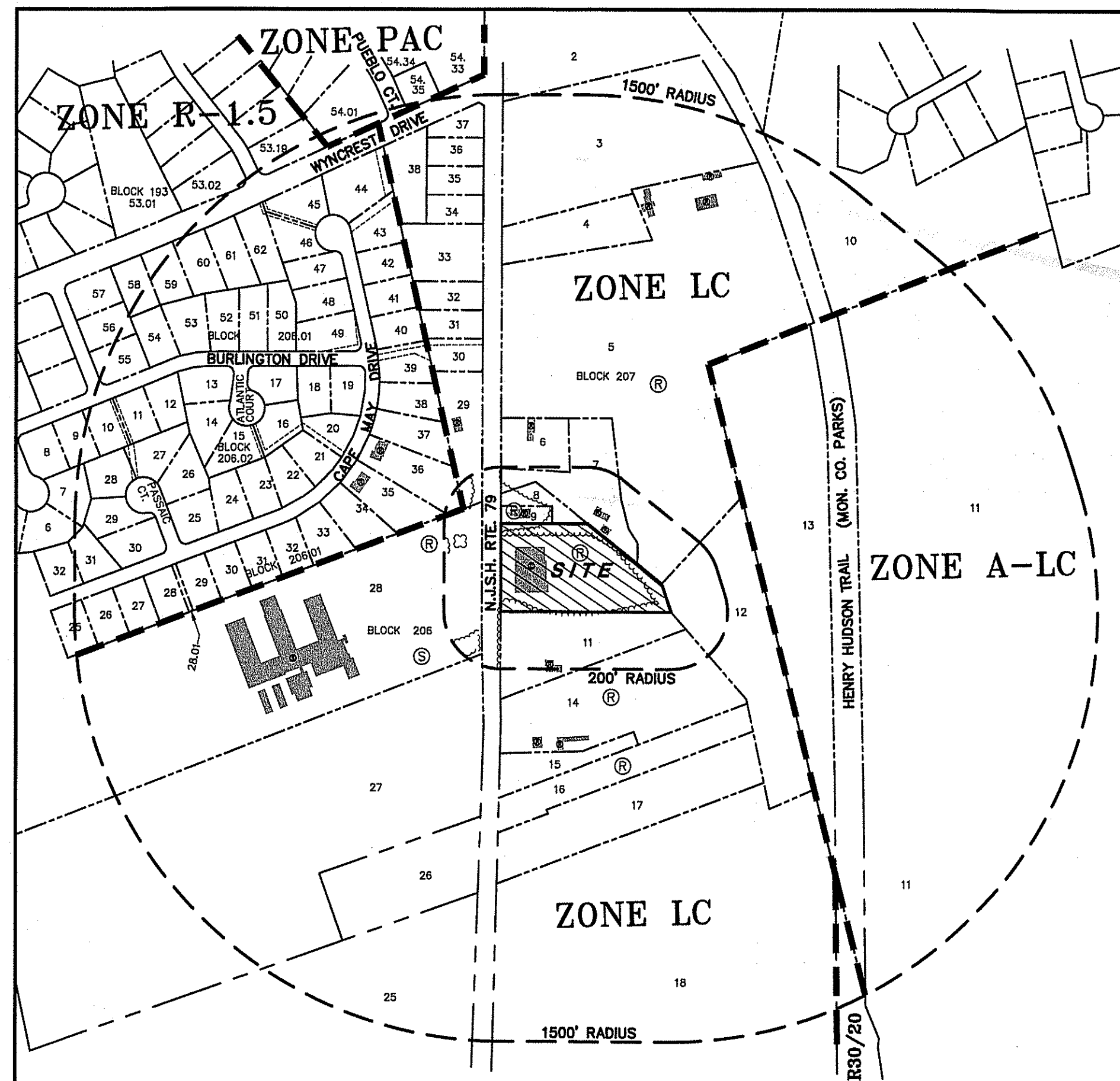
DATE

APPROVED BY THE ZONING BOARD OF ADJUSTMENTS
OF THE TOWNSHIP OF MARLBORO ON _____
AS APPLICATION NO. _____

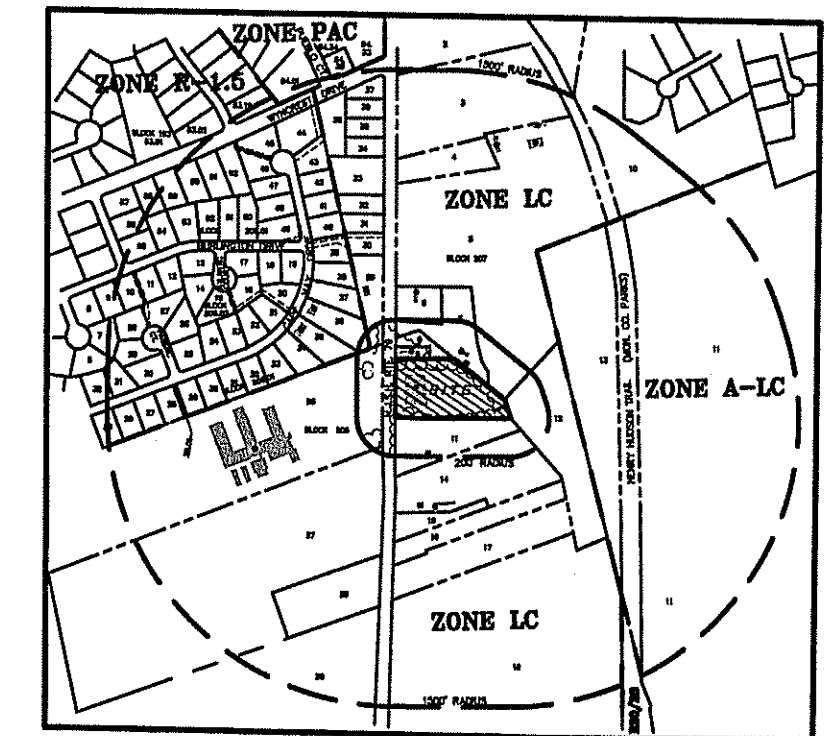
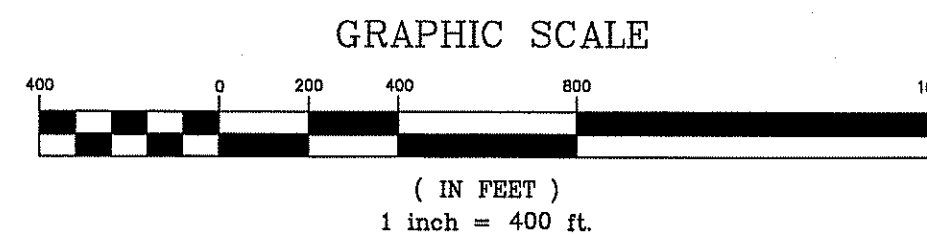
CHAIRMAN DATE

SECRETARY DATE

TOWNSHIP ENGINEER DATE



AREA/ZONING MAP



KEY MAP

SCALE: 1" = 1,000'

GENERAL NOTES

- PROPERTY KNOWN AS LOT 10 IN BLOCK 207 AS SHOWN ON SHEET 67 OF THE MARLBORO TOWNSHIP TAX MAPS AND CONTAINS 3.40 ACRES.
 - OWNER/ APPLICANT : JEWISH RUSSIAN CENTER, INC.
RABBI YOSHI KANELSKY
176 ROUTE 79
MARLBORO, NEW JERSEY 07746
PHONE: 917-705-9981
 - THE PROPERTY IS CURRENTLY IN THE LC ZONE (LAND CONSERVATION DISTRICT).
 - LC ZONE REQUIREMENTS:

	REQUIRED	EXISTING	PROVIDED
MIN. LOT AREA	5 ACRES	3.40 ACRES *	3.40 ACRES *
MIN. LOT WIDTH/FRONTAGE	400 FT.	306.56 FT. *	306.56 FT. *
MIN. LOT DEPTH	500 FT.	455 FT. ± *	455 FT. ± *
MIN. FRONT YARD SETBACK (PRINCIPAL BLDG.)	75 FT.	59 FT.	59 FT. **
MIN. SIDE YARD SETBACK (EACH)	75 FT.	66.4 FT. *	49.5 FT.
MIN. REAR YARD SETBACK	75 FT.	155.2 FT.	155.0 FT.
MIN. FRONT SETBACK (ACCESSORY BUILDING)	100 FT.	N/A	N/A
MIN. SIDE OR REAR SETBACK (ACCESSORY BUILDING)	40 FT.	N/A	N/A
MAX. BLDG. HEIGHT (PRINCIPAL BUILDING)	35 FT.	40 FT. *	33.33 FT. (ADDITION)
MAX. % IMPERVIOUS LOT COVERAGE	5%	47.5%	51.8%
MAX. % BLDG. COVERAGE (PRINCIPAL & TOTAL)	2%	11.2%	13.32%

