

Fw: OPRA request - Sidewalk use at 141 W Front

Bonnie Thomas <bthomas@redbanknj.org>

Mon 6/5/2023 1:37 PM

To: Kaitlyn Hunt <khunt@redbanknj.org>

From: Dan Riordan <opra+request-45187-4855e2c9@requests.opramachine.com>

Sent: Monday, June 5, 2023 1:36 PM

To: Bonnie Thomas <bthomas@redbanknj.org>

Subject: OPRA request - Sidewalk use at 141 W Front

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Red Bank Borough,

This is a request for public records made under OPRA and the common law right of access. I am not required to fill out an official form. Please acknowledge receipt of this message.

Records requested:

All requests, applications, approvals, agreements, resolutions and ordinances pertaining to the use of the sidewalk (including setback) for 141 West Front Street, from 2009 to present.

Thank you,
Dan Riordan

Please deliver records electronically via email to the below UNIQUE address for all replies to this request:
opra+request-45187-4855e2c9@requests.opramachine.com

Is bthomas@redbanknj.org the wrong address for OPRA requests to Red Bank Borough? If so, please contact us using this form:

https://urldefense.proofpoint.com/v2/url?u=https-3A_opramachine.com_change-5Frequest_new-3Fbody-3Dred-5Fbank-5Fborough&d=DwICaQ&c=euGZstcaTDIlvimEN8b7jXrwqOf-v5A_CdpgnVfiiMM&r=icz45Xb7VNZAs77N4x3-

[l1_7Srt2pnQGOg3EgFIJ7U&m=zWVX4OGjimiM5Qbkdlj9am9H-mYCC7O18ss35mk41mA&s=9hMQziFUb-aOiKQO_gcuMlb72mCt4uguu6AqZFo4O9g&e=](https://urldefense.proofpoint.com/v2/url?u=https-3A_opramachine.com_help_officers&d=DwICaQ&c=euGZstcaTDIlvimEN8b7jXrwqOf-v5A_CdpgnVfiiMM&r=icz45Xb7VNZAs77N4x3-)

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https://urldefense.proofpoint.com/v2/url?u=https-3A_opramachine.com_help_officers&d=DwICaQ&c=euGZstcaTDIlvimEN8b7jXrwqOf-v5A_CdpgnVfiiMM&r=icz45Xb7VNZAs77N4x3-
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View this OPRA request & responses online:

https://urldefense.proofpoint.com/v2/url?u=https-3A_opramachine.com_request_sidewalk-5Fuse-5Fat-5F141-5Fw-5Ffront&d=DwlCaQ&c=euGZstcaTDllvimEN8b7jXrwqOf-v5A_CdpqnVfiiMM&r=icz45Xb7VNZAs77N4x3-l1_7Srt2pnQGOg3EgFIJ7U&m=zWVX4OGjimiM5Qbkdlj9am9H-mYCC7O18ss35mk41mA&s=lawpQu0mMjletyon9sxYR_UpvfEsVGRzeJsFPeZE4TY&e=

Please note that in some cases publication of requests and responses will be delayed.

If you find this service useful as an OPRA custodian, please ask your web manager to link to us from your organisation's website.

PERMIT NO. 5811-75C



BOROUGH OF RED BANK PUBLIC UTILITIES

APPLICATION FOR STREET OPENING AND SIDEWALK CONSTRUCTION
(TO BE FILLED IN BY APPLICANT)

APPLICATION IS HEREBY MADE BY RED BANK CORPORATE PLAZA, LLC
(NAME OF PROPERTY OWNER)

WORK TO BE DONE BY ENVIRONMENTAL MANAGEMENT ASSOCIATES, INC
(NAME OF CONTRACTOR)

ADDRESS OF CONSTRUCTION 141 WEST FRONT ST, RED BANK, NJ

DCA ID NO. N/A

MEASUREMENTS OF OPENING 25" WIDE 2.5" LONG 20' DEPTH

CURB TYPE TO BE INSTALLED N/A

WORK IS BEING DONE FOR THE PURPOSE OF SOIL BORINGS FOR ENV. INVESTIGATION

WORK WILL BEGIN 7/5/17 WORK WILL BE COMPLETE BY 7/16/17

SKETCH: SEE OTHER SIDE MARK OUT REQUEST DIG # 171720329
CONTACT 1-800-272-1000

I HEREBY CERTIFY THAT THE ABOVE INFORMATION TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNATURE OF APPLICANT * See below

ADDRESS AND PHONE NUMBER OF APPLICANT HARBORSIDE 3, 210 HUDSON STREET, SUITE 400, JERSEY CITY, NJ 07311

ENCLOSED PLEASE FIND CHECK/CASH IN THE AMOUNT OF \$45.00

YOU ARE HEREBY GRANTED PERMISSION TO MAKE OPENING IN BOROUGH STREET ☐ SIDEWALK ☐ AND PERFORM WORK DESCRIBED ABOVE SUBJECT TO THE PROVISIONS OF CHAPTER 19 ARTICLE 9 #10 OF THE CODIFIED ORDINANCES OF THE BOROUGH OF RED BANK. THE PERMIT TEE SHALL NOTIFY THE OFFICE OF THE DIRECTOR OF PUBLIC WORKS 24 HOURS PRIOR TO MAKING ANY OPENING.

