

BLOCK 468/671 LOT 1-9/1.01 QUALIFICATION CODE _____ ADDRESS (SITE) 1036 Pearl Bridge Rd PERMIT NO. 12-1487



CONSTRUCTION PERMIT APPLICATION

C12-001391

Applicant Completes: Sections I, II, III (optional), IV, VI, and VII

I. IDENTIFICATION

1. Proposed Work Site at: 1036 Pearl Bridge Road

2. Name of Owner in Fee: Lube IT UP LLC
Tel. (201) 818-4669 e-mail ggross@doherlyinc.com
Address 7 Pearl Court Allensville NJ 07821
street municipality zip code

3. Ownership in Fee: Public _____ Private X

4. Principal Contractor: E2 SIGNS Tel. (866) 349-5444
Address 2177 Bennett Road e-mail _____
Philadelphia PA 19116

License No. OR, if new home, Builder Reg. No. _____ Exp. Date _____

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. 02-0566091 FAX: (212) 676-3269

5. Architect or Engineer _____ Contact _____
Address _____ e-mail _____
Tel. () _____ FAX: () _____

6. Responsible Person in Charge once Work has Begun GORDEN GROSS
Tel. (201) 788-4485 FAX: (201) 818 0807

V. FEE SUMMARY (for office use only)		Update	Update
1. Building	\$ <u>303 -</u>		
2. Electrical			
3. Plumbing			
4. Fire Protection			
5. Elevator Devices			
6. Subtotal			
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$ <u>85 -</u>		
10. Subtotal	\$		
11. Cert. of Occupancy			
12. Other			
13. TOTAL	\$ <u>388 -</u>		

VI. BUILDING/SITE CHARACTERISTICS

1. Number of Stories _____

2. Height of Structure _____ ft.

3. Area — Largest Floor 305 sq. ft.

4. New Building Area _____ sq. ft.

5. Volume of New Structure _____ cu. ft.

6. Max. Live Load _____

7. Max. Occupancy Load _____

8. If Industrialized Building: State Approved _____ HUD _____

9. Total Land Area Disturbed _____ sq. ft.

10. Flood Hazard Zone _____

11. Base Flood Elevation _____ ft.

12. Wetlands yes _____ no _____

(office use only)

IIa. PROPOSED WORK

☒ Minor Work SIGNS ☐ New Building ☐ Addition ☐ Demolition

☐ Repair ☐ Alteration ☐ Renovation ☐ Reconstruction

☐ Asbestos Abat. -Subch. 8 ☐ Lead Hazard Abatement ☐ Radon Remediation ☐ Annual Permit

IIb. SUBCODES
(Check all that apply)

☒ Building SIGNS

☐ Electrical

☐ Plumbing

☐ Fire Protection

☐ Elevator

FOR OFFICE USE ONLY (Optional)

Est. Cost	Plans Rec'd by	Date Rec'd	Rejection Date	Approval Date	Re-viewer	Resubmission Dates Approval	Rejection	Re-viewer
<u>50,000</u>	<u>KB</u>	<u>4/20/12</u>	<u>5/10/12</u>	<u>5/31/12</u>	<u>14</u>			
	<u>Eng</u>	<u>5/9/12</u>		<u>5/9/12</u>	<u>MSA</u>			

TOTAL COST _____

VII. DESCRIPTION OF BUILDING USE

A. RESIDENTIAL (primary use)

1. State Specific Use: _____

2. Use Group, Proposed: _____

3. Change in Use Group, Indicate Present: _____

4. No. of dwelling units: Total Units Income-restricted

Gained, Sale _____

Gained, Rental _____

Lost, Sale _____

Lost, Rental _____

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: _____

2. Use Group, Proposed: _____

3. Change in Use Group, Indicate Present: _____

C. MIXED USE -List secondary use(s): _____

D. Construct. Classification: Present _____ Proposed _____

III. PLAN REVIEW (optional)

DO YOU WANT:

1. ☐ Partial Releases

2. ☐ Prototype Processing

IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

1. ☐ Elevators/Escalators/Lifts/ Dumbwaiters/Moving Walks

2. ☐ High Pressure Boilers

3. ☐ Pressure Vessels

4. ☐ Refrigeration Systems

5. ☐ Cross-Connections/Backflow Preventers

6. ☐ Hazardous Uses/Places of Assembly

7. ☐ Sprinklers/Standpipes

8. ☐ Smoke Control Systems in Open Wells

9. ☐ Underground Storage Tanks

10. ☐ Swimming Pools, Spas and Hot Tubs

11. ☐ LPGas Tanks

12. ☐ Fire Alarm

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

- A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

- B. ☐ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(f)1.ix:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

- C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☐ Building C.2. ☐ Fire Protection

I further certify that I will perform the following work:

C.3. ☐ Electrical C.4. ☐ Plumbing

- D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☐ Check if contractor.

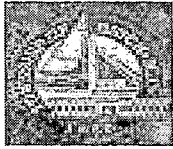
Agent Name Gordon Good

Address 7 Pearl Court Allendale NJ 07001

Telephone (201) 788-4485

Signature [Handwritten Signature]

III. ☐ LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



Brick Township
401 Chambersbridge Rd
Brick, NJ 08723

Date Issued 02/19/2019
Control Number C-12-001391
Permit Number 12-1487
Permit Issue Date 06/05/2012
Certificate Number 12-1487

Certificate

Construction Code Division

(Certificate of Approval)

Identification

Work Site Location: 1036 Cedar Bridge Rd. Brick Township, NJ Block: 671 Lot: 1.01 Qual: _____
Owner in Fee: FEDERAL REALTY INVESTMENT TRUST
Owner Address: 1626 EAST JEFFERSON ST ROCKVILLE MD 20852
Telephone: _____
Contractor EZ Signs, LLC
Address 2177 Bennett Road Philadelphia PA 19116
Telephone: (215) 869-6724 Fax: _____
License Number or Builders Registration Number: _____ Federal Emp. Number: 02-0566091

Home Warranty Number: _____

Type of Warranty Plan: ☐ State ☐ Private

Use Group: B Construction Classification: _____

Maximum Live Load: 0 Maximum Occupancy Load: 0

Description of Work/Use: SIGN INSTALLATION - Quaker Steak and Lube

Certificate Comments:

☐ **Certificate of Occupancy**

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☒ **Certificate of Approval**

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ **Certificate of Continued Occupancy**

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ **Temporary Certificate of Compliance**

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

☐ **Certificate of Clearance - Lead Abatement 5:17**

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period (years); see file

☐ **Certificate of Clearance - Asbestos Abatement**

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
☐ Partial or limited time period (years); see file

☐ **Certificate of Compliance**

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ **Temporary Certificate of Occupancy**

The following conditions must be met no later than: or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