* EXISTING NON CONFORMITY (PREVIOUSLY APPROVED)
** VARIANCES REQUESTED FOR PROPOSED ADDITION SETBACK AND BUILDING COVERAGE.
- "THE PURPOSE OF THIS PLAN IS TO OBTAIN SITE PLAN APPROVAL FOR A BUILDING ADDITION TO MODIFY AN EXISTING HOUSE OF WORSHIP TO ACCOMMODATE THE NEW CONGREGATION'S REQUIREMENTS. THE PROPERTY WAS PREVIOUSLY APPROVED AS A HOUSE OF WORSHIP AS A PERMITTED CONDITIONAL USE. AS A RESULT OF THE ZONE CHANGE, A "D" VARIANCE TO MODIFY A PRE-EXISTING, NON-CONFORMING USE WOULD BE REQUIRED. THE EXPANSION BULK VARIANCE RELIEF FOR THE SIDE YARD SETBACK FOR THE NEW ADDITION, BUILDING, AND LOT AND BUILDING COVERAGE RELIEF WILL BE REQUESTED."
 - PARKING REQUIREMENTS:
ORIGINAL APPROVAL WAS FOR A 560 SEAT HOUSE OF WORSHIP AT THE REQUIRED RATIO OF ONE SPACE PER 4 SEATS = 140 SPACES. PROPOSED USE OF THE SITE FOR WILL MAINTAIN THE 560 SEATS, HOWEVER AT THE CURRENT PARKING RATIO (1 SPACE/3 SEATS) IN THE LAND USE REGULATIONS PARKING REQUIRED = 187 SPACES. 127 SPACES ARE PROVIDED. A WAIVER IS REQUESTED FOR CONTINUED USE OF THE EXISTING 9'x18' PARKING SPACES, INSTEAD OF 10'x20' SPACES.
 - SEWER AND WATER SERVICE IS PROVIDED BY EXISTING CONNECTIONS TO THE WESTERN MONMOUTH UTILITIES AUTHORITY AND THE MARLBORO TOWNSHIP WATER UTILITY DIVISION SYSTEMS.
 - PROPERTY BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY BY CREST ENGINEERING ASSOCIATES INC. DATED 12/16/19. TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED WITHIN 200' OF THE SITE (SEE EXISTING CONDITIONS PLAN).
 - NO CHANGE TO THE UTILITY CONNECTIONS FOR THE EXISTING PROPOSED, INCLUDING GAS, ELECTRIC AND TELEPHONE IS PROPOSED.
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
 - NO ADDITIONAL FREE STANDING SIGNS PROPOSED FOR THIS APPLICATION.
 - THIS PROJECT IS NOT A "MAJOR" PROJECT, AS DEFINED BY CURRENT TOWNSHIP AND NJDEP REGULATIONS, AS THERE WILL BE LESS THAN 0.25 ACRES (97 S.F.) OF NEW IMPERVIOUS AREA CREATED AND LESS THAN ONE ACRE OF SITE DISTURBANCE. THEREFORE, NO STORMWATER MANAGEMENT FACILITIES OR CALCULATIONS ARE NECESSARY.
 - PARKING LOT IS ILLUMINATED AND NO ALTERATIONS TO THE SITE LIGHTING ARE PROPOSED.
 - THE EXISTING BUILDING AND PARKING LOT ARE LANDSCAPED. LANDSCAPING PROPOSED ADJACENT TO BUILDING ADDITION.
 - PROPOSED ON-SITE WELL TO BE UTILIZED FOR RITUAL BATHS - SPRING WATER REQUIRED. A N.J.D.E.P. WELL PERMIT IS REQUIRED AT TIME OF CONSTRUCTION.
 - A TREE REMOVAL PERMIT SHALL BE SECURED PRIOR TO ANY SITE DISTURBANCE.
 - ANY IMPORTED FILL MEET THE DEFINITION OF CLEAN FILL AS STATED IN THE NJDEP'S TECHNICAL REQUIREMENTS FOR SITE REMEDIATION (N.J.A.C. 7:26 E)

SHEET INDEX:

DESCRIPTION	REVISION DATE
1. COVER SHEET	06/13/24
2. EXISTING CONDITIONS	06/13/24
3. SITE & CIRCULATION PLAN	05/22/24
4. GRADING & DRAINAGE PLAN	09/4/24
5. UTILITY CONNECTION PLAN	09/4/24
6. LANDSCAPE & LIGHTING PLAN (TREE REMOVAL and REPLACEMENT)	09/5/24
7. DETAILS (SOIL EROSION AND SEDIMENT CONTROL PLAN)	09/5/24
8. DEMOLITION PLAN	01/05/24
9. MTWUD DETAILS	05/22/24
10. MTWUD DETAILS	05/22/24

ZB#21-67524

9. REVISED FOR RESOLUTION COMPLIANCE	8/4/24	EA
8. REV. PER TOWNSHIP ENGINEER LETTER DATED 06/12/2024	06/13/24	JGN
7. REV. PER TOWNSHIP ENGINEER LETTER DATED 05/13/2024	05/22/24	JGN
6. ADDED MTWUD DETAIL SHEET 10 OF 10	01/05/24	JGN
5. ADDED DETAIL SHEET 9 OF 9	12/01/23	JGN
4. ADDED UTILITY CONNECTION PLAN	10/20/23	JGN
3. REV. PER NEW ARCHITECTURAL PLANS	8/16/23	EA
2. REV. PER RESOLUTION COMPLIANCE LTR 3-16-22	4/8/22	EA
1. REVISED FOR RESOLUTION COMPLIANCE	1/7/22	MAF
NO		D/C

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners - Surveyors - Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 246A27989300 •

100 RIKE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)448-5550

12 ROBINS DRIVE
AT WATER STREET
TOMBS RIVER, N.J. 08053
PH(732)244-0888

DATE: 2024.08.04 16:35:43-0400

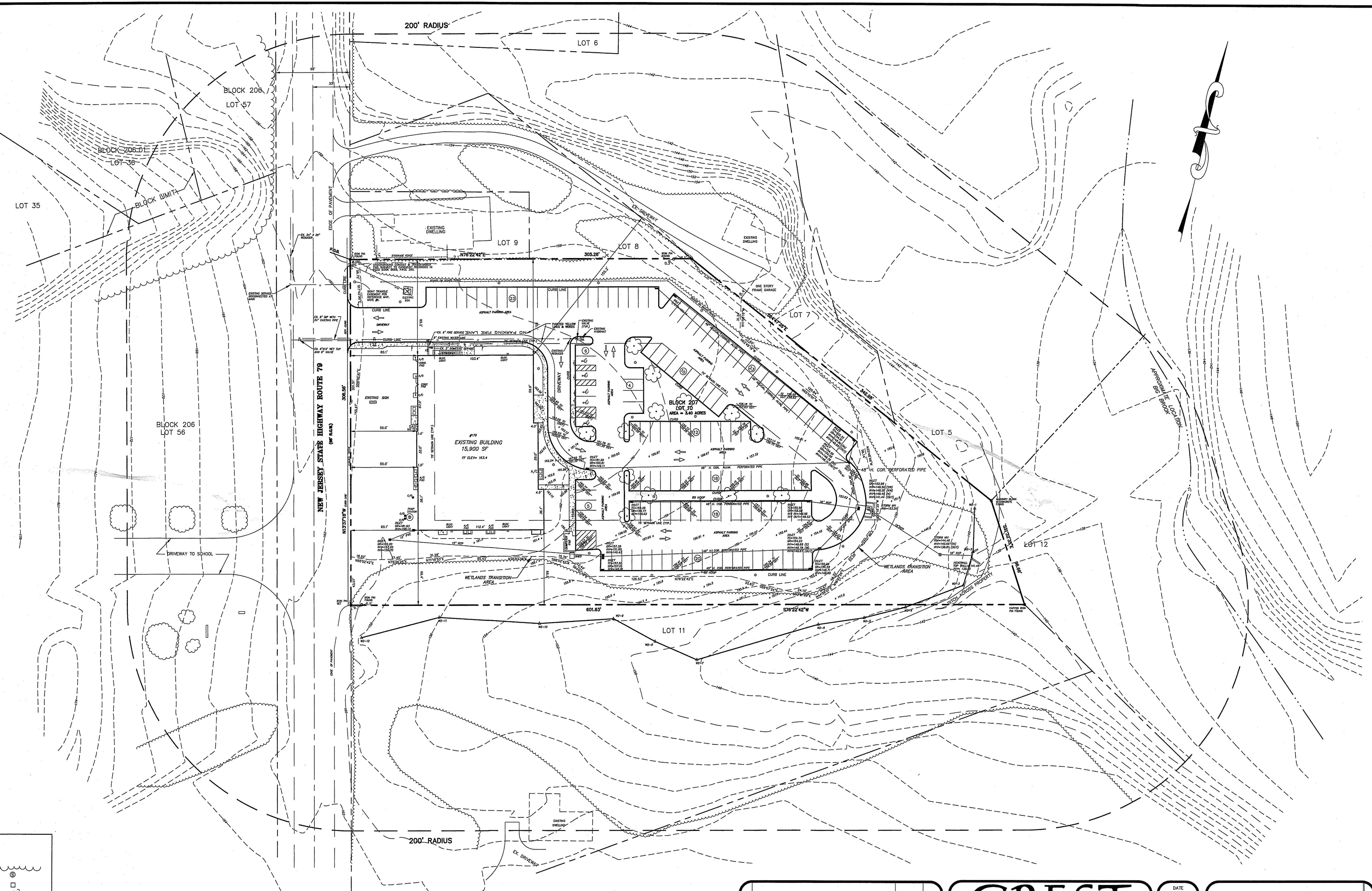
LORALI TOTTEN
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