ADDITIONAL REQUIREMENTS/COMMENTS CONTACT CHRIS SASSAMAN OF EMA @ 732-939-6743 w/ QUESTIONS OR FOR PERMIT PICK-UP

* Red Bank Corporate Plaza, LLC
By: MCPRC, LLC, sole member
By: M-C Red Bank Realty L.L.C., managing member
By: Mack-Cali Realty, L.P., sole member
By: Mack-Cali Realty Corporation, general partner

DIRECTOR OF PUBLIC UTILITIES OR
HIS REPRESENTATIVE IN THE OFFICE

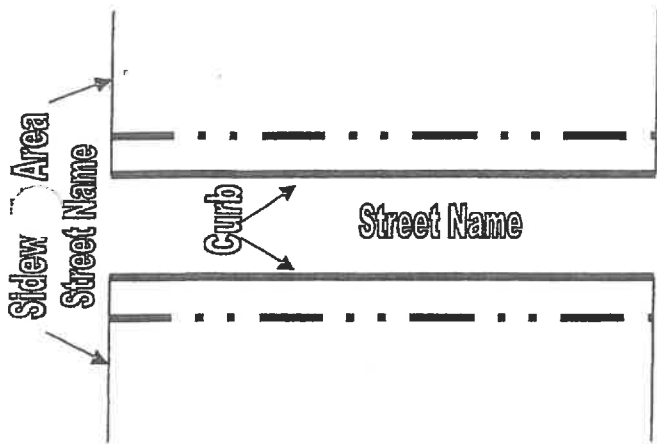
By: Gary T. Wagner
Gary T. Wagner, General Counsel and Secretary

DATE 6/29/17

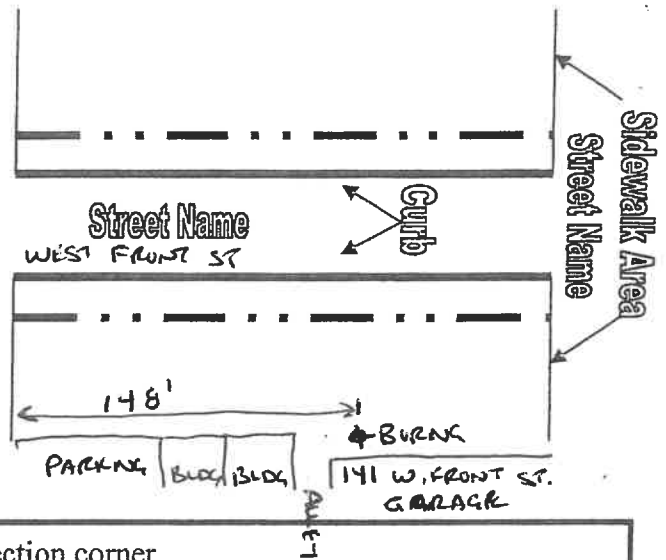
PAYMENT MADE BY CHECK:
CHECK # 10238 CASH

AMOUNT \$45.00

RETURN PERMIT TO DPW AT 75 CHESTNUT STREET RED BANK NJ 07701 732.530.2770



WEST STREET



Show on diagram starting point distance from nearest intersection corner

Indicate on diagram driveway apron using this symbol

Locate on diagram building or property lines



Protect public with barricade, no open flame torches permitted

Protective walkway must be provided of pedestrians

Circle type of curb to be used type I or type II

Must have separate pores for sidewalk and curbs

No underground piping will be parallel with or interfere with borough utilities exact location and depth must be indicated on diagram

- 1) Removal of earth from town prohibited
- 2) Barricades with lights for overnight work will be supplied and used by contractor
- 3) No open flame lanterns permitted
- 4) Contractor cannot change existing line or grade
- 5) No driveway opening can exceed 25 feet depressed curb required
- 6) Must use minimum 4000 mix
- 7) Sidewalk minimum 4" thick – drive apron 6" thick with reinforce wire
- 8) Curb type will be approved by director of Public Utilities
- 9) Depth and location of underground piping must be approved by Director of Public Utilities. All blocks replace must be 4' x 4'/
 - a. The applicant named does hereby acknowledge receipt of the specifications for curbs, sidewalks and aprons in the Borough of Red Bank and understand that if I have any question pertaining to them that I must contact Director of Public Utilities prior to excavation as well as have received written permission from the gas company in accordance with State Law Assembly Bill # 003.
- 10) Brick pavers must comply with Borough regulations – Attached

Sidewalk

Curbline

West Front Street

Curbline

Sidewalk

Sidewalk

Curbline

West Street

Curbline
Sidewalk

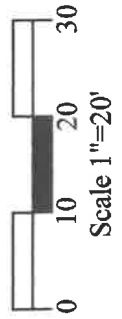
Paved Parking

2-Story
Building

1-Story Warehouse
Building

141 W. Front St.
Garage
Building

Proposed Boring
A



ENVIRONMENTAL MANAGEMENT ASSOCIATES, INC.

Proposed Sidewalk Opening

141 West Front Street, Block 34, Lot 3.01

Red Bank, New Jersey

Drawn By	Checked By	Date	Revision
CTS	MFK	6/20/17	

DEPOSIT TICKET
OR CLEAR COPY, PRESS FIRMLY WITH BALL POINT PEN.