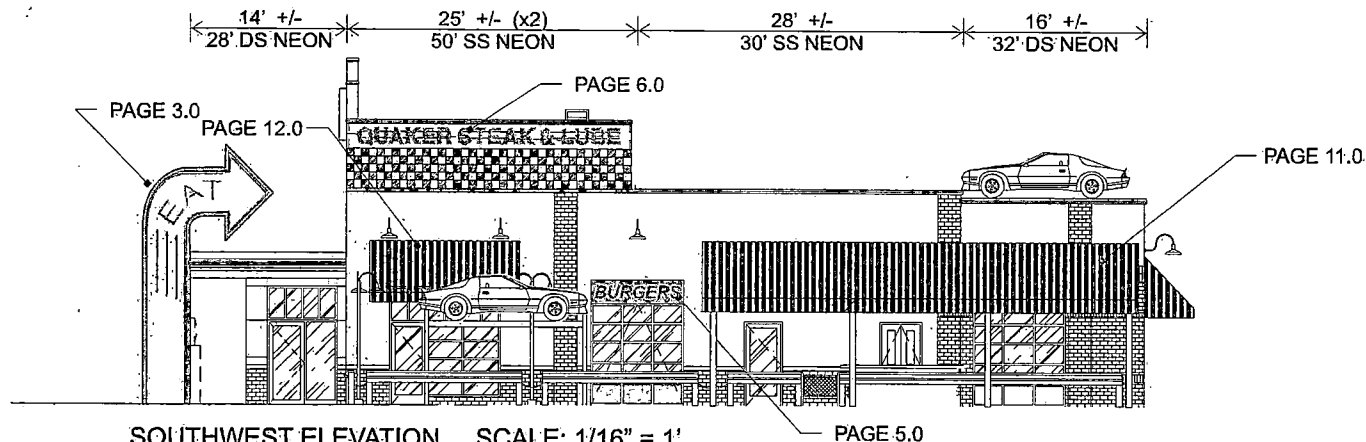
Daniel Newman Jr

Construction Official

Fee: \$0.00

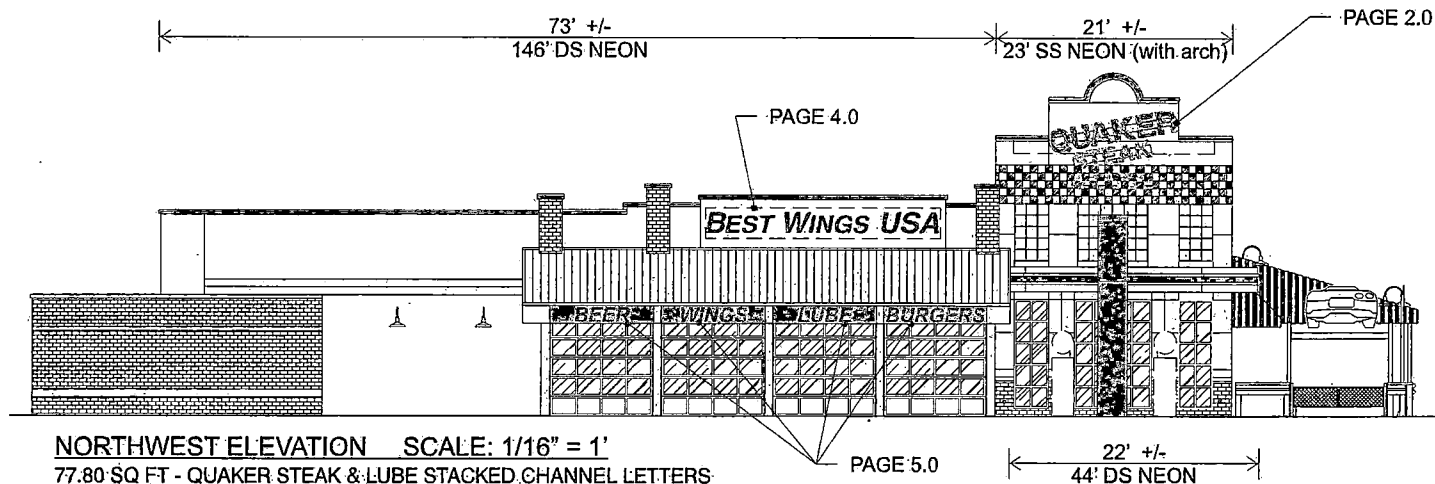
Check Number: _____

Collected By: _____



SOUTHWEST ELEVATION SCALE: 1/16" = 1'

16.00 SQ FT - YELLOW BURGERS PANEL SIGN
 34.38 SQ. FT - QUAKER STEAK & LUBE LINEAR CHANNEL LETTERS
 14.00 SQ FT - RED NEON "EAT"



NORTHWEST ELEVATION SCALE: 1/16" = 1'

77.80 SQ FT - QUAKER STEAK & LUBE STACKED CHANNEL LETTERS
 37.34 SQ FT - BEST WINGS USA PVC LETTERS
 13.50 SQ FT - YELLOW BEER PANEL SIGN
 13.50 SQ FT - YELLOW WINGS PANEL SIGN
 13.50 SQ FT - YELLOW LUBE PANEL SIGN
 13.50 SQ FT - YELLOW BURGERS PANEL SIGN



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

CONSULTANT: N. WASSERSTROM

DESIGNER: JAMES BROOKS

CHECKED: REVIEW ONLY

☐ CLIENT APPROVED

SIGNATURE

DATE

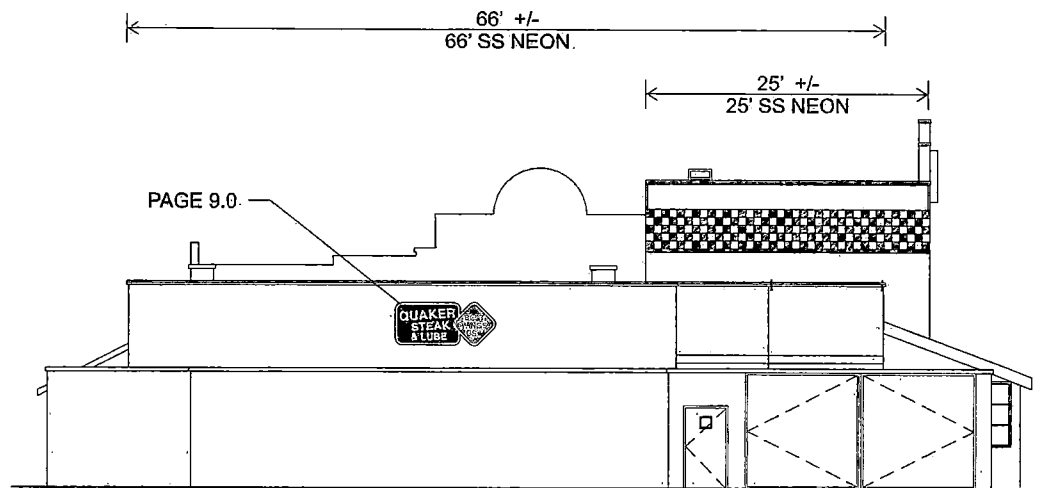
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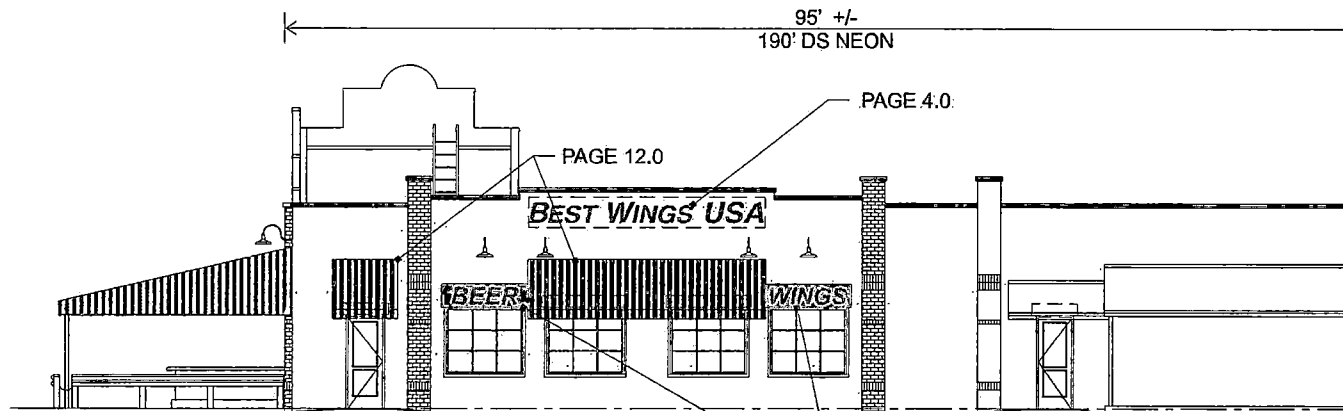
PG.1