DATE: 5/4/2021
SCALE: 1"=400'
DRAWN:
CHECKED:
SHEET: 1 OF 10
POCKET:

**LOT 10
BLOCK 207**
(TAX MAP SHEET No. 67)
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

COVER SHEET
SOIL EROSION AND SEDIMENT CONTROL PLAN

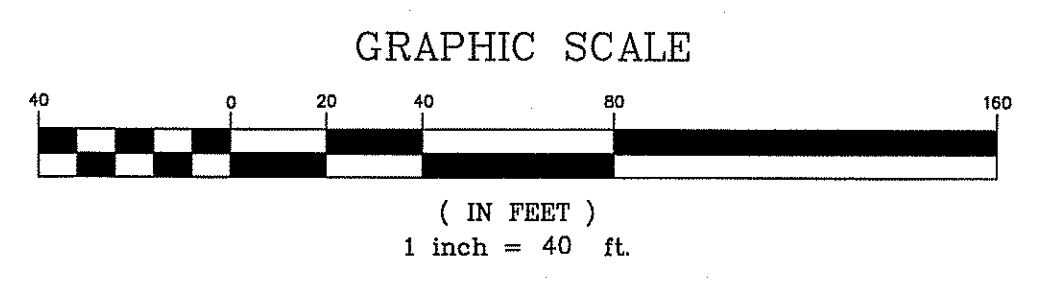
DWG. NO.:
CADD FILE: 2024-COV.DWG
KEY:



LEGEND

EXISTING FEATURES

- EXIST. TREE CANOPY LINE
- EXIST. SANITARY MANHOLE
- EXIST. INLET
- EXIST. UTILITY POLE
- EXIST. FIRE HYDRANT
- EXIST. SPOT ELEVATION
- EXIST. WATER LINE
- EXIST. SANITARY SEWER
- EXIST. STORM SEWER
- EXIST. CONTOUR
- EXIST. FENCE
- EX. TOP CURB/GUTTER GRADE
- EXIST. GAS LINE



NO	DESCRIPTION	DATE	D/C
3.	REV. PER TOWNSHIP ENGINEER LETTER DATED 6/12/2024	06/13/24	IGN
2.	REV. SHEET NUMBERS	01/05/24	IGN
1.	REV. SHEET NUMBERS	12/01/23	IGN

CREST

Engineering Associates Inc.

Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 24GA27989300 •

100 RICE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)449-5550

12 ROBINS PKWY.
AT WATER STREET
TOMBS RIVER, N.J. 08753
PH(732)244-0886

DIGITALLY SIGNED
AND SEALED BY:
Daniel P. Hundley
DANIEL P. HUNDLEY
PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO. 33174

DATE	5/4/2021
SCALE	1"=40'
DRAWN	E.A.D.
CHECKED	
SHEET	2 OF 10
POCKET	

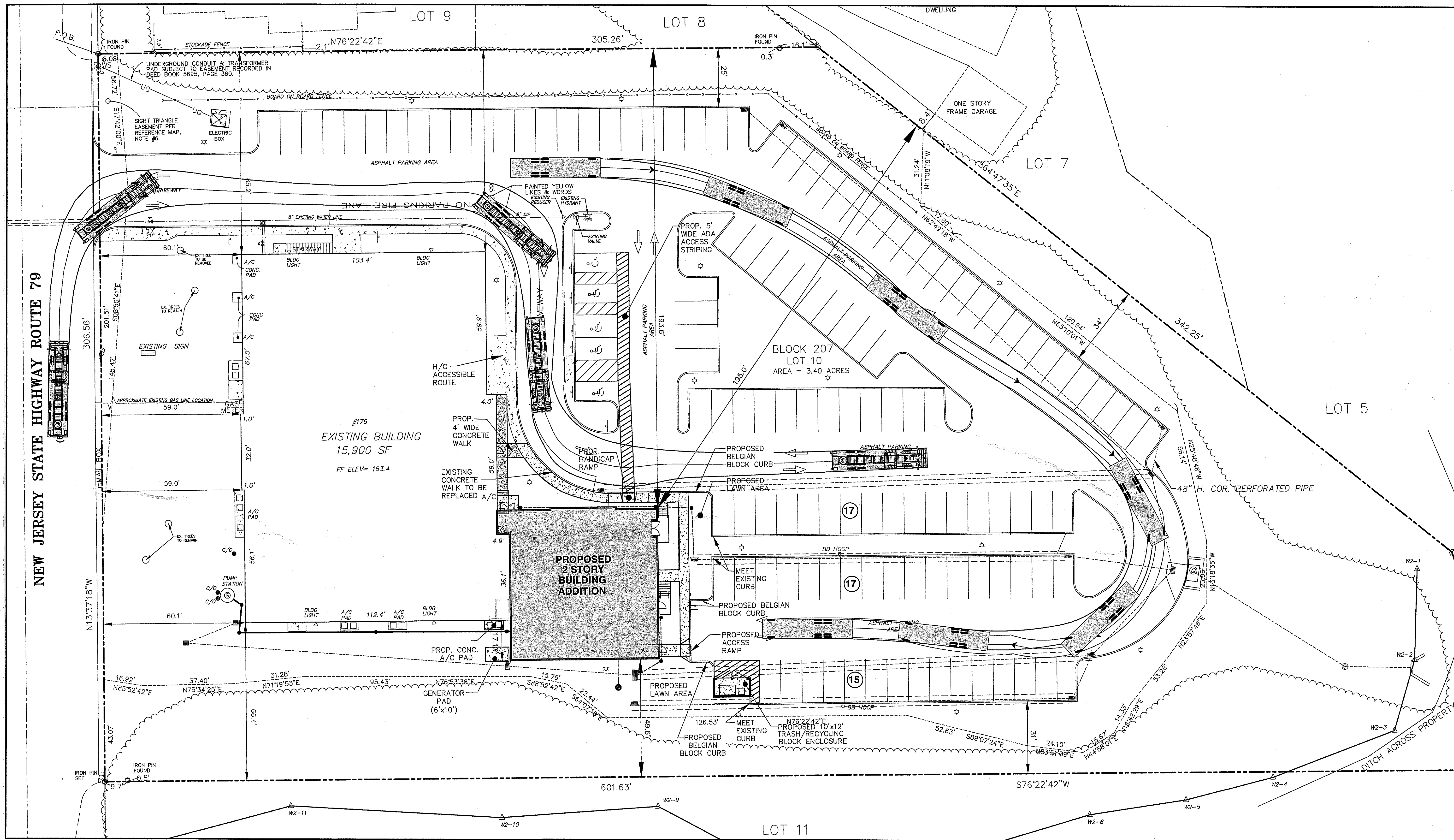
**LOT 10
BLOCK 207**

(TAX MAP SHEET No. 67)

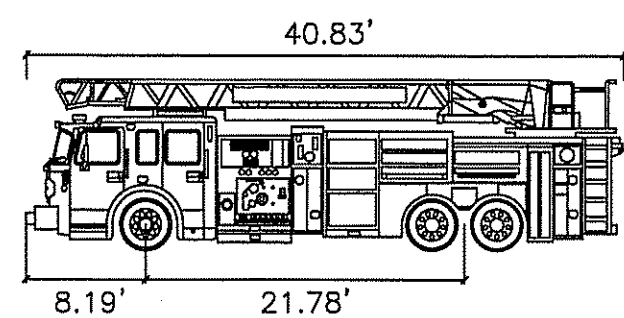
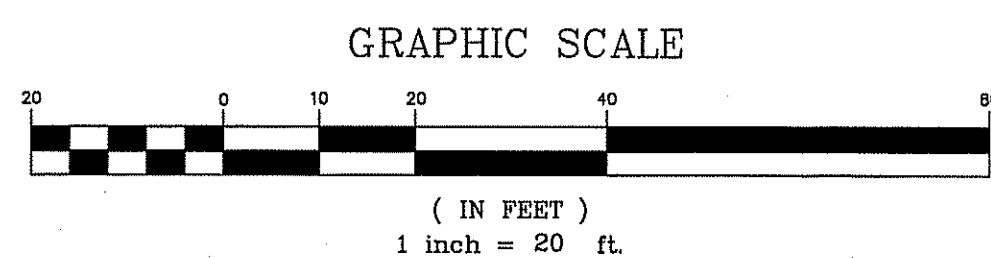
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