8043

173



RED BANK OFFICE
200 ROAD STREET
RED BANK, NEW JERSEY 07701

DATE 6/26/17

CURRENCY	COIN	LIST EACH CHECK	DOLLARS	CENTS
		1 16238	45	00
		2		
		3		
		4		
		5		
		6		
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		17		

BOROUGH OF RED BANK
CURRENT ACCOUNT-DPW
90 MONMOUTH ST
RED ABNK. NJ 07701

⑈45995140000⑈ ⑆03102120⑆

CHECKS AND OTHER ITEMS ARE RECEIVED FOR DEPOSIT SUBJECT TO THE PROVISIONS OF THE UNIFORM COMMERCIAL CODE OR ANY APPLICABLE COLLECTION AGREEMENT

55-138-212

TOTAL ITEMS ☐

PLEASE BE SURE ALL ITEMS
ARE PROPERLY ENDORSED.
DEPOSITS MAY NOT BE AVAILABLE
FOR IMMEDIATE WITHDRAWAL

45.00



RECEIVED FROM

DWP

DATE

6/26/17

ACCOUNT NUMBER

AMOUNT

Soil boring 141 W. Front St

\$45.00

CK# 16238

TOTAL:

\$45.00

MGL PRINTING SOLUTIONS (908) 665-1999 R015-23

16238



America's Most Convenient Bank

16238

AMOUNT 45.00

DATE Jun 26, 2017

55-136/312

Environmental Management Associates, Inc.
6303 RT. 33/34
FARMINGDALE, NJ 07727
732-919-0596
TAX ID# 223315115

Memo:

PAY Forty-Five and 00/100 Dollars

Borough of Red Bank

TO THE ORDER OF

⑈45995140000⑈ ⑆03102120⑆

HEAT SENSITIVE RED IMAGE DISAPPEARS WITH HEAT

PAPER CONTAINS TONER ADHESION PROPERTIES

TRUE WATERMARK PAPER - HOLD TO LIGHT TO VIEW

Borough of Red Bank

PERMIT

SIDEWALK/STREET OPENING NOTICE

Use of Bomb Type Kerosene Flares Prohibited
Watchman Required During Demolition Work

This permit must be displayed immediately at start of
Construction where it may be plainly seen by all persons

PERMIT NO. 5811-7C has been issued to Environmental Mgmt Assoc.

(Location) 141 W. Front St

The Public Utilities office will be notified 24 hours prior to the commencement of work.
No open flame warning lights can be used

Date

6-28-17

PERMIT NO. 631675 Pre-Pour Approval _____ Post-Pour Approval _____



BOROUGH OF RED BANK PUBLIC UTILITIES

APPLICATION FOR STREET OPENING AND SIDEWALK CONSTRUCTION
(TO BE FILLED IN BY APPLICANT)

APPLICATION IS HEREBY MADE BY P R C Group
(NAME OF PROPERTY OWNER)

WORK TO BE DONE BY Stars N Stripes
(NAME OF CONTRACTOR)

ADDRESS OF CONSTRUCTION 141 West Front Street Red Bank

DCA ID NO. _____

MEASUREMENTS OF OPENING _____ WIDE _____ LONG _____ DEPTH _____

700SF

CURB TYPE TO BE INSTALLED _____

WORK IS BEING DONE FOR THE PURPOSE OF Broken Side Walk

WORK WILL BEGIN Today WORK WILL BE COMPLETE BY Today

SKETCH: SEE OTHER SIDE MARK OUT REQUEST DIG # 231072213
CONTACT 1-800-272-1000

I HEREBY CERTIFY THAT THE ABOVE INFORMATION TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SIGNATURE OF APPLICANT [Signature]

ADDRESS AND PHONE NUMBER OF APPLICANT 251 Lake Shore Drive
Brick NJ 08724

ENCLOSED PLEASE FIND CHECK/CASH IN THE AMOUNT OF _____

YOU ARE HEREBY GRANTED PERMISSION TO MAKE OPENING IN BOROUGH STREET ☐ SIDEWALK ☐ AND PERFORM WORK DESCRIBED ABOVE SUBJECT TO THE PROVISIONS OF CHAPTER 608 OF THE CODIFIED ORDINANCES OF THE BOROUGH OF RED BANK. THE PERMIT TEE SHALL NOTIFY THE OFFICE OF THE DIRECTOR OF PUBLIC WORKS 24 HOURS PRIOR TO MAKING ANY OPENING.

