
ENVIRONMENTAL IMPACT STATEMENT

RWJ BARNABAS HEALTH SOUTH BUILDING EXPANSION

Block 24.01, Lot 1.01

City of New Brunswick, Middlesex County, New Jersey

Submitted To:

**City of New Brunswick
Department of Planning, Community and Economic Development
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New Brunswick, New Jersey 08903-0269**

Prepared For:

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Prepared By:

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NJ Certificate of Authorization No: 24GA27996400**

**24 May 2019
130141101**

LANGAN

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CG-101	Grading and Drainage Plan
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CE-501	Soil Erosion and Sediment Control Notes
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CS-501	Construction Details
CS-502	Construction Details

ARCHITECTURAL PLANS (PREPARED BY STANTEC)

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1.0 INTRODUCTION

RWJ Barnabas Health is proposing expansions to the South Building on the RWJ campus in the City of New Brunswick, Middlesex County, New Jersey. The project consists of site development, building expansion, and renovation of existing buildings. This report identifies resources on the project site and assesses potential adverse environmental impacts that may result from the project.

1.1 Site Location and Description

The 0.3±-acre project site is in New Brunswick, Middlesex County, New Jersey; see Figure 1 – USGS Site Location Map. The site is generally bound by various RWJUH buildings to the north, east and west, French Street to the south; see Figure 2 – Vicinity Map. The site is within Block 24.01, Lot 1.01 on the City of New Brunswick Tax Map; see Figure 3 – Tax Map.

The site is currently occupied by existing buildings, asphalt ambulance parking, and electrical equipment with some stone areas; see Figure 4 – Aerial Photograph. Typical in a developed urban setting, the site does not include any vegetation or pervious areas.

1.2 Project Description

The development proposes expansions and renovations to existing South Building. Site improvements include five 10-foot wide by 20-foot long ambulance parking stalls, three overflow ambulance parking stalls, concrete curbs, and concrete sidewalks. The additions will result in approximately 29,000 square feet (sf) of new hospital space.

Proposed elevations will generally maintain existing conditions and will range from approximately el. 72.5 at the western portion of the site to approximately el. 69.0 at the eastern portion of the site.

The proposed ambulance parking area will be accessed from French Street via a 24-foot wide entrance.

2.0 EXISTING ENVIRONMENTAL RESOURCES AND POTENTIAL IMPACTS

2.1 Zoning and Land Use

Zoning

Existing Conditions

The project site is within the Downtown Hospital and Institutional zoning (D-HI) district. The purpose of the D-HI district is to allow the planned development and orderly expansion of institutional use and commercial-related facilities to serve the institutional complex and area. According to the New Brunswick New Jersey Code of Ordinances (Code), the requirements of the district are designed to protect residential, retail and office uses in the district from adverse impacts caused as a result of hospital expansion.

The D-HI district permits hospital-related facilities with a minimum lot size of 40,000 square feet and an allowable maximum Floor Area Ratio (FAR) of 12. Buildings within the district are required to be setback 5 feet on one side. Maximum building height within district is 150 feet with a maximum building coverage of 70 percent and 95 percent maximum impervious coverage.

As shown in Figure 5, zoning districts in the vicinity of the project site include Single-Family and Two-Family Residential (R-5A) to the north, Downtown Commercial/Office (C-4) to the east and south and a mix of Community Professional/Office (C-3A), R-5A and Community Commercial (C-2A) zoning districts to the west and southwest.

Land use within the project site is commercial/services; see Figure 6 – Land Use Map. Land uses in the vicinity of the project site include railroad and high density or multiple dwelling residential.

Impacts

The proposed project is not anticipated to result in any adverse zoning or land use impacts. As a medical-related building expansion, the proposed project conforms to the general requirements of the D-HI zoning district.

As a hospital-related facility, the proposed project is consistent with existing commercial/services land uses on the project site and within the vicinity of the

project site. As such, the proposed project is not anticipated to result in any significant adverse land use impacts.

2.2 Geology and Soils

Existing Conditions

The project site is currently a gravel area used for utilities. Figure 7 – New Jersey Geology Map show that the project site is located in the Passaic Formation and Passaic Formation Gray bed, which is dominated by siltstone and shale. Figure 8 – Soils Map shows the site soil is under the Urban Land (UR) designation.

Impacts

The proposed project is not anticipated to result in any significant adverse impacts to site geology. The proposed building expansions, ambulance parking, and other site features have been designed to accommodate site-specific geologic conditions.

Site soils consist of existing paved areas and fill materials common to urban settings. No negative impacts to soils are anticipated as a result of the project. Site soils will be amended as necessary to remove existing paved areas and accommodate the proposed structure and associated walkways and planting areas. Necessary soil erosion control measures are shown on drawing CE-101 Soil Erosion and Sediment Control Plan. A soil erosion control permit will be obtained from the Freehold Soil Conservation District prior to the initiation of earth moving activities.

2.3 Water Resources

Existing Conditions

Wetlands

Langan reviewed the NJDEP Freshwater Wetlands map and found that there are no freshwater wetlands mapped on the project site; see Figure 9 – NJDEP Freshwater Wetlands Map. In addition, there are no freshwater wetlands mapped by NJDEP within approximately 2,000 feet of the project site.