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4



NORTHEAST ELEVATION SCALE: 1/16" = 1'
32.66 SQ. FT. - QSL S/F WALL SIGN



SOUTHEAST ELEVATION SCALE: 1/16" = 1'
37.34 SQ. FT. - BEST WINGS USA PVC LETTERS
15.00 SQ. FT. - YELLOW BEER PANEL SIGN
15.00 SQ. FT. - YELLOW WINGS PANEL SIGN



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 4/5/12

CONSULTANT: N. WASSERSTROM

☐ CLIENT
APPROVED

SIGNATURE

DATE

DESIGNER: CRAIG REYNOLDS

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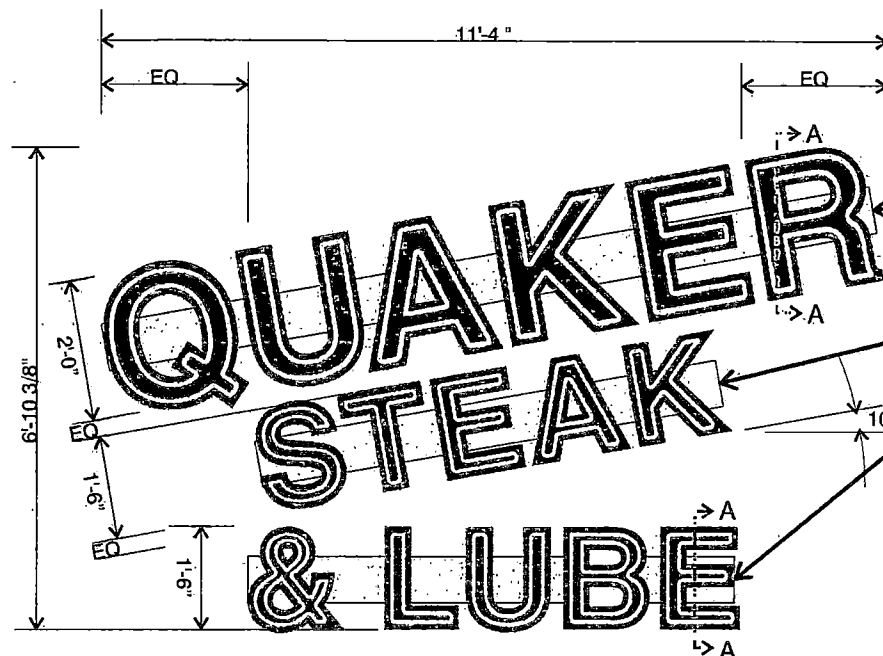
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PG.2

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77.80 SQ FT GRAPHIC AREA

LED CHANNEL LETTERS SCALE: 3/8" = 1'
1 SET NORTHWEST ELEVATION

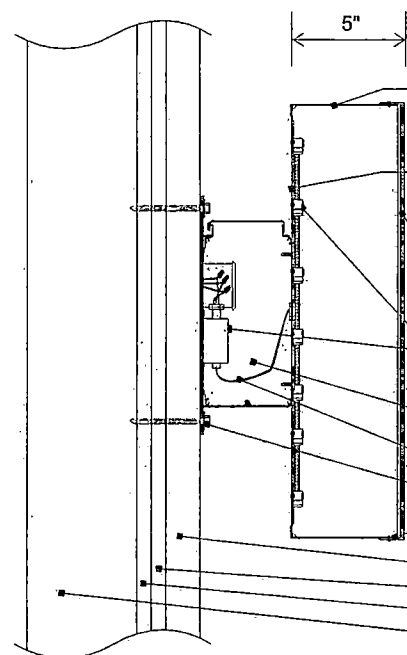
NOTES:

- 1) ALL SIGNS TO BE UL APPROVED & LABELED
- 2) INSTALLATION TO MEET ALL NEC & LOCAL CODES
- 3) INSTALL FLUSH TO STOREFRONT

(8) ANCHOR POINTS/RACEWAY: 4 TOP & 4 BOTTOM

(4) ANCHOR POINTS/RACEWAY: 2 TOP & 2 BOTTOM

(4) ANCHOR POINTS/RACEWAY: 2 TOP & 2 BOTTOM



RETURNS: .040 x 5" DEEP ALUMINUM
PAINT OUTSIDE SW SAFETY GREEN
PAINT INSIDE WHITE

BACKS: .040 ALUMINUM
PAINT OUTSIDE SW SAFETY GREEN
PAINT INSIDE WHITE

FACES: 1/8" WHITE ACRYLIC W/
7725-186 GREEN PSV FIRST SURFACE

ILLUMINATION: WHITE LED AS REQUIRED
POWER SUPPLY: 120v IN RACEWAY
PRIMARY ELECTRIC BY OTHERS

RACEWAY: 4" x 8" EXTRUDED ALUMINUM
PAINT SW 7005 PURE WHITE

WIRING AND FIXTURES: UL LISTED APPROVED

MOUNTING HARDWARE: 1/2" x 1/2" x 1/2" ABS W/
PVC SPACERS TO PREVENT CRUSHING EYES

TRIMCAP: 1" GREEN

1 1/2" EIFS SYSTEM

5/8" DENSGLAS

5/8" FRP PLYWOOD

METAL STUD FRAMING



SCALE 1/4" = 1'



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CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 4/9/12

CONSULTANT: N. WASSERSTROM

DESIGNER: CRAIG REYNOLDS

CHECKED: REVIEW ONLY

☐ CLIENT APPROVED

SIGNATURE

DATE

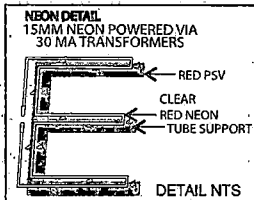
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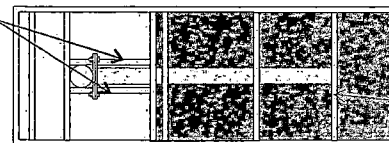
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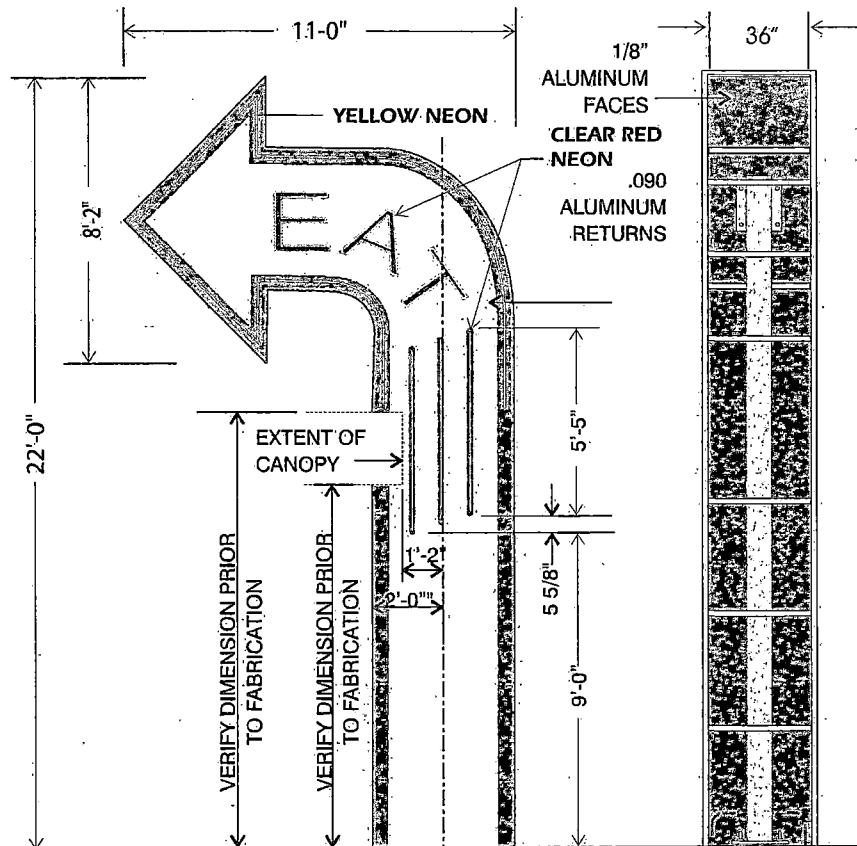