**EXISTING
CONDITIONS PLAN**

NEW JERSEY STATE HIGHWAY ROUTE 79

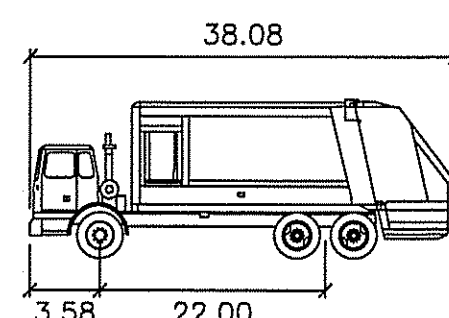


LEGEND	
EXISTING FEATURES	PROPOSED FEATURES
EXIST. TREE CANOPY LINE	PROP. TREE CANOPY LINE
EXIST. SANITARY MANHOLE	PROP. SURFACE FLOW DIRECTION
EXIST. INLET	PROP. LIMIT OF DISTURBANCE
EXIST. INLET W/ INLET PROTECTION	PROP. INLET W/ SEDIMENT BARRIER
EXIST. UTILITY POLE	PROP. SILT FENCE
EXIST. FIRE HYDRANT	PROP. SPOT ELEVATION
EXIST. SPOT ELEVATION	PROP. TOP CURB/GUTTER GRADE
EXIST. WATER LINE	PROP. CONTOUR
EXIST. SANITARY SEWER	PROP. SANITARY SEWER MANHOLE
EXIST. STORM SEWER	PROP. STORM SEWER MANHOLE
EXIST. CONTOUR	PROP. INLET
EXIST. FENCE	PROP. STORM SEWER
EX. TOP CURB/GUTTER GRADE	PROP. FLARED END SECTION
EX. CLEAN OUT	PROP. WATER LINE
	PROP. WATER VALVE
	PROP. HYDRANT
	PROP. UTILITY POLE
	PROP. REDUCER
	PROP. TEE



FIRE TRUCK

Width	8.2
Track	7.9
Lock to Lock Time	6.0
Steering Angle	46.3



TRASH TRUCK

Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	27.4

NO	DESCRIPTION	DATE	BY	CHK
8.	REVISED FOR RESOLUTION COMPLIANCE	9/4/24	BA	JGN
7.	REV. PER TOWNSHIP ENGINEER LETTER DATED 05/13/2024	05/22/24	JGN	JGN
6.	REV. SHEET NUMBERS/MTWUD	01/05/24	JGN	JGN
5.	REV. SHEET NUMBERS	12/01/23	JGN	JGN
4.	ADDED UTILITY CONNECTION PLAN	10/20/23	JGN	JGN
3.	REV. PER NEW ARCHITECTURAL PLANS	8/18/23	SA	JGN
2.	REV. PER RESOLUTION COMPLIANCE LTR 3-16-22	4/8/22	SA	JGN
1.	REV. PER FIRE BUREAU COMMENTS	1/7/22	EA	JGN
NO			D	C