ADDITIONAL REQUIREMENTS/COMMENTS _____

☐ Approved

☐ Not Approved

[Signature]
DIRECTOR OF PUBLIC UTILITIES OR A
PUBLIC UTILITIES REPRESENTATIVE

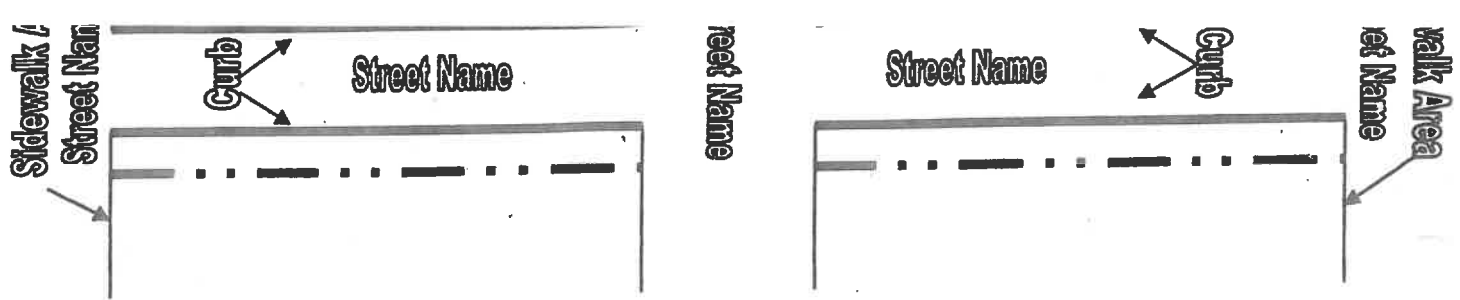
DATE 4/17/27

CASH \$ _____

PAYMENT MAKE BY CHECK: CHECK # _____ AMOUNT _____

RETURN PERMIT TO DPW AT 75 CHESTNUT STREET RED BANK NJ 07701 732-530-2770

2020



Show on diagram starting point distance from nearest intersection corner

Indicate on diagram driveway apron using this symbol

Locate on diagram building or property lines



Protect public with barricade, no open flame torches permitted

Protective walkway must be provided of pedestrians

Circle type of curb to be used type I or type II

Must have separate pores for sidewalk and curbs

No underground piping will be parallel with or interfere with borough utilities exact location and depth must be indicated on diagram

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- 6) Must use minimum 4000 mix
- 7) Sidewalk minimum 4" thick – drive apron 6" thick with reinforce wire
- 8) Curb type will be approved by director of Public Utilities
- 9) Depth and location of underground piping must be approved by Director of Public Utilities. All blocks replace must be 4' x 4'/
 - a. The applicant named does hereby acknowledge receipt of the specifications for curbs, sidewalks and aprons in the Borough of Red Bank and understand that if I have any question pertaining to them that I must contact Director of Public Utilities prior to excavation as well as have received written permission from the gas company in accordance with State Law Assembly Bill # 003.
- 10) Brick pavers must comply with Borough regulations – Attached

Chapter 608. Streets and Sidewalks Article VIII.

Construction and Repair of Sidewalks, Curbs and Driveways

[Adopted by Ord. No. 350-74; amended 7-15-1974; Ord. No. 17-83 (Sec. 19-4 of the 1987 Revised General Ordinances)]

§ 608-16. Permit required.

No person, persons, company, firm, partnership or corporation shall construct or repair any sidewalk, curb or driveway without first obtaining a written permit therefor from the Director of Public Utilities.

§ 608-17. Application requirements and fee.

Applications shall be obtained from the Director of Public Utilities and filed in triplicate. The application shall contain a clear and definite description of the location of the work, together with a sketch showing the proposed sidewalk, curb and/or driveway, and shall be accompanied by an application fee of \$10, plus the inspection fee required under § 608-22 of this article.

Editor's Note: Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. IV).

§ 608-18. New construction requirements.

No person shall erect any dwelling, business or industrial or any other building in the Borough without constructing in connection therewith a sidewalk, curb and driveway in the street fronting the building lot, in accordance with the provisions of this article.

§ 608-19. Alterations in curb or sidewalk; permit required.

No person shall lower the curb and change the grade of a sidewalk for the purpose of providing a driveway across such sidewalk without first obtaining a permit from the Director of Public Utilities.

§ 608-20. Director of Public Utilities approval; width requirement.

All sidewalks, curbs and driveways shall be built to lines and grades first approved by the Director of Public Utilities. In no event shall a driveway opening in the curb line exceed 25 feet in width.

§ 608-21. Specifications.

Specifications for the construction or repair of sidewalks, curbs and driveways shall be as follows:

1. Sidewalks: 3,000 pound concrete shall be used; four inches thick with a minimum width of four feet wide.
2. Curbs: 3,000 pound concrete shall be used, with a minimum of six inches by eight inches by 16 inches battered curb.
3. Driveways, from curb to sidewalk: 3,000 pound concrete shall be used, six inches thick and shall extend from the back of the curb, where it shall be a minimum of 16 feet, to the property line or back of sidewalk, where it shall be a minimum of 10 feet.

§ 608-22. Inspection fee.

The fee payable by the applicant to the Borough of the services of the Director of Public Utilities for checking the line and grade and the inspection of the complete work shall be \$0.25 per linear foot of sidewalk, curb or driveway, with a minimum charge of \$25. Editor's Note: Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. IV).

§ 608-23. Certificate of occupancy.

No certificates of occupancy shall be granted by the Building Department unless and until the premises shall be completed and sidewalks, curbs and driveways as provided herein have been completed, inspected and approved by the Director of Public Utilities as to locations, grade, materials and workmanship.

§ 608-24. Maintenance.

The owner or occupant of premises abutting any sidewalk, curb or driveway shall maintain such sidewalk, curb or driveway at all times in a good and passable condition at a grade which will prevent water accumulating thereon, and shall replace any portion thereof which becomes broken and shall maintain the same so the joints thereof are even.

§ 608-25. Repair notice.

In case any sidewalk, curb or driveway becomes out of repair, the owner or occupant of the lands abutting such sidewalk, curb or driveway shall forthwith, upon receipt of written notice from the Code Enforcement Officer, repair or cause the same to be repaired and made in a good passable condition and conform with the requirements of this article.

§ 608-26. Traffic prohibited; exceptions.

No person shall ride, drive, or pass over or along any sidewalk with horses, automobiles, motor trucks, motorcycles or bicycles; provided this section shall not prevent the use of driveways or the crossing of a sidewalk at right angles for the purpose of entering upon property. In all such cases, the curb, sidewalk and driveway shall be protected against injury or damage.