2" x 2" x 1/4"
STEEL ANGLE:
-BOLT TO ALUMINUM FRAME
-WELD TO STEEL PIPE



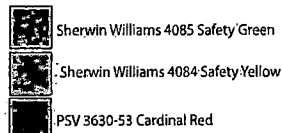
PLAN VIEW

2" x 2" x 1/4"
ALUMINUM ANGLE



LEFT SIDE VIEW

DOUBLE FACE NON-ILLUMINATED ARROW SCALE: 3/16" = 1'

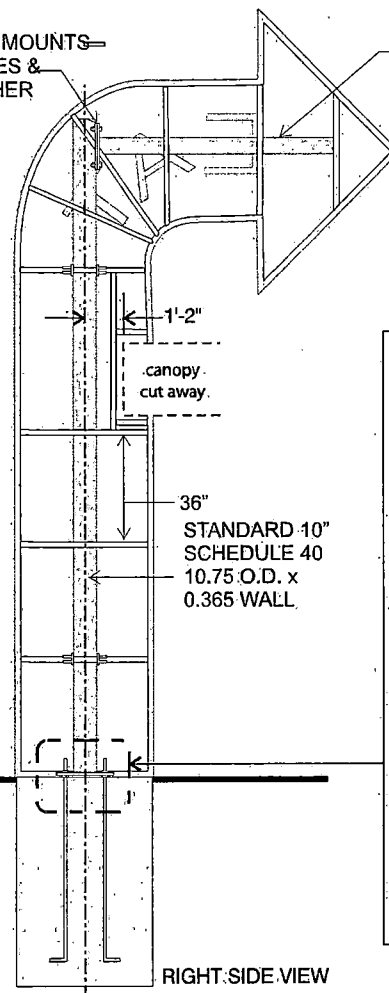


4' X 4' X 6' DP
(3.56 CU YD CONCRETE)

1" x 5'-6" J-BOLTS

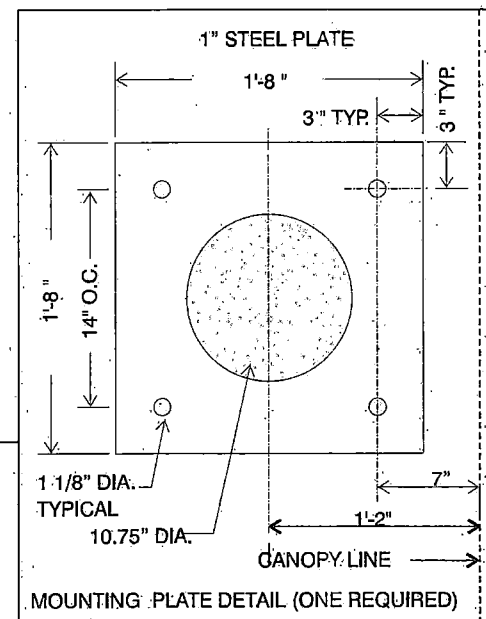
FRONT VIEW

12" X 12" X 1"
STEEL PLATE MOUNTS
WELD TO PIPES &
BOLT TOGETHER
3/8" WELDS



RIGHT SIDE VIEW

STANDARD
SCHEDULE 40
6.625 O.D. x 0.365 WALL



MOUNTING PLATE DETAIL (ONE REQUIRED)

ADVANCE SIGN GROUP
"YOUR NATIONAL SIGN SOURCE"

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CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 4/5/12

CONSULTANT: N. WASSERSTROM

DESIGNER: CRAIG REYNOLDS

CHECKED: REVIEW ONLY

☐ CLIENT
APPROVED

SIGNATURE

DATE

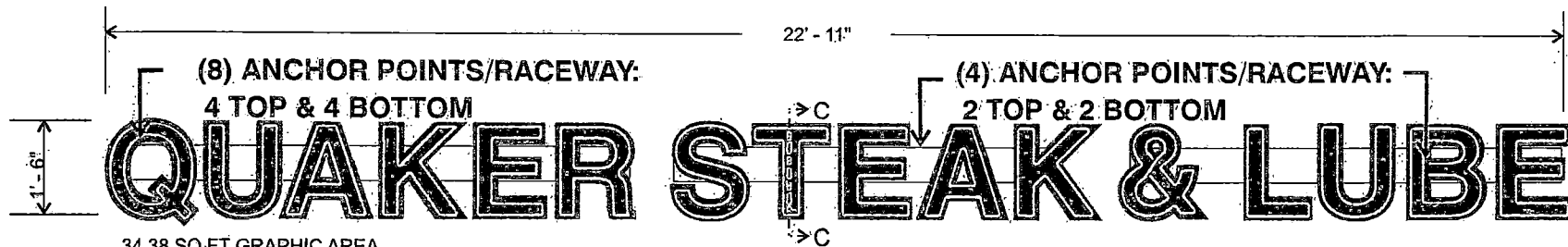
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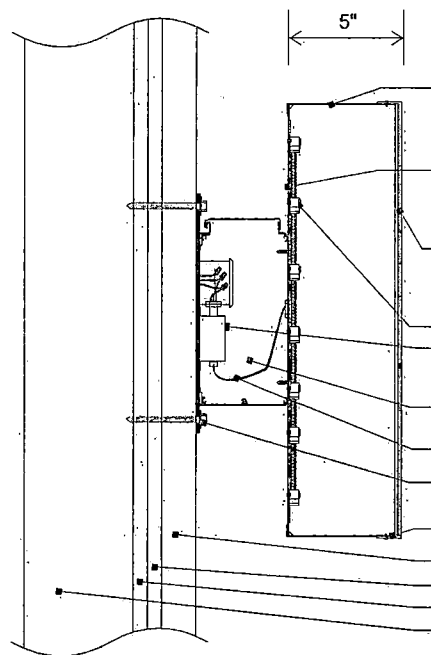
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LED CHANNEL LETTERS **SCALE: 3/8" = 1'**
 1 SET SOUTHWEST ELEVATION
 GRAPHIC AREA 34.38 SQ. FT.



RETURNS: .040 x 5" DEEP ALUMINUM
 PAINT: OUTSIDE SW SAFETY GREEN
 PAINT: INSIDE WHITE

BACKS: .040 ALUMINUM
 PAINT: OUTSIDE SW SAFETY GREEN
 PAINT: INSIDE WHITE

FACES: 1/8" WHITE ACRYLIC W/
 7725-186 GREEN PSV FIRST SURFACE

ILLUMINATION: WHITE LED AS REQUIRED
POWER SUPPLY: 120v IN RACEWAY
 PRIMARY ELECTRIC BY OTHERS

RACEWAY: 4" x 8" EXTRUDED ALUMINUM
 PAINT: SW 7005 PURE WHITE

WIRING AND FIXTURES: UL LISTED/APPROVED

MOUNTING HARDWARE: 1/4" x 3-1/2" LAGS W/
 PVC SPACERS TO PREVENT CRUSHING EIFS
TRIMCAP: 1" GREEN

1-1/2" EIFS SYSTEM

5/8" DENSGLAS

5/8" FRP PLYWOOD

METAL STUD FRAMING

SCALE: 1 1/2" = 1'