Floodplains and Surface Waters

Langan reviewed the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map and found that the project site is located outside of both the 100- and 500-year floodplains associated with the Raritan River; see Figure 10 – FEMA Map.

Impacts

There are no freshwater wetland areas mapped within 2,000± feet of the site location and no floodplains are to be expected on site as the Raritan River's floodplain is over 1,500± feet away. As a result, no impacts to freshwater wetlands or floodplains are anticipated as a result of the project.

2.4 Rare and Endangered Species

Existing Conditions

Langan reviewed data prepared by the Landscape Project, an NJDEP mapping tool that identifies habitat for threatened and endangered species throughout the state. Using the said data, we prepared a NJDEP Habitat Map, which indicates no threatened or endangered species habitats on or within approximately 1,500 feet of the project site; see Figure 11 – NJDEP Landscape Habitat.

Impacts

No threatened or endangered species or their habitats are mapped on the project site; therefore no impacts are anticipated as a result of the project.

2.5 Vegetation

Existing Conditions

The project site is occupied by buildings and gravel area. The project site is not forested or ecologically-sensitive.

Impacts

The project site consists of no vegetation species due to its urban setting. The project does not propose any landscaped areas.

2.6 Resources Contamination

Existing Conditions

Based on a review of the NJDEP GeoWeb program, the project site is not identified on the following records indicative of contaminated media:

- Known Contaminated Site List;
- Sites with environmental deed notices; or
- Sites overlying groundwater Classification Exception Areas.

Impacts

As construction of the proposed project is expected to require the removal of excess soils, it can be expected that the quantity of non-indigenous fill material at the site will be reduced. Based on this information no significant adverse impacts related to resource contamination issues are anticipated.

2.7 Utilities

Existing Conditions

Utility services provided in the vicinity of the project site location include sanitary, water, electric, telecommunications, and gas lines. The project proposes a new water connection and to reuse recently installed sanitary and storm connections to the City-owned systems in French Street. No other utilities are proposed as part of the project.

Negative impacts to existing utilities are not anticipated as a result of the project. If proposed loads or demands from the expansion dictate upgrading connections or capacity to the existing building it is anticipated that these minimal increases can be easily accommodated by the surrounding utility infrastructure network.

Impacts

Negative impacts to utility systems are not anticipated.

2.8 Stormwater

Existing Conditions

Langan Engineering prepared a Stormwater Narrative to address existing and proposed stormwater management conditions within the project site.

The existing site is mainly occupied by an electrical equipment yard and existing RWJ buildings. The site generally slopes from northwest to southeast. Existing elevations range from approximate el. 72.5 at the northwestern corner of the development site to approximate el. 69.6 near the northeast corner of the property. Stormwater from the site currently drains to an on-site underground detention system and then to French Street.

Impacts

The proposed development will generally maintain existing drainage patterns. As part of this project, the previously constructed underground detention system will be relocated slightly on the site (see Grading and Drainage Plan).

According to Langan Stormwater Narrative, post-construction stormwater runoff will not exceed, at any point in time, the pre-construction runoff for the 2-, 10-, 25-, 50- and 100-year storm event. As such, this meets the requirements for water quantity within the City's Stormwater Control Ordinance.

The proposed project does not increase the sites impervious area. Because water quality regulations only apply when an increase in impervious cover of 0.25 acres or greater is proposed, the proposed project is not subject to the City's stormwater quality requirements.

Groundwater Recharge

In accordance with N.J.A.C. 7:8-5.4(a)2iv, the project site is exempt from the City's groundwater recharge requirements because the site contains historic fill and a shallow depth to bedrock. Recharging groundwater in a region with shallow bedrock would likely "exacerbate the water table so as to cause surficial ponding, flooding of basements, or interfere with the proper operation of subsurface sewage disposal systems and other subsurface structures in the vicinity or down gradient of the groundwater recharge area." In addition, according to the Stormwater Narrative, groundwater recharge is not encouraged on site with historic fill due to potential groundwater contamination.

2.9 Traffic and Transportation

Parking for the project will be provided in the recently constructed East Tower project. The increase in hospital use space is not anticipated to create a significant impact or increase in trip generation.

3.0 CONCLUSION

The proposed project is consistent with the City's zoning ordinance and master plan. The project will not negatively impact vegetation, air quality, water quality, or noise level of the surrounding area.

4.0 REFERENCES

NJDEP Geographic Information Systems Data. 2012. <http://www.state.nj.us/dep/gis>. 1996-2012. October 11, 2012

FIGURES



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Langan International LLC
Collectively known as Langan

NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400

Project

**ROBERT WOOD JOHNSON
BARNABAS HEALTH
SOUTH BUILDING
EXPANSION**

BLOCK No. 24.01, LOT No. 1.01
CITY OF NEW BRUNSWICK

MIDDLESEX COUNTY NEW JERSEY

Drawing Title

**USGS SITE
LOCATION MAP**

Project No.