§ 608-27. Damage.

No person shall cause any injury or damage to any sidewalk, curb and driveway without causing same to be repaired forthwith.

§ 608-28. Applicability.

The provisions of this article shall, not apply to any person, company, firm or corporation who performs work under contract to the Borough of Red Bank. A written permit will be obtained, but the fee schedule shall not be applicable. All work for which plans and specifications have been prepared by the Borough Engineer shall be performed under the authority of the Borough Engineer. The Director of Public Utilities shall be consulted and informed regarding any work performed.

§ 608-29. Approval of Planning or Zoning Board.

Any person, company, firm or corporation who has applied and received approval before the Planning or Zoning Board of the Borough of Red Bank shall apply for the permit required under this article and shall pay the appropriate fee. Prior to granting approval to any applicant, the Planning or Zoning Board must consult with the Director of Public Utilities regarding any activities covered under this article. Such work shall be performed under the authority of the Borough Engineer

§ 490-88 Curbs or curbs and gutters.

A. General requirements. Curb and/or combination curb and gutter shall be constructed along both sides of every street within a development. Any existing pavements damaged by curb construction shall be repaired to the standards herein and/or as shown on the final plat. Where one side of the development boundary is along an existing street, the curb and/or curb and gutter shall be constructed only on the development site. Curbs and/or combination curbs and gutters shall be constructed of Class B concrete, air-entrained, in accordance with the requirements of the Standard Specifications. Preformed bituminous cellular-type joint filler, 1/2 inch thick, cut to match the cross section of the curb, shall be used at all expansion joints at intervals not greater than 20 feet. Intermediate plate joints shall be provided at intervals not exceeding 10 feet. At places where a concrete curb abuts portland cement concrete pavement, joints in the curb shall be placed to match the paving joints, and intermediate joints shall be placed so as to create equal curb panels not longer than 20 feet. When concrete curb and gutter is required, the gutter shall be eight inches thick and shall be constructed of Class B air-entrained concrete. Joints in the gutter shall be formed simultaneously with joints in the curb. Curb and combination curb and gutter cross sections shall be as shown in Figures IX and X. The requirements of the Standard Specifications regarding curing precautions must be strictly observed.

Figure IX Concrete Curb

NOT TO SCALE

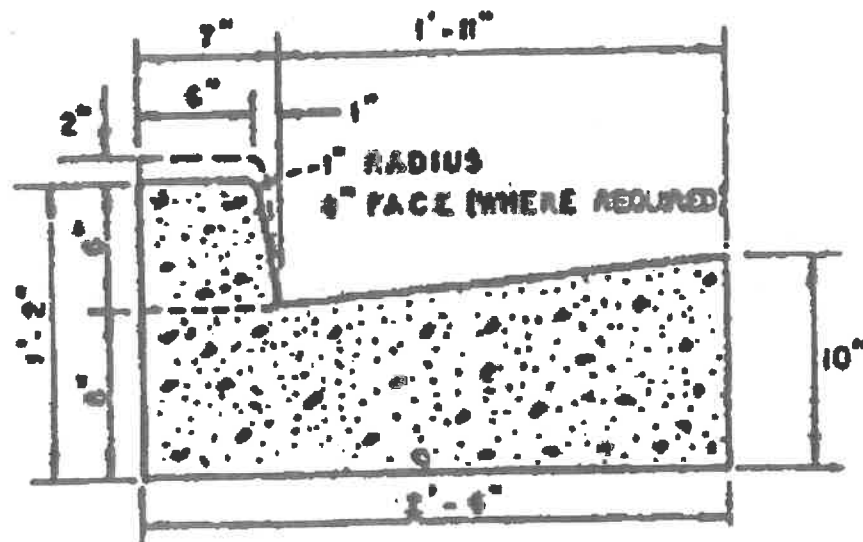
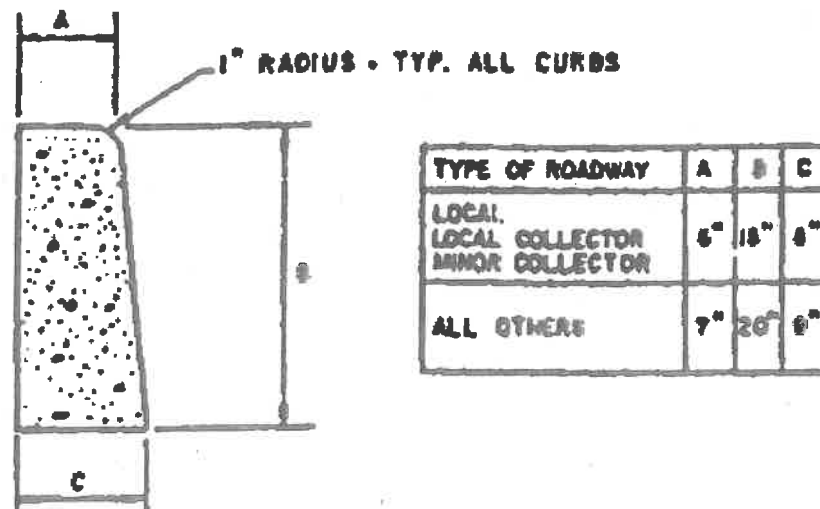


Figure X Combination Curb and Gutter

NOT TO SCALE



B. Use of combination curb and gutter. Use of combination curb and gutter will be allowed in all areas and required in those areas having a bituminous pavement with a profile grade greater than 5% with the following exception:

1. Both sides of a street for the entire block length shall be constructed with one type of curb; that is, where only a portion of a block is required to have combination curb and gutter, the entire block shall be constructed using the combination curb and gutter.
2. Where 50% or more of the curb length of any street would be required to have combination curb and gutter, the entire street shall be constructed with combination curb and gutter.
3. Where 50% or more of any subdivision is required to have a combination curb and gutter, the entire subdivision shall be constructed with combination curb and gutter.