CREST

Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 2462-27889300 •

100 RIVE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)448-5550

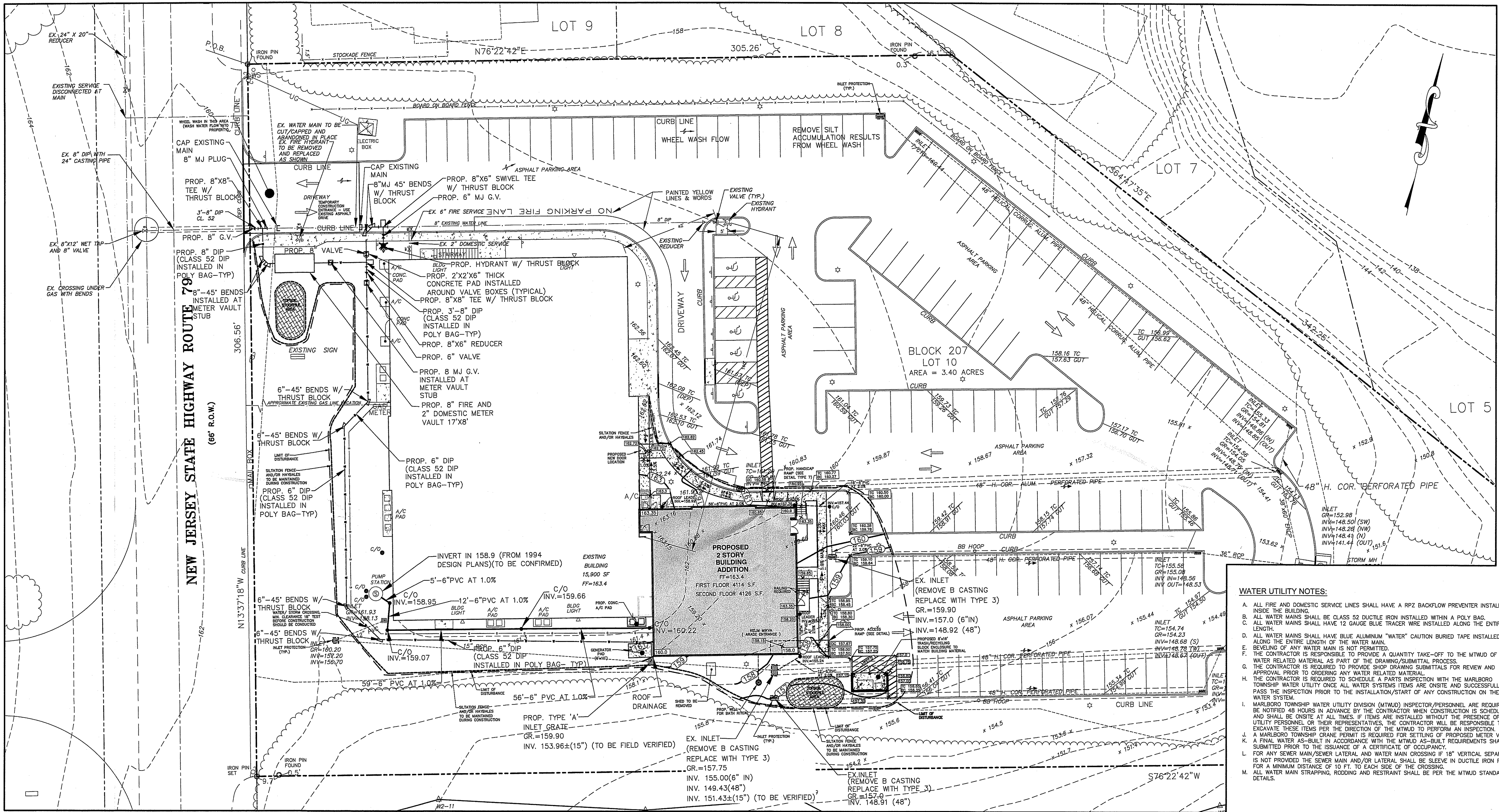
12 ROBINSON PKWY.
AT WATER STREET
TOMES RIVER, N.J. 08753
PH(732)244-0888

LORALI TOTTEN
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

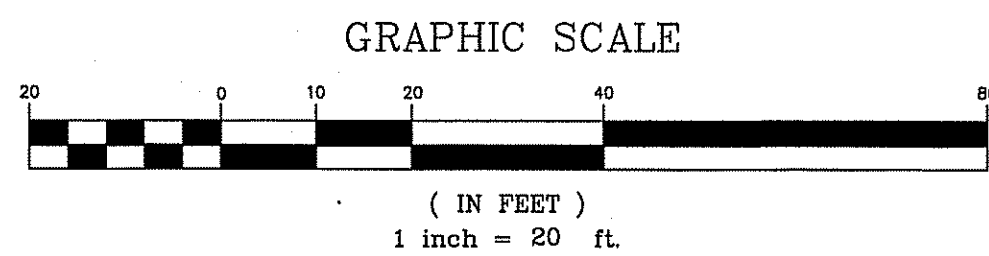
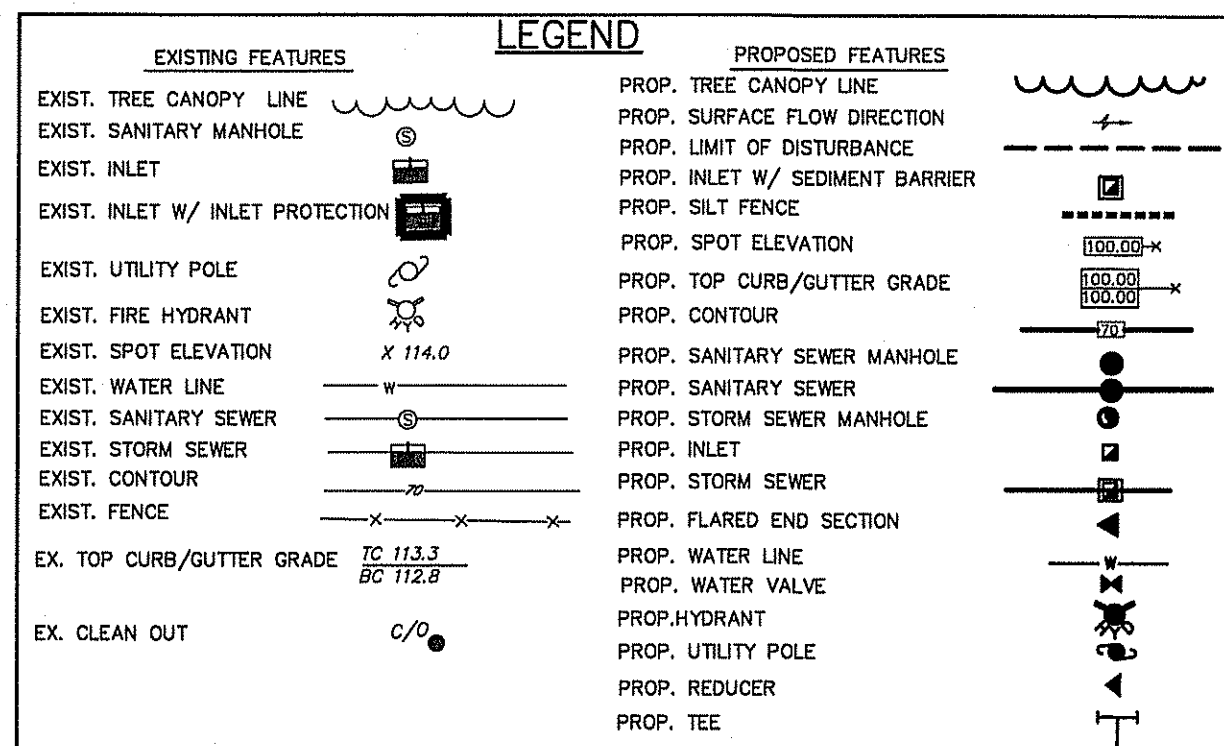
DATE	5/4/2021
SCALE	1"=20'
DRAWN	E.A.D.
CHECKED	
SHEET	3 of 10
POCKET	

**LOT 10
BLOCK 207**
(TAX MAP No. SHEET 67)
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

**SITE AND
CIRCULATION PLAN**
SOIL EROSION AND SEDIMENT CONTROL PLAN



- WATER UTILITY NOTES:**
- ALL FIRE AND DOMESTIC SERVICE LINES SHALL HAVE A RPZ BACKFLOW PREVENTER INSTALLED INSIDE THE BUILDING.
 - ALL WATER MAINS SHALL BE CLASS 52 DUCTILE IRON INSTALLED WITHIN A POLY BAG.
 - ALL WATER MAINS SHALL HAVE 12 GAUGE BLUE TRACER WIRE INSTALLED ALONG THE ENTIRE LENGTH.
 - ALL WATER MAINS SHALL HAVE BLUE ALUMINUM "WATER" CAUTION BURIED TAPE INSTALLED ALONG THE ENTIRE LENGTH OF THE WATER MAIN.
 - BEVELING OF ANY WATER MAIN IS NOT PERMITTED.
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A QUANTITY TAKE-OFF TO THE MTWUD OF ALL WATER RELATED MATERIAL AS PART OF THE DRAWING/SUBMITTAL PROCESS.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE SHOP DRAWING SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO ORDERING ANY WATER RELATED MATERIAL.
 - THE CONTRACTOR IS REQUIRED TO SCHEDULE A PARTS INSPECTION WITH THE MARLBORO TOWNSHIP WATER UTILITY ONCE ALL WATER SYSTEMS ITEMS ARE ONSITE AND SUCCESSFULLY PASS THE INSPECTION PRIOR TO THE INSTALLATION/START OF ANY CONSTRUCTION ON THE WATER SYSTEM.
 - MARLBORO TOWNSHIP WATER UTILITY DIVISION (MTWUD) INSPECTOR/PERSONNEL ARE REQUIRED TO BE NOTIFIED 48 HOURS IN ADVANCE BY THE CONTRACTOR WHEN CONSTRUCTION IS SCHEDULED AND SHALL BE ONSITE AT ALL TIMES. IF ITEMS ARE INSTALLED WITHOUT THE PRESENCE OF UTILITY PERSONNEL OR THEIR REPRESENTATIVES, THE CONTRACTOR WILL BE RESPONSIBLE TO EXCAVATE THESE ITEMS PER THE DIRECTION OF THE MTWUD TO PERFORM AN INSPECTION.
 - A MARLBORO TOWNSHIP CRANE PERMIT IS REQUIRED FOR SETTLING OF PROPOSED METER VAULT.
 - A FINAL WATER AS-BUILT IN ACCORDANCE WITH THE MTWUD AS-BUILT REQUIREMENTS SHALL BE SUBMITTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - FOR ANY SEWER MAIN/SEWER LATERAL AND WATER MAIN CROSSING IF 18" VERTICAL SEPARATION IS NOT PROVIDED THE SEWER MAIN AND/OR LATERAL SHALL BE SLEEVE IN DUCTILE IRON PIPE FOR A MINIMUM DISTANCE OF 10 FT. TO EACH SIDE OF THE CROSSING.
 - ALL WATER MAIN STRAPPING, RODDING AND RESTRAINT SHALL BE PER THE MTWUD STANDARD DETAILS.



NO	DESCRIPTION	DATE	BY
6.	REVISED FOR RESOLUTION COMPLIANCE	9/1/24	EA
5.	REV. PROP. 8"X6" SWIVEL TEE W/ THRUST BLOCK AND 8"X2" DOMESTIC METER VAULT 17'X8", PER. ENG. LETTER 6/12/24	06/13/24	JUN
4.	REV. PER TOWNSHIP ENGINEER LETTER DATED 05/13/2024	05/22/24	JUN
3.	REV. FOR MODIFIED FSD/ADD SHEET NUMBER/MTWUD	1/05/24	JUN
2.	REV. PER MARLBORO TOWNSHIP WATER UTILITY COMMENTS	12/01/23	JUN
1.	ADDED UTILITY CONNECTION PLAN	10/20/23	JUN

CREST
Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners - Surveyors - Landscape Architects
CERTIFICATE OF AUTHORIZATION NO. 240227989300