130089201

Date

5/24/19

Scale

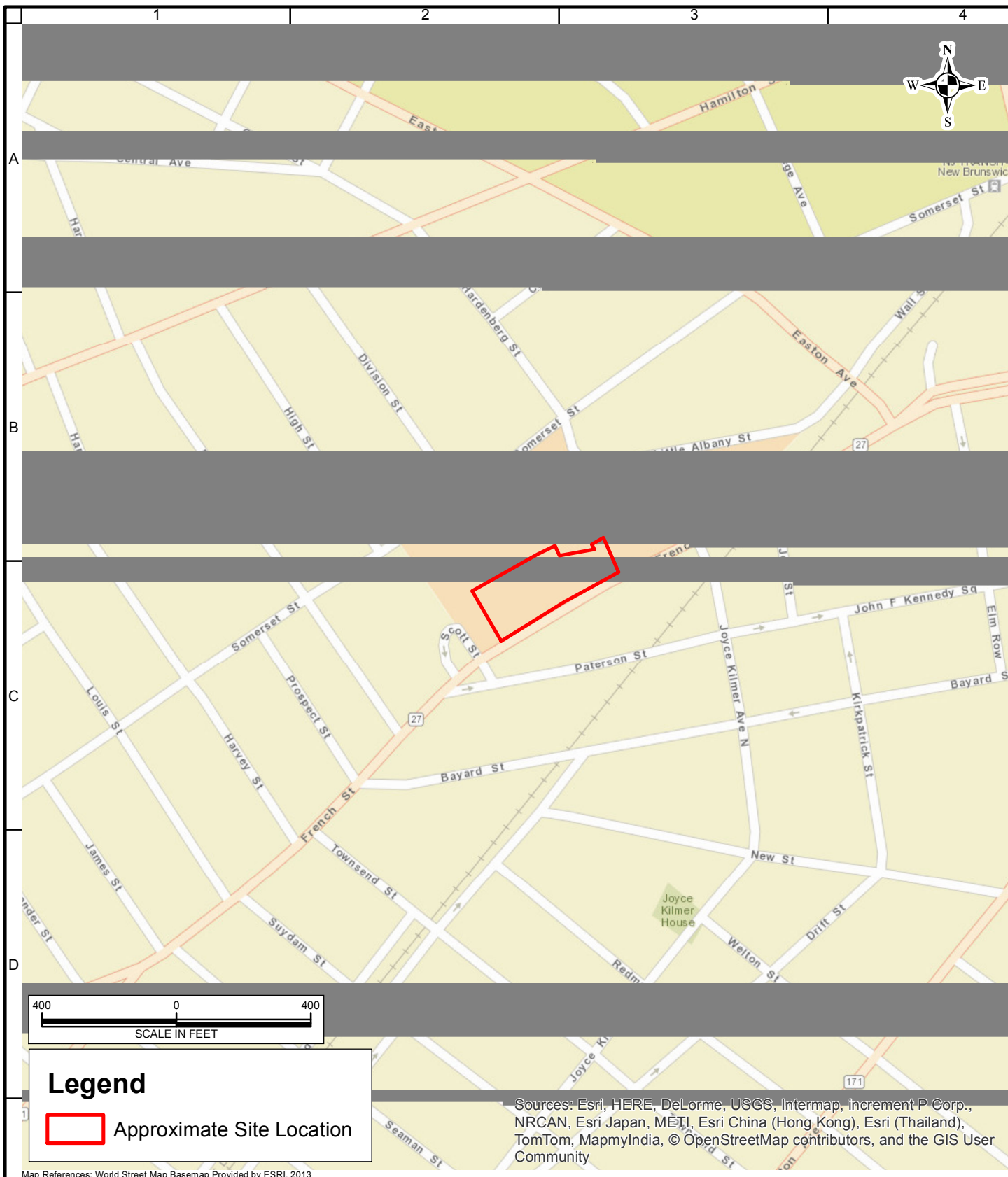
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Drawn By

ARL

Figure

1



Map References: World Street Map Basemap Provided by ESRI, 2013

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BLOCK No. 24.01, LOT No. 1.01
CITY OF NEW BRUNSWICK

MIDDLESEX COUNTY NEW JERSEY

Drawing Title

**VICINITY
MAP**

Project No.