C. Timing of curb construction. In areas with bituminous concrete pavement, required curb and/or curb and gutter shall be constructed prior to the construction of the bituminous base courses. Any required repairs to curbs and/or combination curb and gutter which are not suitable for acceptance shall be made prior to construction of the final pavement wearing course. In those areas having portland cement concrete pavement, the curb shall be constructed after the construction and curing of the portland cement concrete pavement.

D. Alternate curb types. In certain instances, it may be necessary or desirable to construct alternate curb types. For example, these may be required by the municipal agency on the perimeter of channelizing islands or in the areas of unusually heavy gutter drainage flow, or may be desired by the developer for decorative purposes or to preserve vegetation (e.g., granite block curb, rolled concrete curb, etc.). If alternate curb types are to be

permitted, an appropriate construction detail shall be submitted for approval with the preliminary and final plats. Continuous slip-formed curb or combination curb and gutter may only be permitted if the applicant submits for review and approval details and specifications concerning equipment, materials and methods proposed for use and if the Borough Engineer has inspected the installation and tested and approved a suitable sample section of such curb or combination curb and gutter. In the event the Borough Engineer does not approve the sample section of curb or combination curb and gutter, the developer shall remove the sample section and replace it with a type of curb or curb and gutter permitted by this chapter or such other alternate as may be approved by the municipal agency.

§ 490-103 Sidewalks and aprons.

A. General requirements.

1. Sidewalks shall be constructed on both sides of all streets within a development and entirely around the perimeter of all culs-de-sac. Where the development abuts an existing street, the sidewalk shall be constructed at any other places, such as pedestrian walkways or access points to open space, as shown on or required at the approval of the final plat.
2. The requirements of the Standard Specifications regarding curing precautions must be strictly observed.

B. Location. Sidewalks within street rights-of-way shall generally be located with the sidewalk edge farthest from the roadway placed one foot from the property line. Sidewalks not within street rights-of-way shall be located to provide for the most likely routes of pedestrian travel. In cases where the topography dictates or a proposed development provides for the extension of an existing street or abuts an existing street, where sidewalks have already been installed in a location other than as specified above or where such variations in sidewalk locations are needed to preserve trees or natural features, the municipal agency may approve alternate sidewalk locations in order to provide for the preservation of physical features or the continuation of the existing sidewalks.

C. Sidewalk construction.

1. Sidewalks shall be four feet wide and four inches thick, except crossing driveways, where the thickness shall be increased to six inches for residential uses and all drives to parking areas of less than 50 spaces and to eight inches for all other uses. Where the Planning Board determines that

a sidewalk may be subject to unusually heavy pedestrian traffic, it may require that its width be increased (to a maximum of eight feet for residential uses and a maximum of 15 feet for commercial and mixed uses). All sidewalk construction shall be in accordance with the applicable requirements of the Standard Specifications. Concrete shall be Class C, air-entrained. Preformed bituminous cellular joint fillers 1/2 inch thick shall be placed at intervals not exceeding 20 feet. Dummy (formed) joints shall be cut into the concrete sidewalk between the expansion joints at intervals not exceeding the width of the sidewalk.

2. The sidewalk subgrade shall be compacted prior to the placement of any sidewalk. All unsuitable material encountered in the subgrade shall be removed and replaced with suitable material acceptable to the Engineer. All six-inch or eight-inch sidewalk areas crossing driveways shall be reinforced at the midpoint or 1/3 points, respectively, of the sidewalk section. Reinforcing shall be welded wire fabric (66-1212), or an equivalent approved by the Borough Engineer. The Engineer may also require the four-inch-thick sidewalk be similarly reinforced if unsuitable ground conditions are encountered.

D. Apron construction. Reinforced concrete aprons shall be constructed at all driveways between the concrete curb (or combination curb and gutter) and the concrete sidewalk. Such aprons shall be six inches thick for residential uses and all drives to parking areas of less than 50 spaces and to eight inches for all other uses and shall be reinforced with welded wire fabric (66-1212), or an equivalent approved by the Borough Engineer, located at the midpoint or 1/3 points, respectively, of the apron section. Concrete shall be Class C, air-entrained. The width of the apron at the curb line shall be not less than the

width of the driveway plus 10 feet or a minimum of 20 feet, whichever is greater.

E. Driveway depressions. At each driveway without curb return radii, the concrete curb or combination curb and gutter shall be depressed to form a driveway opening. The depression shall be equal in length to the width of the driveway plus 10 feet, but not less than 20 feet. At driveways with curb return radii, the curb depression shall accommodate the exterior limits of the radii. The depression shall be smoothly formed to maintain a lowered curb face across the depression of at least one inch, but not more than two inches. The bottom of the curb shall be lowered to maintain full curb depth across the depression.