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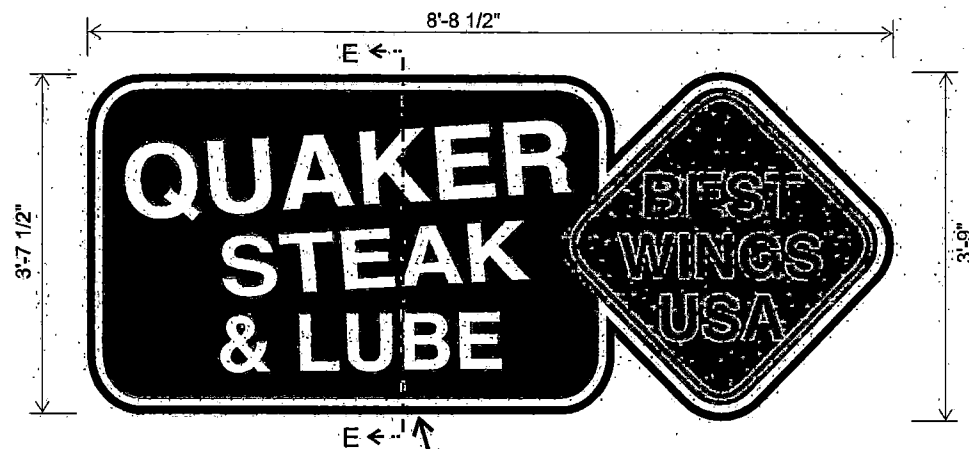
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6.0

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S/F WALL SIGN SCALE: 1/2" = 1'
GRAPHIC AREA 32.66 SQ. FT

(9) ANCHOR POINTS

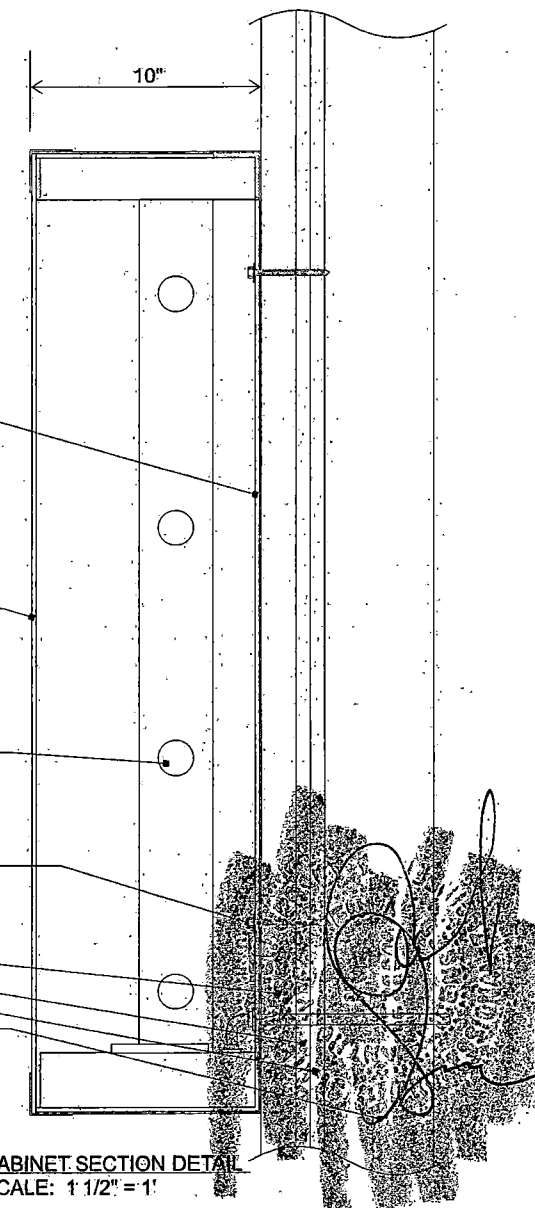
CABINET: CUSTOM FABRICATED
2SQ ALUMINUM ANGLE FRAME
.063 RETURNS
.063 BACK
.063 RETAINERS
PAINT SW. BLACK SEMI-GLOSS

UFACES: 3/16" WHITE POLYCARBONATE WITH
3630-126 GREEN
3630-15 YELLOW
7725-22 BLACK PSV
APPLIED 1ST SURFACE

ILLUMINATION: C.W.H.O. FLUORESCENT
PRIMARY CIRCUIT BY OWNER

MOUNTING HARDWARE: 1/4" x 3 1/2" LAGS W/
PVC SPACERS TO PREVENT CRUSHING EIFS

1 1/2" EIFS SYSTEM
5/8" DENSGLAS
5/8" FRP PLYWOOD
METAL STUD FRAMING



EE CABINET SECTION DETAIL
SCALE: 1 1/2" = 1'



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CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

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CONSULTANT: N. WASSERSTROM

☐ CLIENT APPROVED

SIGNATURE

DATE

DESIGNER: CRAIG REYNOLDS

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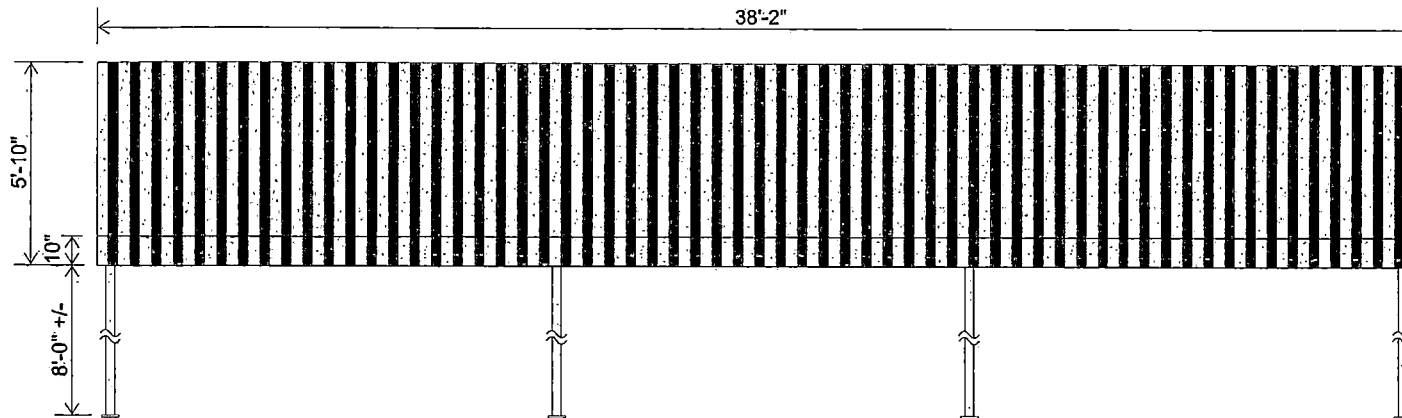
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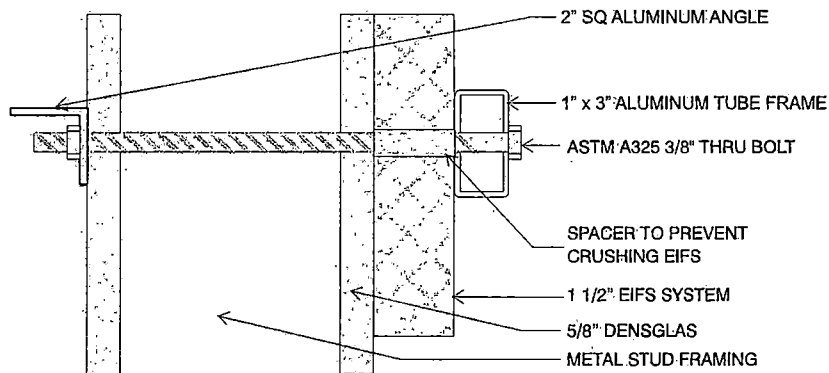
9.0