130089201

Date

5/24/19

Scale

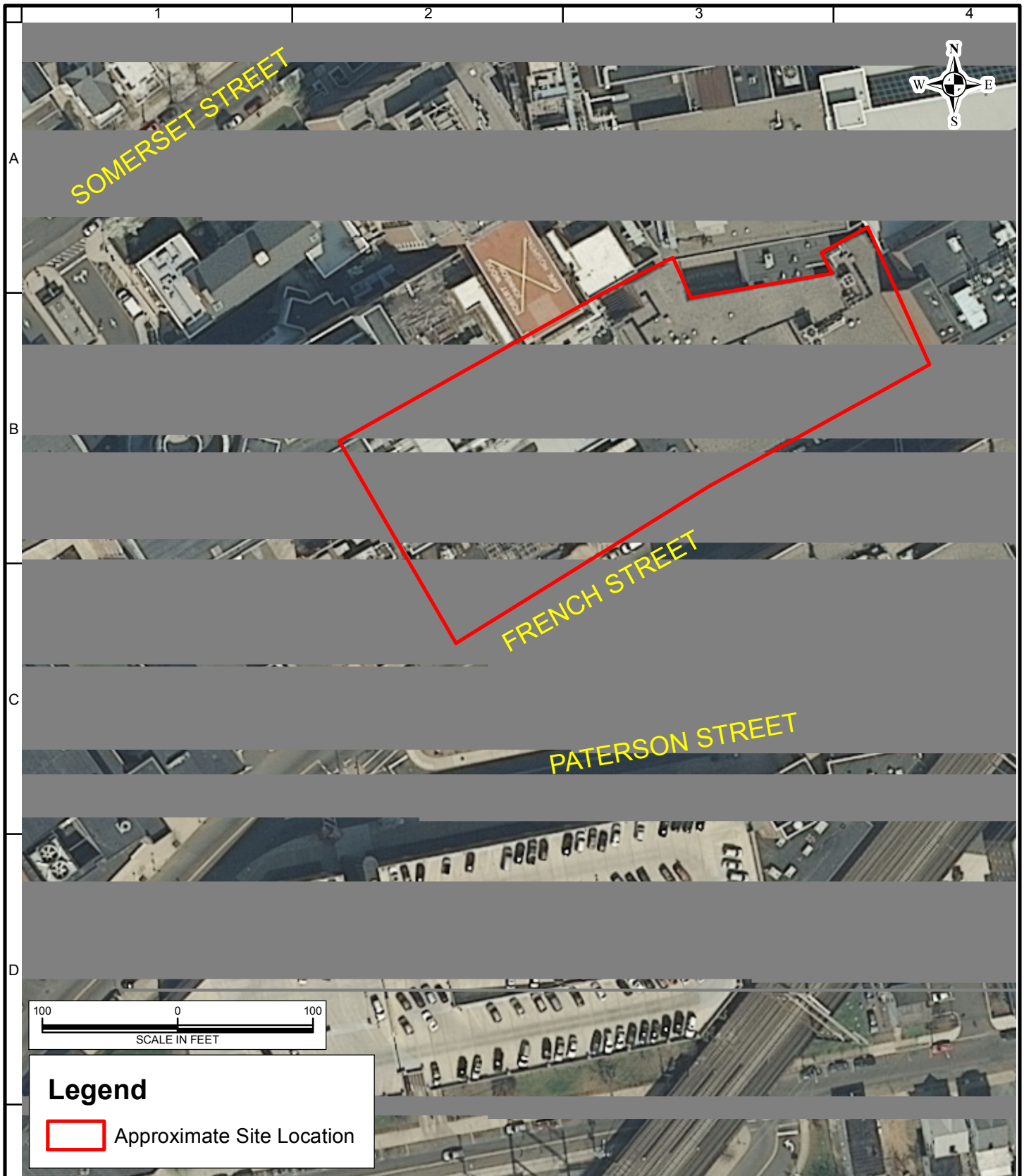
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Figure

2



Map References: NJDEP Statewide Aerial Imagery, 2012

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Drawing Title

**AERIAL
PHOTOGRAPH**

Project No.