100 RIVE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)448-5500

12 ROBINS PKWY.
AT WATER STREET
TOWNE RIVER, N.J. 08753
PH(732)244-0808

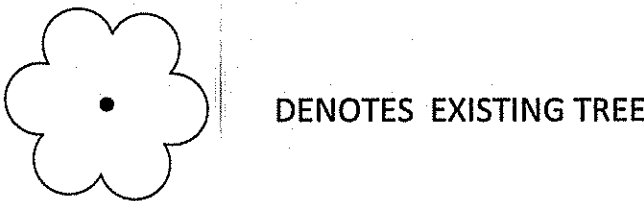
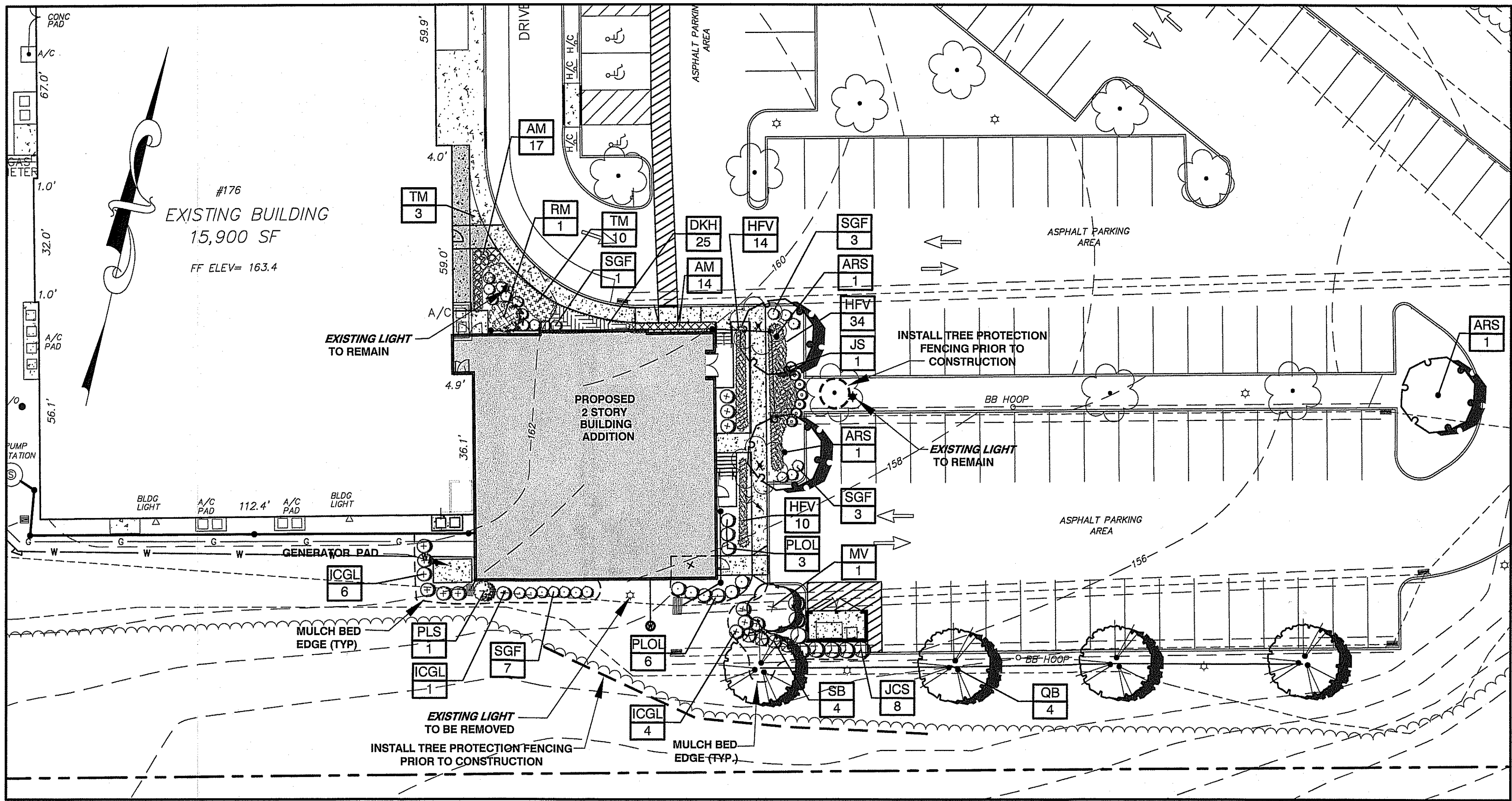
LORALI TOTTEN
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

DATE	5/4/2021
SCALE	1"=20'
DRAWN	E.A.D.
CHECKED	
SHEET	5 OF 10
POCKET	

**LOT 10
BLOCK 207**
(TAX MAP NO. SHEET 67)
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

**UTILITY CONNECTION
PLAN**
SOIL EROSION AND SEDIMENT CONTROL PLAN

FILE NO. N-2267



PLANT SCHEDULE

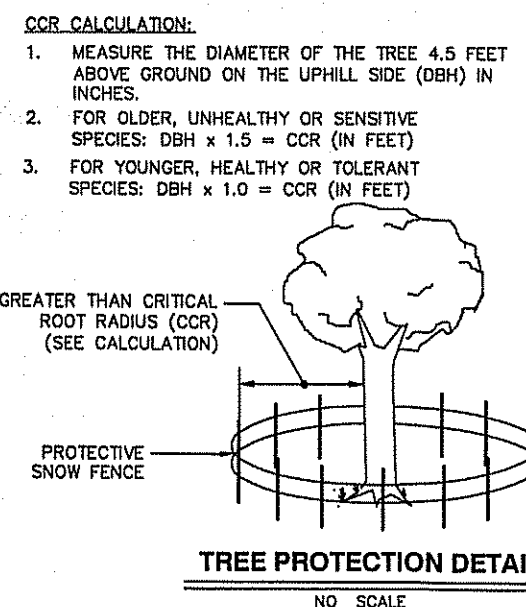
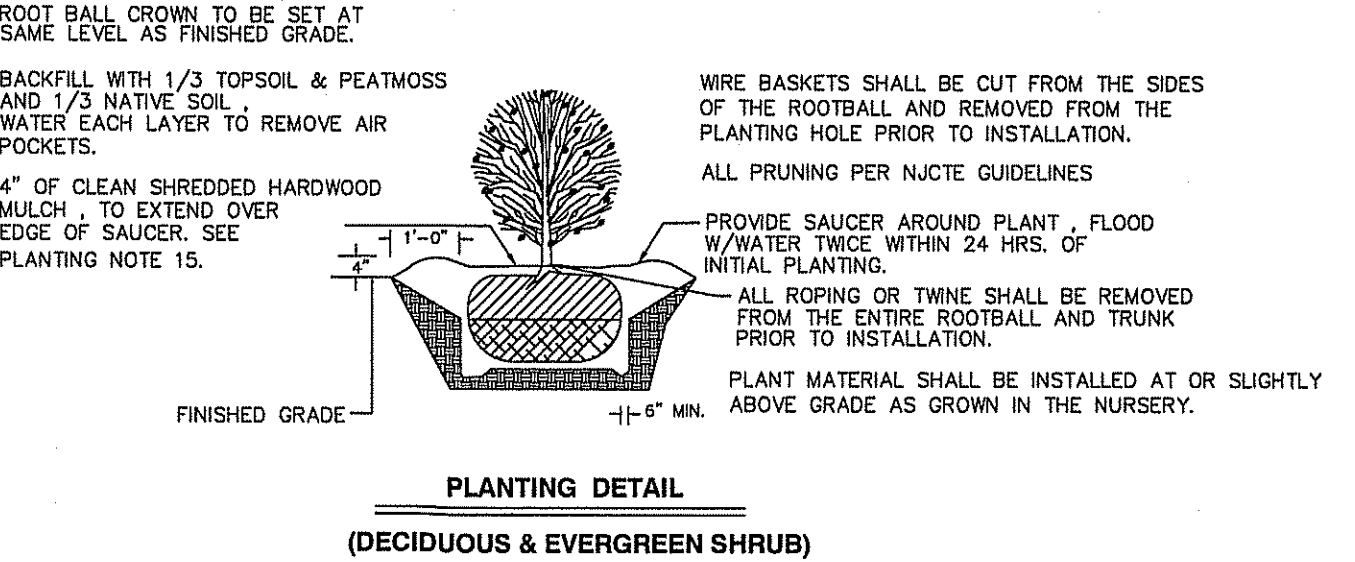
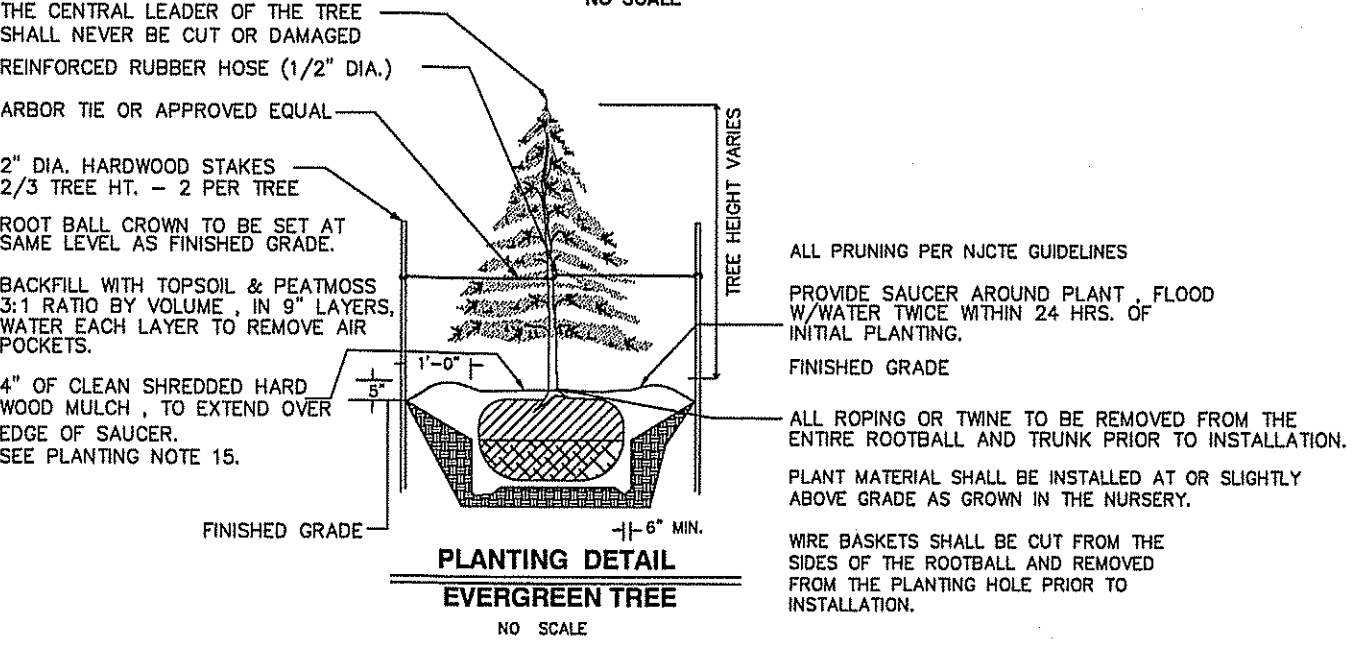
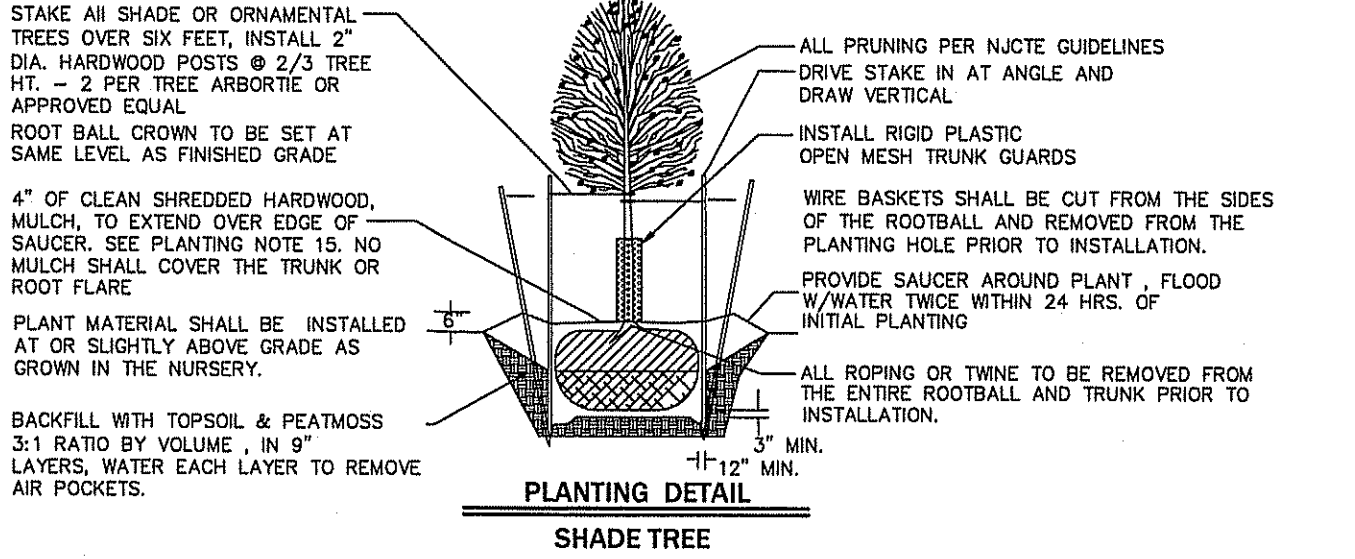
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SIZE	NOTE	REMARKS
TREES								
	ARS	3	Acer rubrum 'Red Sunset' / Red Sunset Maple	B & B	2-2 1/2" Cal	12"-14"	Full	
	MV	1	Magnolia virginiana / Sweet Bay	B & B	2" Cal	8'-10'		
	QB	4	Quercus Bicolor / Swamp White Oak	B & B	2-2 1/2" Cal	12"-14"	Full	