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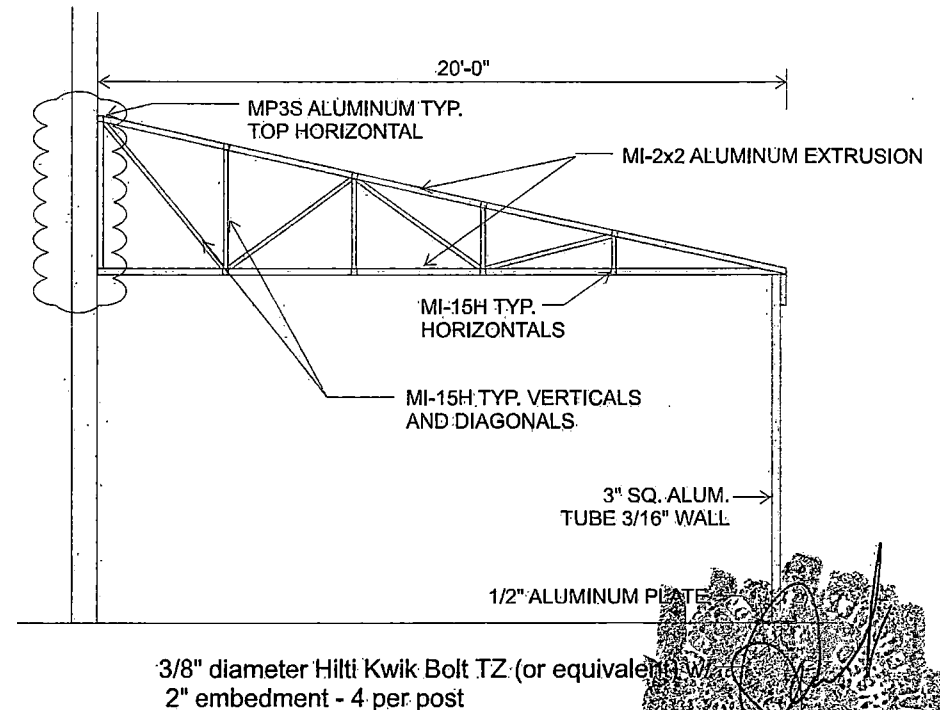
4



QS&L AWNINGS SCALE: 3/16" = 1'
 FABRIC: SATTLER - FIRE RESISTANT COATED
 PATTERN: SATTLER 315 420 GREEN/WHITE STRIPE
 (CONTACT SATTLER: RICHARD MORELLE 401.305.5303)
 FRAME: CLOSED ENDS
 WHITE POWDER COATED
 1 REQUIRED SOUTHWEST ELEVATION
**ANCHORS 6" INSET FROM ENDS
 SPACED 24" MAX ON CENTER**



TOP & BOTTOM RAIL MOUNTING DETAIL SCALE: 3" = 1'



NOTE: TRUSSES MAX 3' O.C.

ADVANCE SIGN GROUP
 "YOUR NATIONAL SIGN SOURCE"

5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

CONSULTANT: N. WASSERSTROM

DESIGNER: CRAIG REYNOLDS

CHECKED: REVIEW ONLY

☐ CLIENT APPROVED

SIGNATURE

DATE

"THIS IS AN ORIGINAL DESIGN, CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY ADVANCE SIGN GROUP. THIS PRINT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION, NOR IS IT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION. ADVANCE SIGN GROUP RESERVES THE RIGHT TO CHARGE FOR CREATIVE TIME INVOLVED IN THE PRODUCTION OF THIS DESIGN."

DATE: 4/5/12

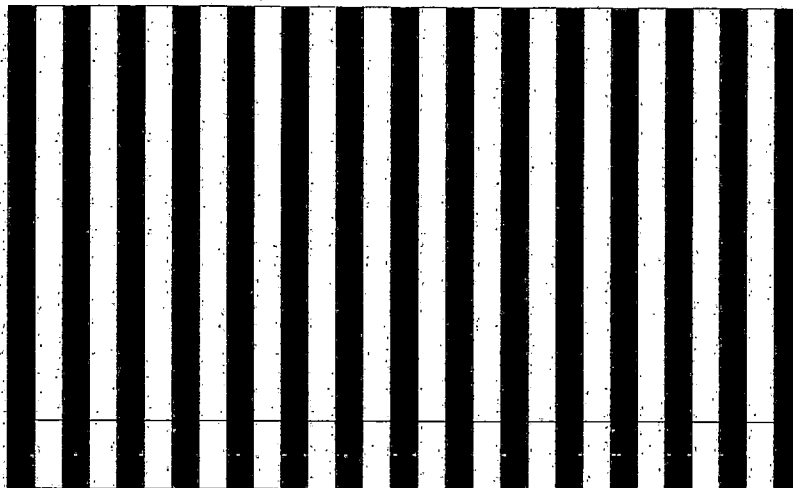
DRAWING # 32583

11.0

REVISION #

4

→ |← 3 3/4" +/-

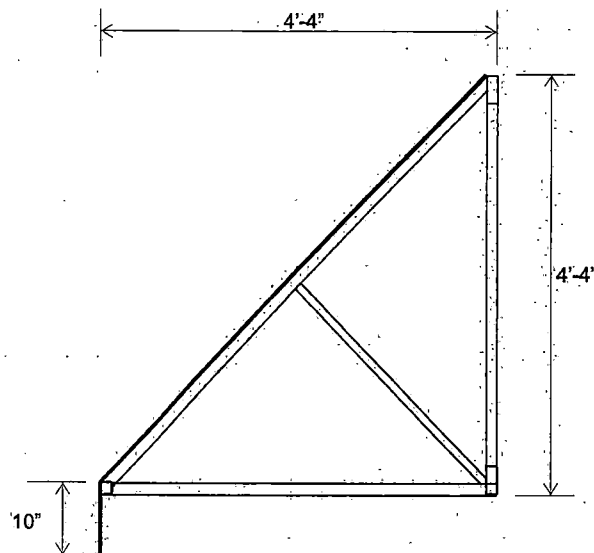


PER DIMENSIONS BELOW (V.I.F.)

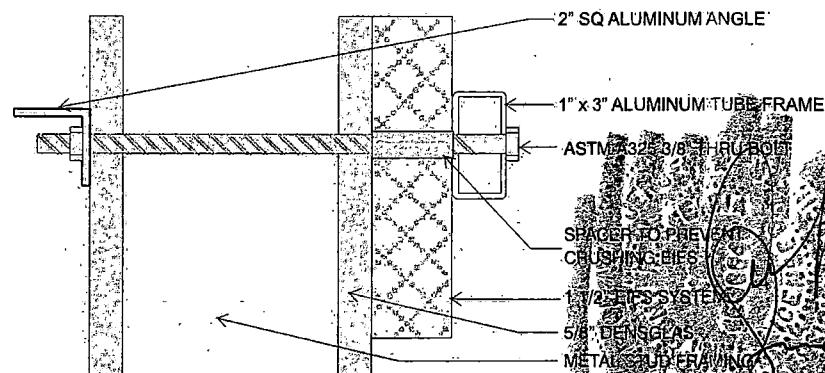
1ea @ 5'-6" LENGTH SOUTHEAST ELEVATION
1ea @ 20'-6" LENGTH SOUTHEAST ELEVATION
1ea @ 13'-0" LENGTH SOUTHWEST ELEVATION

QS&L AWNINGS SCALE: 1/2" = 1'
FABRIC: SATTLER - FIRE RESISTANT COATED
PATTERN: SATTLER 315 420 GREEN/WHITE STRIPE
(CONTACT SATTLER: RICHARD MORELLE 401.305.5303)
FRAME: CLOSED ENDS
WHITE POWDER COATED

NOTE: TRUSSES MAX 3' O.C.