130089201

Date

5/24/19

Scale

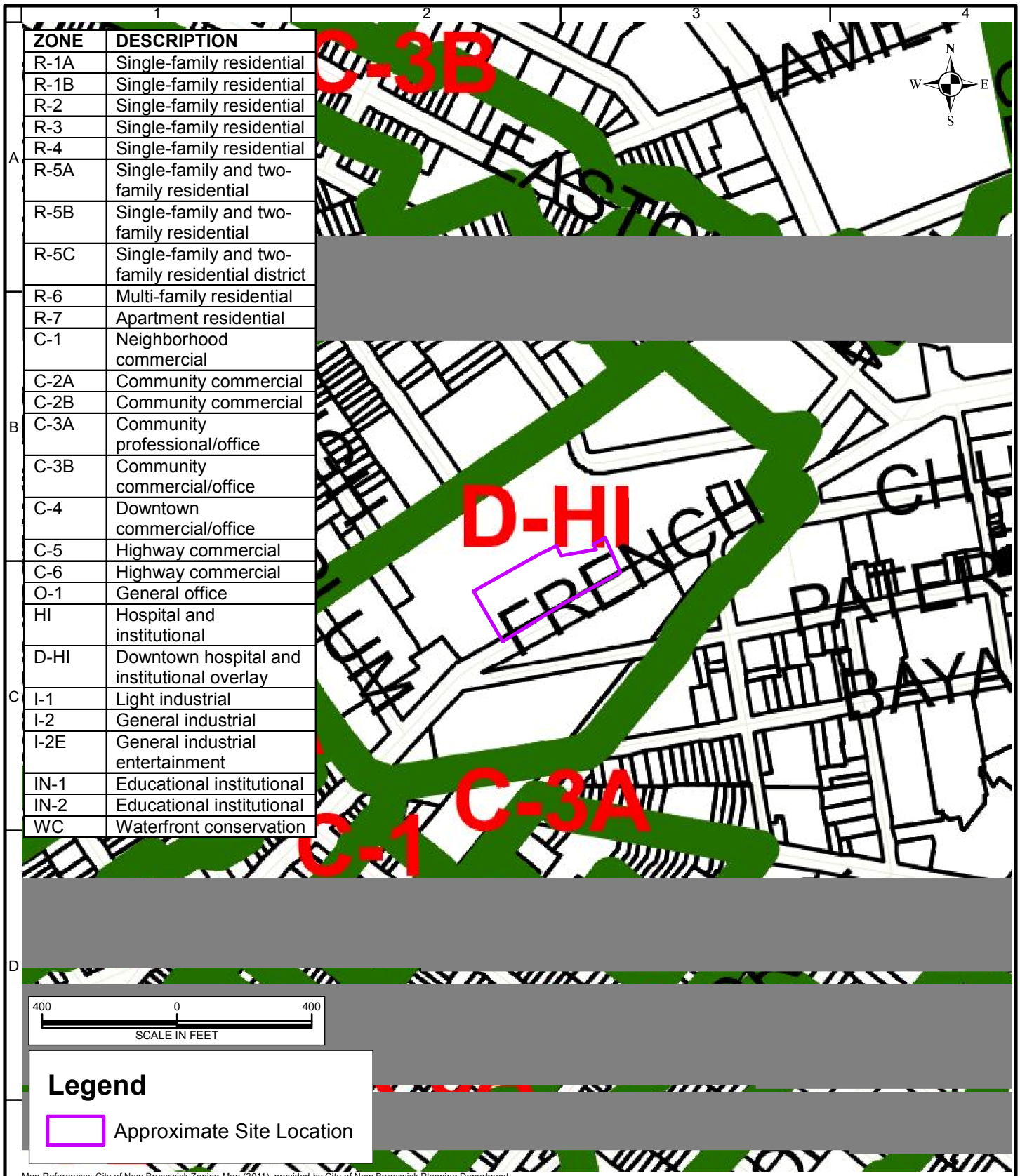
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Figure

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ZONE	DESCRIPTION
R-1A	Single-family residential
R-1B	Single-family residential
R-2	Single-family residential
R-3	Single-family residential
R-4	Single-family residential
R-5A	Single-family and two-family residential
R-5B	Single-family and two-family residential
R-5C	Single-family and two-family residential district
R-6	Multi-family residential
R-7	Apartment residential
C-1	Neighborhood commercial
C-2A	Community commercial
C-2B	Community commercial
C-3A	Community professional/office
C-3B	Community commercial/office
C-4	Downtown commercial/office
C-5	Highway commercial
C-6	Highway commercial
O-1	General office
HI	Hospital and institutional
D-HI	Downtown hospital and institutional overlay
I-1	Light industrial
I-2	General industrial
I-2E	General industrial entertainment
IN-1	Educational institutional
IN-2	Educational institutional
WC	Waterfront conservation



Legend

Approximate Site Location

Map References: City of New Brunswick Zoning Map (2011), provided by City of New Brunswick Planning Department