F. Alternate sidewalk or apron types and/or locations.

1. In areas where alternate sidewalk or apron types and/or locations are proposed or desired, either for decorative purposes or because of physical restrictions or existing conditions, a detail of the type and/or location of sidewalk and apron proposed shall be submitted for approval with the preliminary and/or final plat.
2. Continuous slip-formed sidewalks may be permitted if such is considered to be desirable by the Borough Engineer. The use of continuous slip-formed sidewalks may only be permitted if the applicant submits, for review and approval, details and specifications concerning the equipment, materials and methods proposed for use and if the Borough Engineer has inspected the installation and tested and approved a suitable sample section of such sidewalk. In the event the Borough Engineer does not approve the sample section of continuous slip-formed sidewalk, the developer shall remove the sample section and replace it with a type of sidewalk permitted by this

chapter or such other alternate as may be approved by the municipal agency.

G. Curb ramps for the physically handicapped.

1. Curb ramps for the physically handicapped shall be constructed on all street curb returns and, where appropriate, in parking areas. In general, two curb ramps shall be constructed at each corner. (See Figure No. XIII.) A single ramp at the center of the corner is acceptable when site conditions preclude the use of the two-ramp system. (See Figure No. XIV.)

⁽¹⁾ Editor's Note: Amended at time of codification of the Planning and Development Regulations.

2. Curb ramps for the physically handicapped shall be constructed in accordance with the standards shown on Figures No. XIII and XIV. If there is a grass or landscaped area between the curb and the sidewalk, side ramps need not be provided. Curb ramps shall be provided at all four corners of full intersections and at the two corners plus a location across the street from both of the ramps at "T" intersections.
3. The developer shall submit a detailed intersection grading plan for approval of the Borough Engineer prior to installation of the curbs, sidewalks and curb ramps at the intersection.
4. Curb ramps shall be constructed with a rough broom finish in accordance with New Jersey Department of Transportation specifications and shall be flush with the street pavement at the gutter line.