**ANCHORS 6" INSET FROM ENDS
SPACED 24" MAX ON CENTER**



TOP & BOTTOM RAIL MOUNTING DETAIL SCALE: 3/4" = 1'



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 4/5/12

CONSULTANT: N. WASSERSTROM

DESIGNER: CRAIG REYNOLDS

CHECKED: REVIEW ONLY

☐ CLIENT APPROVED

SIGNATURE

DATE

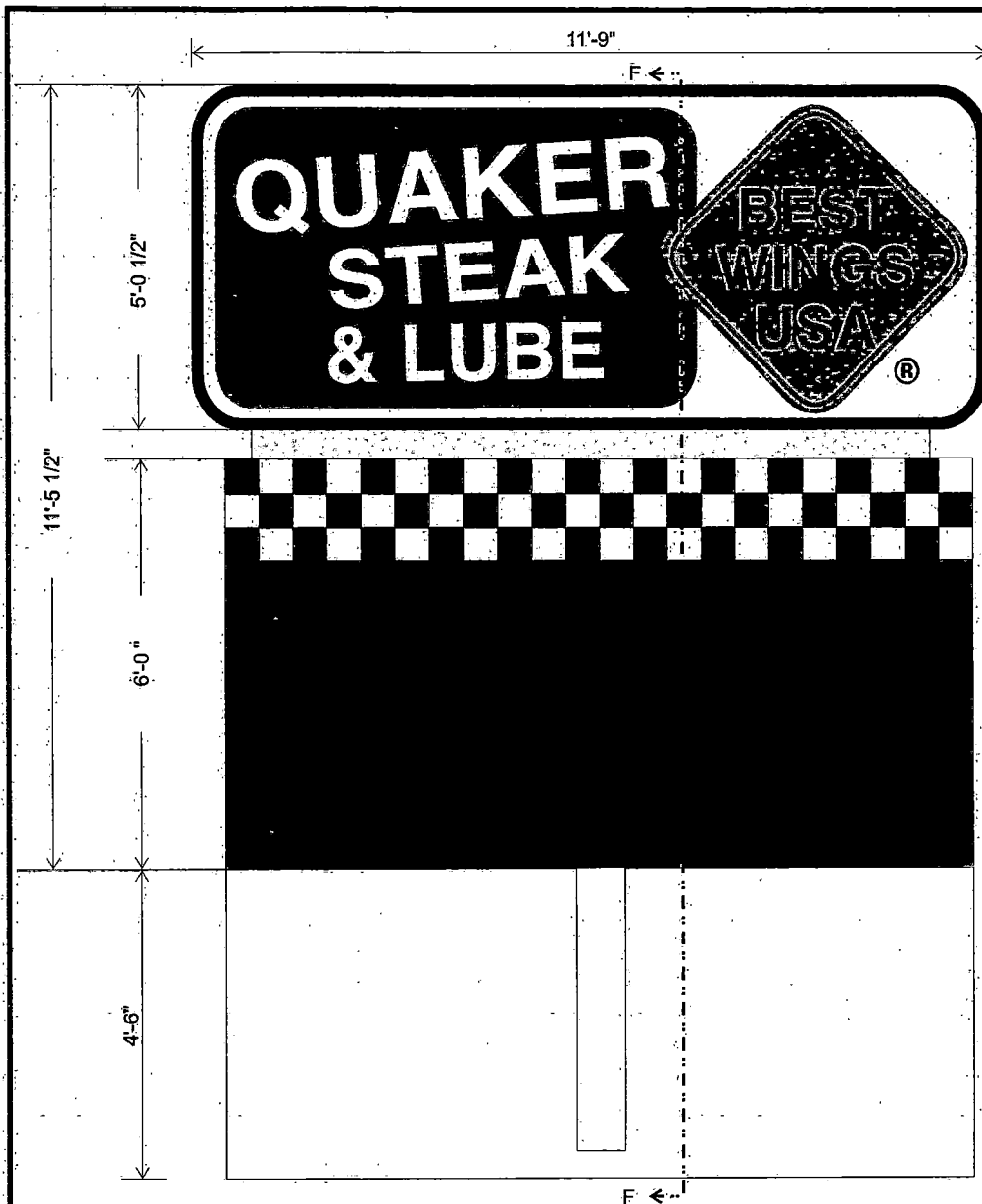
*THIS IS AN ORIGINAL DESIGN, CREATED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY ADVANCE SIGN GROUP. THIS PRINT IS NOT TO BE SHOWN TO ANYONE OUTSIDE OF YOUR ORGANIZATION, NOR IS IT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION. ADVANCE SIGN GROUP RESERVES THE RIGHT TO CHARGE FOR CREATIVE TIME INVOLVED IN THE PRODUCTION OF THIS DESIGN.

DRAWING #
32583

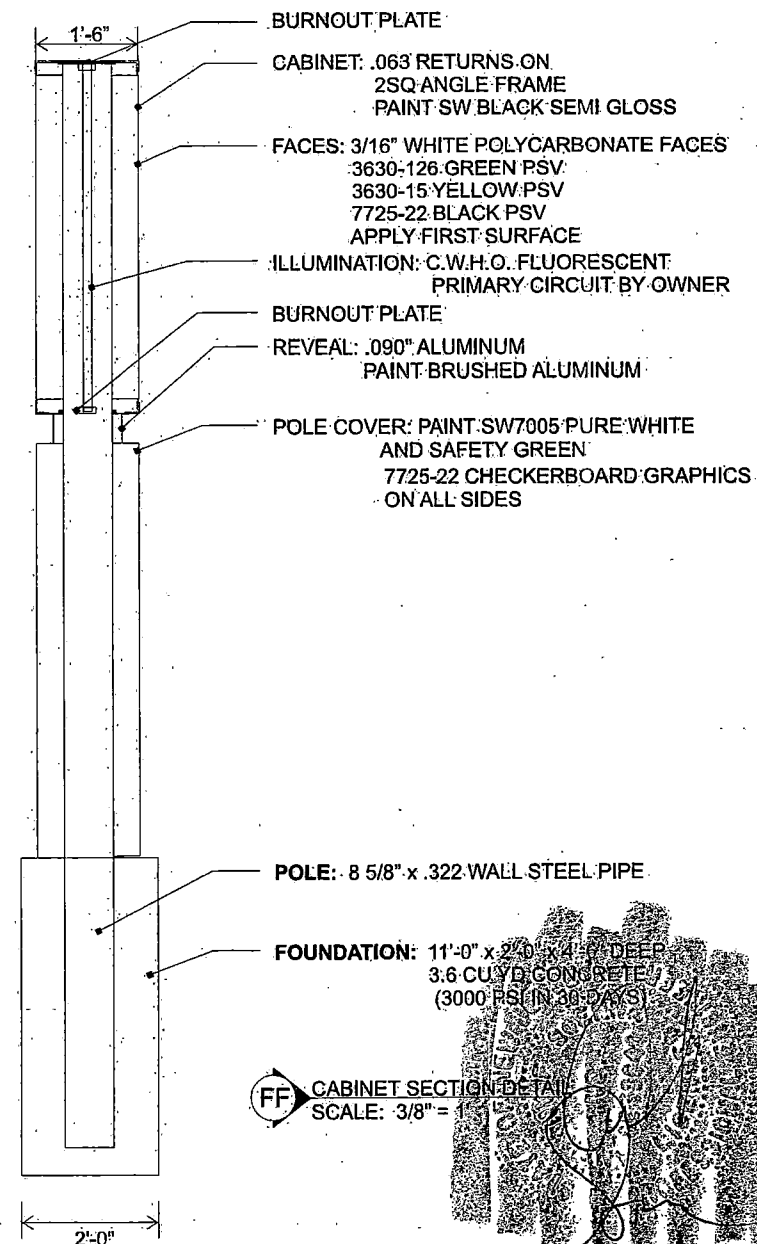
12.0

REVISION #

4



D/F ILLUMINATED MONUMENT SCALE: 3/8"=1'



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: QUAKER STEAK AND LUBE - BRICK, NJ

DATE: 4/5/12

DRAWING #
32638

CONSULTANT: N. WASSERSTROM

☐ CLIENT
APPROVED

SIGNATURE

DATE

14.0

DESIGNER: CRAIG REYNOLDS

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CHECKED: REVIEW ONLY

REVISION #

4



Brick Township
401 Chambers Bridge Rd.