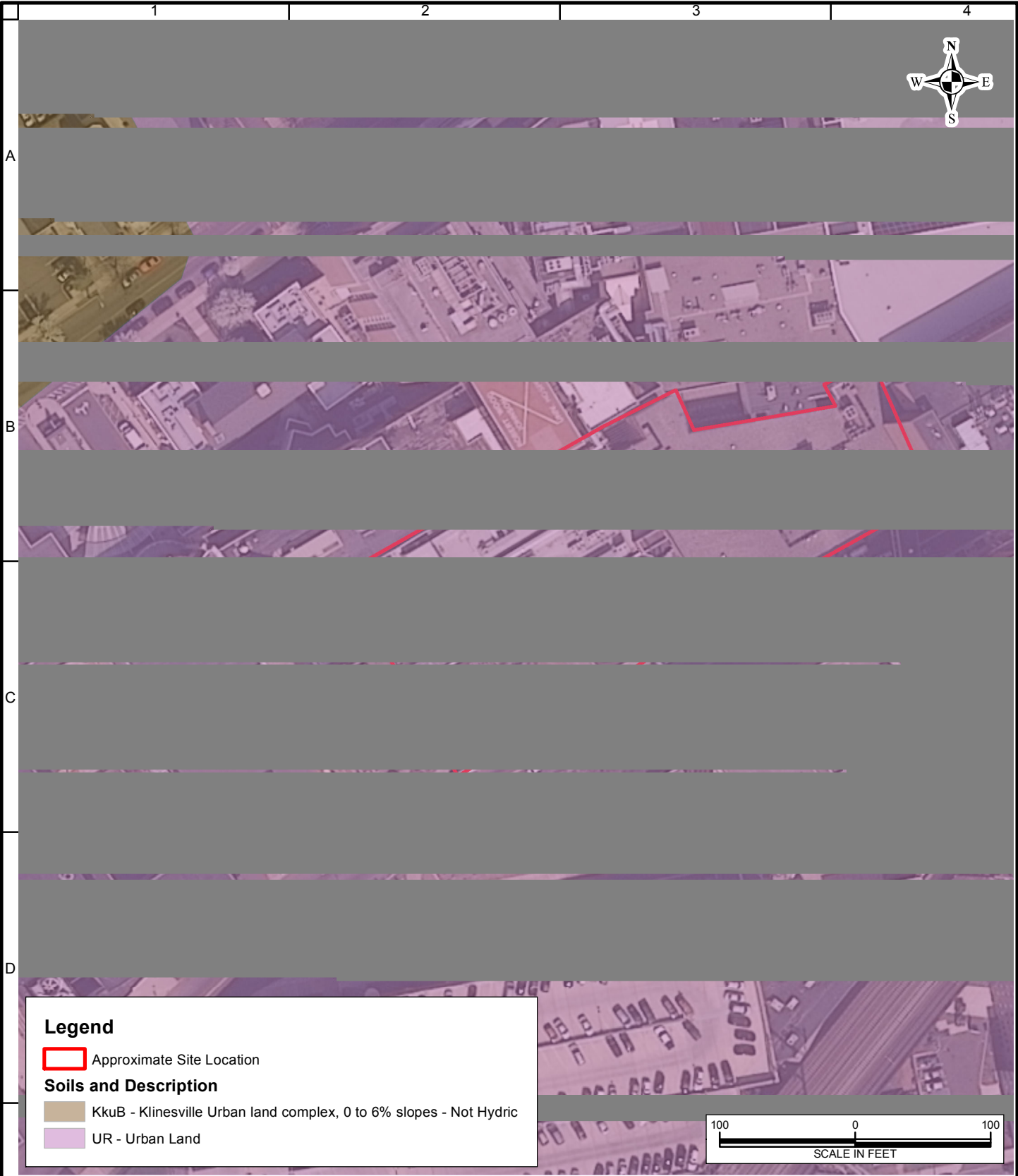
LANGAN River Drive Center 1, 619 River Drive Elmwood Park, NJ 07407-1338 T: 201.794.6900 F: 201.794.0366 www.langan.com Langan Engineering & Environmental Services, Inc. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan International LLC Collectively known as Langan NJ CERTIFICATE OF AUTHORIZATION No. 24GA27996400	Project ROBERT WOOD JOHNSON BARNABAS