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SIZE	REMARKS
SHRUBS							
	ICGL	14	Ilex crenata 'Green Luster' / Green Luster Holly	3 gal	18-24"		
	JCS	8	Juniperus Chimensis "Spartan" / Spartan Juniper	B & B	4-5'		
	JS	7	Juniperus Sargentii / Sargent Juniper	2 gal	18" (SPREAD HEIGHT)		18" (MIN.)
	PLOL	9	Prunus laurocerasus 'Otto Luyken' / Dwarf Cherry Laurel	3 gal	18-24"		
	PLS	1	Prunus laurocerasus 'Schipkaensis' / Schipka English Laurel	B & B	3-4'		
	RM	1	Rhododendron maximum / Rose Bay Rhododendron	B & B	4-5'		
	SB	4	Spiraea bumalda 'Anthony Waterer' / Anthony Waterer Spirea	3 gal	18-24"		
	SGF	24	Spiraea bumalda 'Goldflame' / Goldflame Spirea	3 gal	18" (SPREAD HEIGHT)		

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	REMARKS
GROUNDCOVERS / PERENNIALS						
	AM	31	Alchemilla mollis / Lady's Mantle	1 gal	21" o.c.	
	DKH	25	Dicentra x 'King of Hearts' / King of Hearts Dicentra	1 gal	23.25" o.c.	
	HFV	58	Heuchera x 'Frosted Violet' / Frosted Violet Coral Bells	1 gal	28" o.c.	
	TM	52	Tiarella Silverado / Tiarella White	1 gal	16.5" o.c.	

GENERAL PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WEEDS AND GRASSES SHALL BE REMOVED FROM ROOTBALLS & CONTAINERS PRIOR TO DELIVERY TO THE SITE.
 - NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES OR VARIETY WITHOUT WRITTEN PERMISSION OF TOWNSHIP OFFICIALS. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
 - THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN.
 - ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 7'-0". ALL PRUNING TO BE PER NJCUTE PRUNING GUIDELINES.
 - THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
 - ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUYS SHALL ONLY BE USED IN WINDY OR WET LOCATIONS OR IN AREAS OF STEEP SLOPES IF GUYS ARE USED, THEY MUST BE REMOVED WITHIN ONE YEAR OF PLANTING. ARBOR TIES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNKS OF MULTI-STEMMED TREES. PROVIDE 2 TREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE.
 - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH SAND.
 - ALL PLANT MATERIAL SHALL BE INSTALLED AT OR SLIGHTLY ABOVE GRADE AS GROWN IN THE NURSERY.
 - NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT OF GROWTH AND SURVIVAL OF ALL PLANTS.
- OPTIMAL PLANTING INSTALLATION SCHEDULE:**
FALL: SEPT. 15 - DEC. 30, EVERGREEN PLANTS
OCT. 15 - DEC. 30, DECIDUOUS PLANTS
SPRING: MARCH 1 - MAY 30, ALL PLANTS
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEARS AFTER THE DATE OF FINAL ACCEPTANCE BY THE TOWNSHIP OFFICIALS. ANY REPLACEMENT TREES AND SHRUBS SHALL ALSO REQUIRE A TWO YEAR GUARANTEE.
 - ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING, INSTALLED PRIOR TO ANY SITE DISTURBANCE AND REMAINING THROUGHOUT ALL PHASES OF CONSTRUCTION. ALL FENCING SHALL BE PLACED A MINIMUM OF 10 FEET OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED OR DAMAGED BRANCHES PER NJCUTE GUIDELINES.
 - NO SOIL OR CONSTRUCTION MATERIALS, PERMANENT OR TEMPORARY, SHALL BE PLACED AND NO GRADING OR SOIL REMOVAL SHALL OCCUR WITHIN 10 FEET OF THE DRIP LINE OF THE TREE CANOPY OF ANY TREE.
 - ALL TWINE AND WIRE BASKETS SHALL BE REMOVED FROM THE ROOTBALL PRIOR TO INSTALLATION.
 - NO MULCH SHALL BE PLACED AGAINST THE TRUNK OR ROOT FLARE OF ANY WOODY PLANT AND NO MORE THAN 4 INCHES OF MULCH SHALL BE PLACED ON TOP OF ROOTBALL.



- TREE PROTECTION NOTES:**
- TREE PROTECTION SHALL BE PROVIDED AROUND AROUND EXISTING TREES TO BE SAVED PRIOR TO ANY SITE DISTURBANCE. FENCE SHOULD BE INSTALLED BEYOND THE CRITICAL ROOT RADIUS (CCR) AS SHOWN ABOVE.
 - BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION.
 - FEEDER ROOTS SHALL NOT BE CUT IN AN AREA WITHIN CCR (ALSO KNOWN AS THE PROJECTED ROOT ZONE).
 - DAMAGED TRUNKS OR EXPOSED ROOTS SHALL HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHALL BE PRUNED AND COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ADDITIONALLY, ROOTS SHALL BE IRRIGATED IF EXPOSED DURING HOT WEATHER.
 - TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE AS NATURALLY TARGET PRUNING TO REMOVE THE DESIRED BRANCH AS CLOSE AS POSSIBLE TO THE BRANCH COLLAR (NO FLUSH CUTS) AND TREE PAINT SHALL NOT BE APPLIED.