Figure XIII

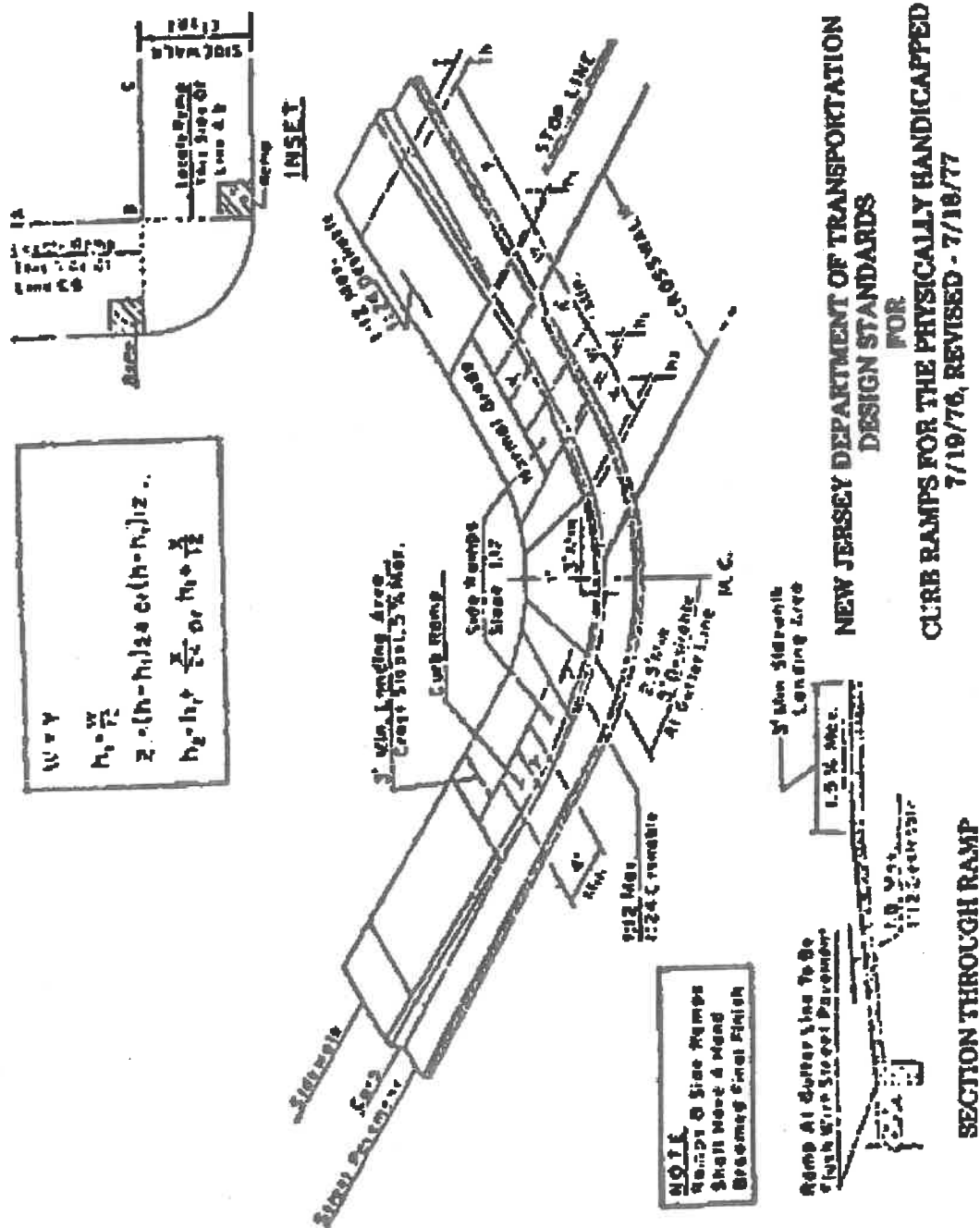
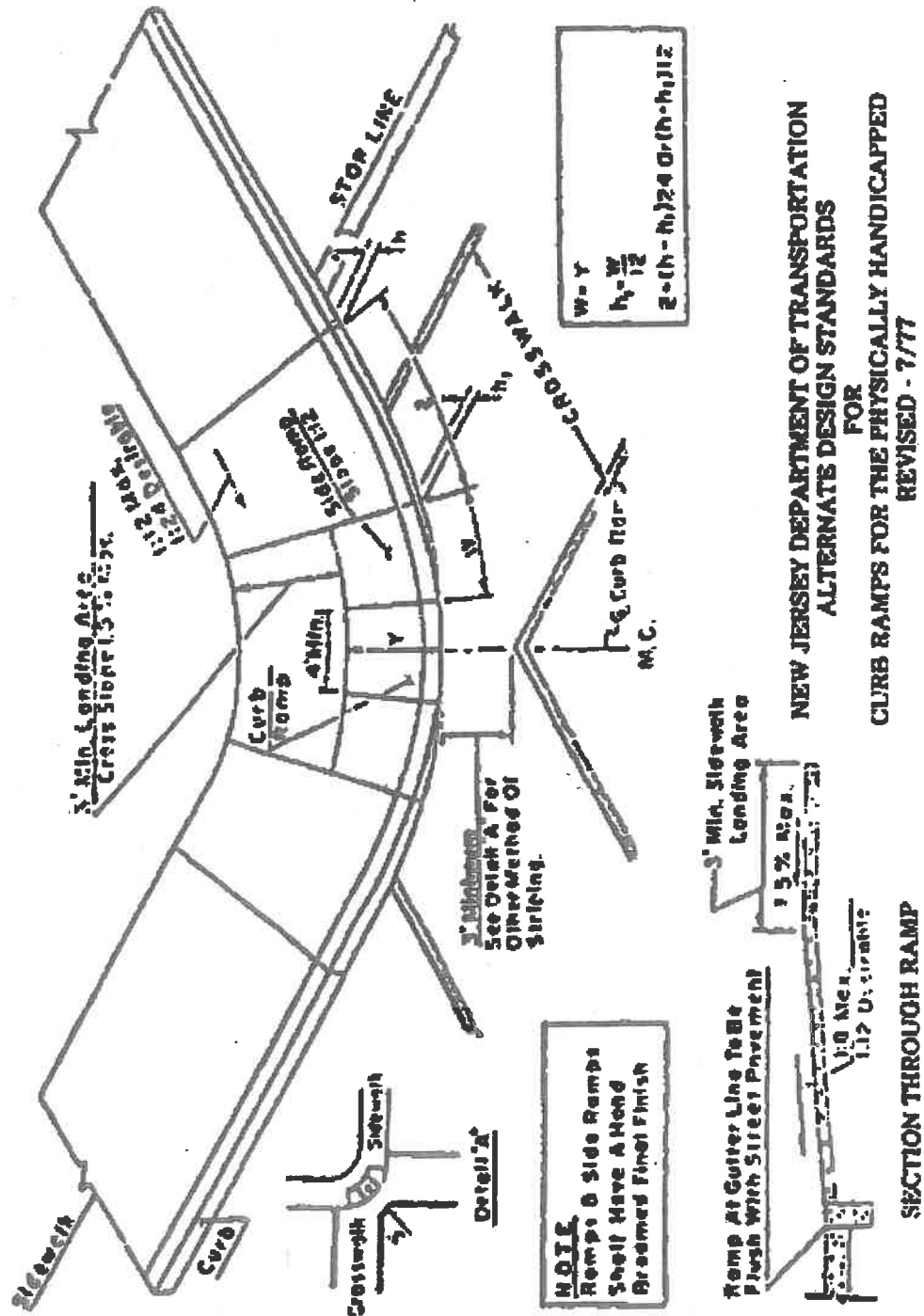


Figure XIV



NOTES

RECEIPT

DATE 4/17/23

NO. 098033

RECEIVED FROM Star N. Stripes

ADDRESS 141 W. Front Street

Red Bank, N.J. 07701

\$35.00

FOR Sidewalk permit # 6316-750

ACCOUNT			HOW PAID		
AMT. OF ACCOUNT			CASH	35.00	☒
AMT. PAID			CHECK		
BALANCE DUE			MONEY ORDER		

BY Dong Long

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BOROUGH OF RED BANK

75 CHESTNUT STREET
RED BANK, NJ 07701



PERMIT NUMBER

6316-75C

SIDEWALK/STREET OPENING NOTICE

Use of Bomb Type Kerosene Flares Prohibited
Watchman Required During Demolition Work

This permit must be displayed immediately at start
of Construction were it may be plainly seen by all
persons

HAS BEEN ISSUED TO STATE N STRIPES

LOCATION 141 West Front ST

THE PUBLIC UTILITIES OFFICE WILL BE NOTIFIED 24 HOURS PRIOR TO THE COMMENCEMENT OF WORK.
NO OPEN FLAME WARNING LIGHTS CAN BE USED

DATE 4/17/83 ISSUING AUTHORITY [Signature]