HEALTH SOUTH BUILDING EXPANSION BLOCK No. 24.01, LOT No. 1.01 CITY OF NEW BRUNSWICK MIDDLESEX COUNTY NEW JERSEY	Drawing Title ZONING MAP	Project No. 130089201 Date 5/24/19 Scale 1"=400' Drawn By ARL	Figure 5
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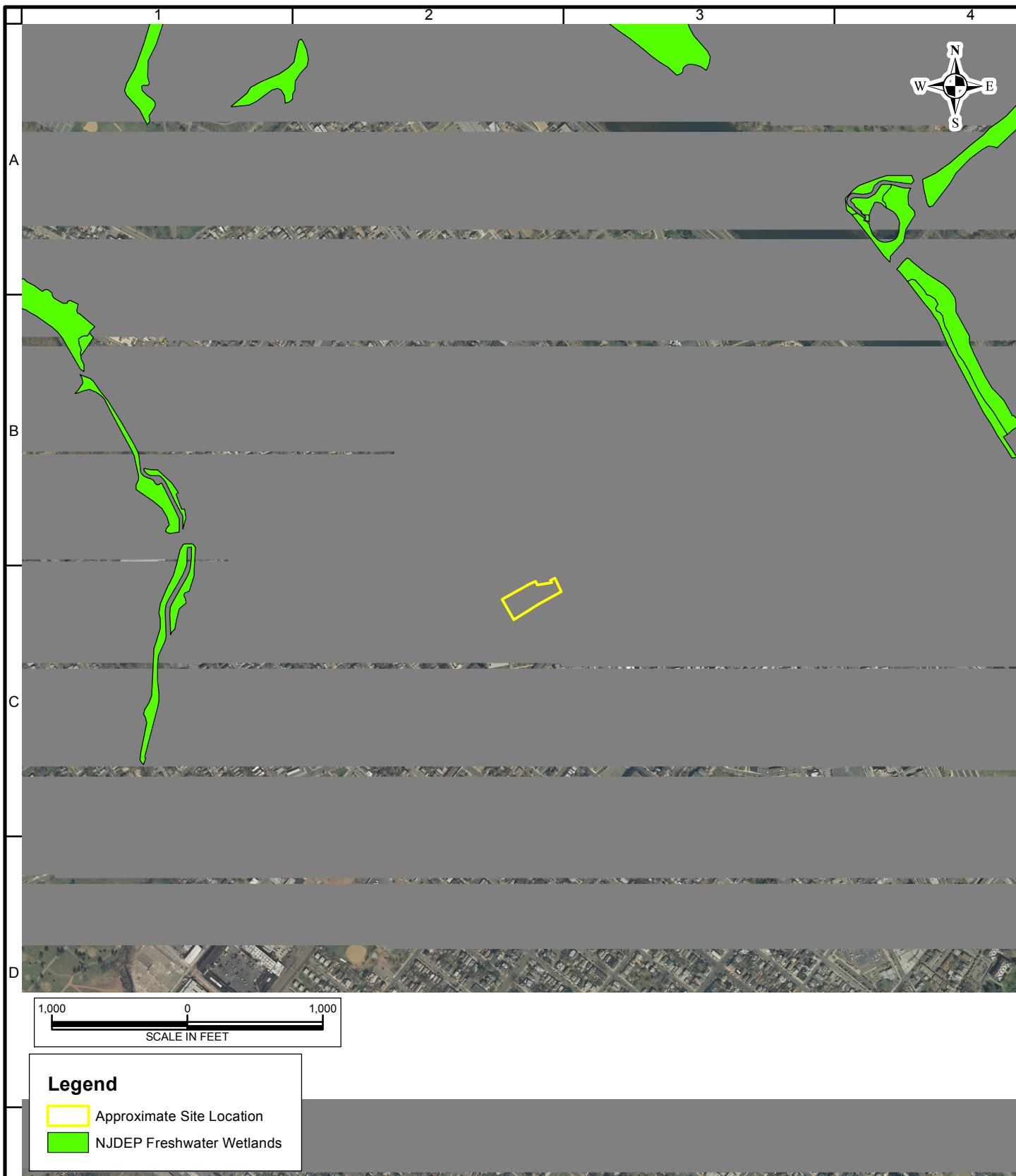
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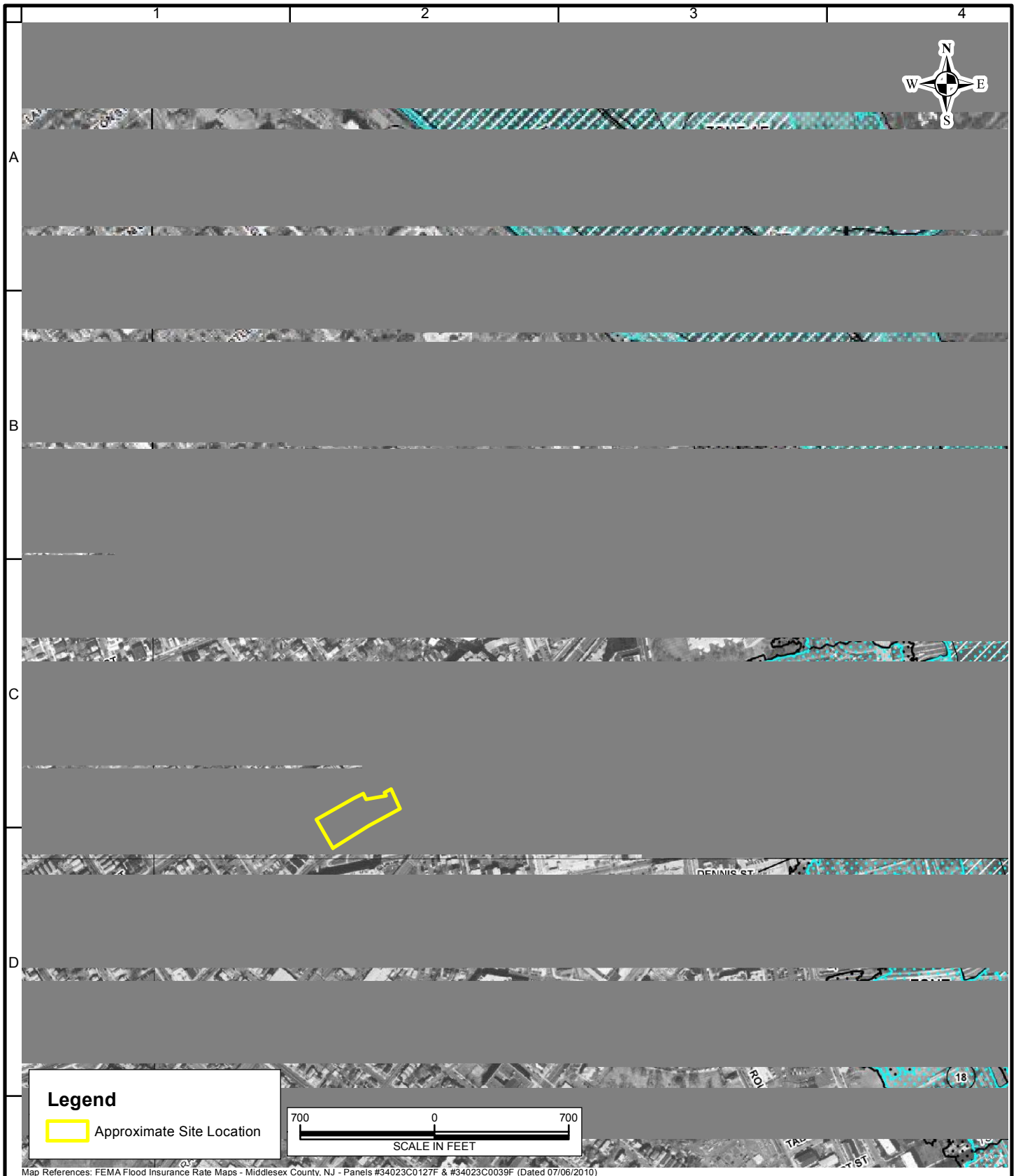