TREE REMOVAL NOTES:

TWO TREES - 12" CAL. FROM THE PARKING LOT ISLAND, WILL BE REMOVED BY THIS PLAN. THREE REPLACEMENT TREES ARE PROPOSED.

A TREE REMOVAL PERMIT SHALL BE SECURED PRIOR TO ANY SITE DISTURBANCE.

LIGHTING NOTES:

PARKING AREA IS REDUCED BY THIS PLAN. EXISTING LIGHTING WILL REMAIN TO SERVICE THE REMAINDER OF THE SITE.

NO NEW SITE LIGHTING IS PROPOSED AND/OR REQUIRED.

SEE ARCHITECTURAL PLANS FOR BUILDING/WALL MOUNTED LIGHTING.

NO	DESCRIPTION	DATE	D/C
6.	REVISED FOR RESOLUTION COMPLIANCE	9/4/24	E.A.D.
5.	REV. SHEET NUMBERS	01/05/24	JGN
4.	REV. SHEET NUMBERS	12/01/23	JGN
3.	REV. PER NEW ARCHITECTURAL PLANS	8/18/23	E.A.D.
2.	REV. PER RESOLUTION COMPLIANCE LTR 3-16-22	4/8/22	E.A.D.
1.	REVISED FOR RESOLUTION COMPLIANCE	1/7/22	M.J.F.

CREST

Engineering Associates Inc.

Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 246427989300 •

100 RIVE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)448-5550

12 ROBBINS PKWY.
TOMES RIVER, N.J. 08753
PH(732)244-0888

REGISTERED PROFESSIONAL ENGINEER
L.L.A. NJ LI

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
S00046400

DATE	5/4/2021
SCALE	1"=20'
DRAWN	E.A.D.
CHECKED	
SHEET	6 OF 10
POCKET	

**LOT 10
BLOCK 207**

(TAX MAP No. SHEET 67)
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

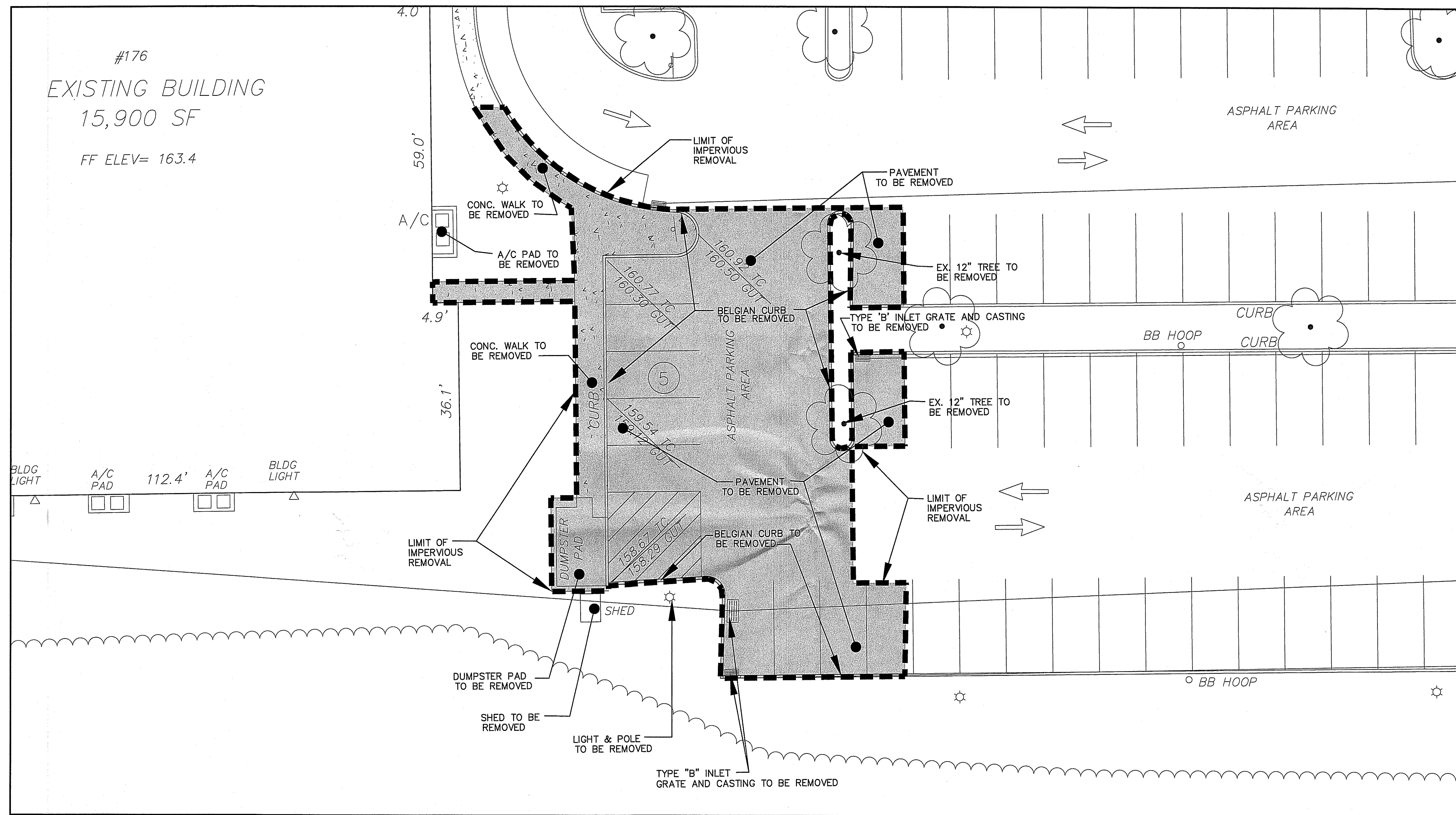
**LANDSCAPE
and
LIGHTING PLAN**

(TREE REMOVAL and REPLACEMENT)

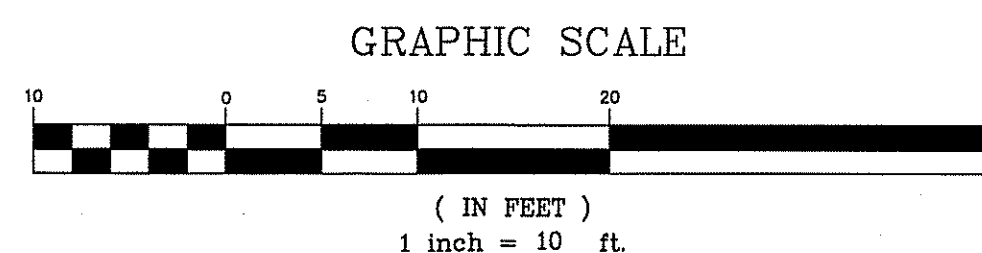
FILE NO. S267

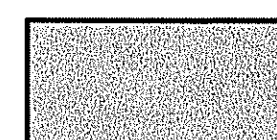
DATE FILED 5/26/2021

#176
EXISTING BUILDING
15,900 SF
FF ELEV= 163.4



LEGEND	
EXISTING FEATURES	
EXIST. TREE CANOPY LINE	
EXIST. SANITARY MANHOLE	
EXIST. INLET	
EXIST. UTILITY POLE	
EXIST. FIRE HYDRANT	
EXIST. SPOT ELEVATION	
EXIST. WATER LINE	
EXIST. SANITARY SEWER	
EXIST. STORM SEWER	
EXIST. CONTOUR	
EXIST. FENCE	
EX. TOP CURB/GUTTER GRADE	
EXIST. GAS LINE	



 DENOTES AREA OF IMPERVIOUS MATERIAL TO BE REMOVED FOR PROPOSED CONSTRUCTION OF BUILDING ADDITION

NO.	DESCRIPTION	DATE	D/C
2.	REV. SHEET NUMBERS	01/05/24	JGN
1.	REV. SHEET NUMBERS	12/12/23	JGN

CREST

Engineering Associates Inc.
Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 24GA27889300 •

100 RIKE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
PH(609)344-5550

12 ROBINS PKWY.
AT WATER STREET
TOMAS RIVER, N.J. 08753
PH(732)244-0806

DISTRICT ENGINEER
[Signature]
LORALI TOTTEN
PROFESSIONAL ENGINEER NJ LIC. NO. 28662

DATE	5/4/2021
SCALE	1"=10'
DRAWN	E.A.D.
CHECKED	
SHEET	8 OF 10
POCKET	

**LOT 10
BLOCK 207**
(TAX MAP No. SHEET 67)
MARLBORO TOWNSHIP
MONMOUTH COUNTY, NEW JERSEY

DEMOLITION PLAN

FILE N-5267

DWG. NO. 2027-1405P.DWG

REP.