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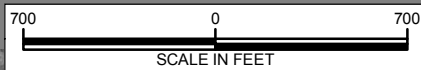
Map References: NJDEP Statewide Aerial Imagery 2012; NRCS Soil Data 2008; NJDEP Landuse Data 2007 - Wetlands

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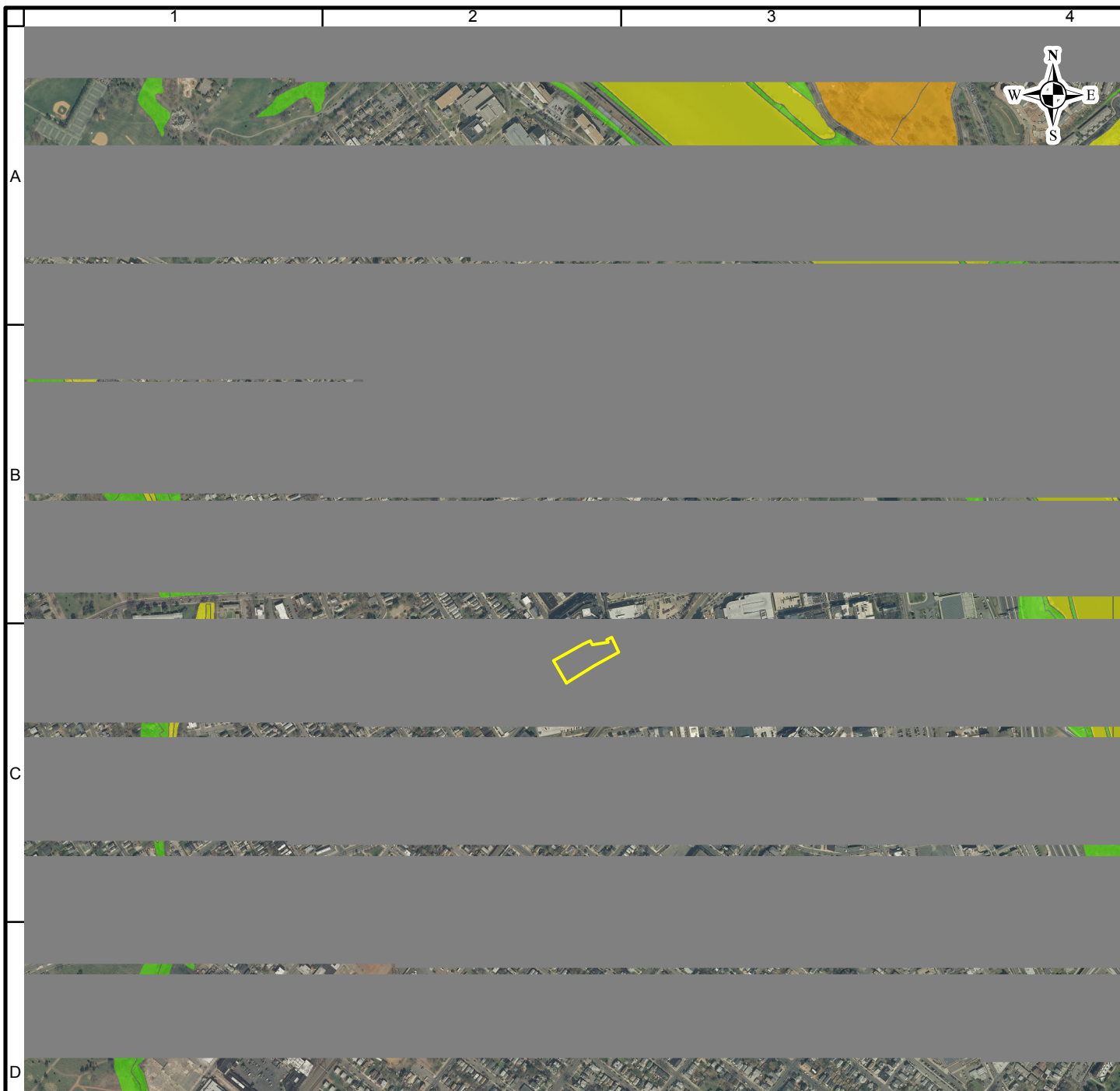
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Approximate Site Location



Map References: FEMA Flood Insurance Rate Maps - Middlesex County, NJ - Panels #34023C0127F & #34023C0039F (Dated 07/06/2010)

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Legend

Approximate Site Location

Not Mapped On-Site
Rank 3 – State Threatened

Red-Headed Woodpecker Non-Breeding Sighting

Map References: NJDEP Statewide Aerial Imagery 2012; NJDEP Landscape Habitat Data 2012

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Drawing Title

**NJDEP
LANDSCAPE
HABITAT MAP**

Project No.

130089201

Date

5/24/19

Scale

1"=1,000'

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Figure

11

DRAWINGS
(Bound Under Separate Cover)