Brick, NJ 08723
(732) 262-1027

Date Issued: 6-5-12
Application Number: ZA-12-00406
Application Date: 05/07/2012
Project Number: _____
Permit Number: 12-00470
Fee: \$50

Zoning Permit

Worksite **56 CHAMBERS BRIDGE RD.**
Location: **Brick Plaza - 1036 Cedar Bridge Road**
Brick Township, NJ 08723

Block: 671
Lot: 1.01
Qualifier: _____
Zone: B-3

Owner: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, MD 20852

Applicant: **Gordon Gross; Doherty Enterprises, Inc.**
Address: **7 Pearl Court**
Allendale, NJ 07401

Application Approved Date: 05/07/2012

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Restaurant -- "Quaker Steak & Lube"

Nonconforming Use is: _____

Work Description:

Rehabilitation, Sign - Wall signs and awnings as approved by the Planning Board, "Quaker Steak & Lube Best Wings USA Beer Wings Lube Burgers".

Amended major site plan approved by the Planning Board.
Case No. 2702-A-FSP-V-8/11.
Resolution No. R-6-12 adopted on January 11, 2012.
Maps signed on March 30, 2012.

ZA-12-00405 approved on May 7, 2012.

Upon review it was determined that:

- ☒ Use is permitted by Ordinance
☐ Use is permitted by Variance approved on: _____
☐ Valid Nonconforming Use is established by
☐ Zoning Board of Adjustment
☐ Zoning Officer

06/05/12 4:13PM 00165883144
XX02 SERV.002

W00470
ZPA
CHECK

\$50.00
\$500.00

Sean Kinney
Sean Kinney, Zoning Officer

Michael P. Fowler
Michael P. Fowler, Township Planner

05/07/2012

Date

5/7/12
Date



CONSTRUCTION PERMIT

6-5-12
12-1487
Date Issued
Control # C-12-001391
Permit #

IDENTIFICATION Block: 671 Lot: 1.01 Qualifier
Work Site Location: 1036 Cedar Bridge Rd. Brick Township, NJ Contractor: EZ Signs, LLC
Address: 2177 Bennett Road Philadelphia PA 191116
Owner in Fee: FEDERAL REALTY INVESTMENT TRUST
1626 EAST JEFFERSON ST ROCKVILLE MD
20852 Telephone: (215) 869-6724
Lic. No. or Bldrs. Reg. No.
Federal Employee No. 02-0566091

Is hereby granted permission to perform the following work:

- ☒ BUILDING ☐ PLUMBING ☐ LEAD HAZARD ABATEMENT
☐ ELECTRICAL ☐ FIRE PROTECTION ☐ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT (Subchapter 8 only) ☐ OTHER

DESCRIPTION OF WORK:

SIGN INSTALLATION Quaker Steak and Lube

Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$50,000

Construction Official

Date 6-1-12

U.C.C. F170
equiv (rev 8/03)

1 WHITE - INSPECTOR

2 CANARY - OFFICE

3 PINK - TAX ASSESSOR

4 GOLD - APPLICANT

PAYMENTS (Office Use Only)

Building	\$303
Electrical	\$0
Plumbing	\$0
Fire Protection	\$0
Elevator Devices	\$0
Other	\$0.00
DCA Training Fee	\$85
CO Fee	
Other	\$0
Total	\$388
Check No.	
Cash	\$0
Credit	\$0
Collected By	

150
438

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that the work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval granted.

☐ Required inspections for all subcodes for one- and two-family dwellings are as follows:

1. The bottom of footing trenches before placement of footings, except that in cases of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
2. Foundations and all walls up to grade level prior to back filling.
3. All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and /or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.
4. Installation of all finished materials, sealings of exterior joints, plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

☒ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

☒ A complete copy of released plans must be kept on the job site.

If you do not understand any of this information, please ask.

RECEIVING CLERK _____
DATE REC'D 5-7-12

ZONING PERMIT APPLICATION

PERMIT # 6-5-12
DATE ISSUED 12-00470

BLOCK: 468 LOT: 9 QUALIFIER: _____ SITE ADDRESS: 1036 Penn Bridge Rd

IDENTIFICATION:

1. NAME OF OWNER IN FEE: Lube Top LLC
COMPLETE ADDRESS: 7 Pearl Court
Allendale NJ 07401
PHONE # 201 818 4669 EMAIL: SSGross@lshertyinc.com

2. NAME OF APPLICANT: Gordon Gross / Lube Top LLC
APPLICANT ADDRESS: 7 Pearl Court Allendale NJ
PHONE # 201 818 4669 EMAIL: SSGross@lshertyinc.com

3. RESPONSIBLE PERSON FOR WORK: Same as above
PHONE# _____ FAX# _____

4. SIGNATURE OF APPLICANT: [Signature]

FOR OFFICE USE ONLY

FEE SUMMARY:

APPLICATION FEE: \$ 50.00
OTHER: \$ _____
TOTAL: \$ _____

REQUIRED BY APPLICANT

RESIDENTIAL: _____
COMMERCIAL: X
EXISTING USE: RESTAURANT
PROPOSED USE: RESTAURANT

BOARD APPROVAL: X PB _____ ZB _____
RESOLUTION #: R-6-12
APPROVAL DATE: 1-11-2012

PROJECT DESCRIPTION: (PLEASE CHECK APPLICABLE WORK & DESCRIBE)

*NEW BUILDING: _____ *ADDITION _____ *ALTERATION X *PORCH _____ *DECK _____

POOL: ABOVE GROUND _____ IN GROUND _____ FENCE: HEIGHT _____ TYPE _____

HEIGHT: _____ (*APPLICABLE)

OTHER SIGNS

DESCRIPTION: Wall signs and awnings.

ZONING REVIEW: 5/7/12 DATE REVIEWED: _____ DATE DENIED: _____ DATE APPROVED: 5/7/12 INTLS: SSG

(SEE BACK PAGE)

RECEIVED
MAY 7 2012
56/28

DATE REVIEWED: 5-7-12 DATE DENIED: — DATE APPROVED: 5-7-12 INTLS: 528

[illegible]

LAND USE

245 Attachment 5

Township of Brick

SCHEDULE OF AREA, YARD AND BUILDING REQUIREMENTS

Township of Brick
Ocean County, New Jersey

[Amended 6-26-1979 by Ord. No. 354-2B-79; 4-22-1980 by Ord. No. 354-2H-80; 10-14-1980 by Ord. No. 354-2N-80; 9-23-1980 by Ord. No. 354-1B-80; 8-25-83 by Ord. No. 354-2SS-83; 11-5-1984 by Ord. No. 354-2AAA-84; 11-5-1984 by Ord. No. 354-2CCC-84; 6-24-1986 by Ord. No. 354-2WWW-86; 9-13-1988 by Ord. No. 354-2TTTT-88; 9-27-1988 by Ord. No. 354-2XXX-88; 9-12-2000 by Ord. No. 354-2EE-00; 5-9-2000 by Ord. No. 354-2Z-00; 3-26-2002 by Ord. No. 354-2C-02; 11-26-2002 by Ord. No. 354-2L-02; 3-25-2003 by Ord. No. 354-2D-03; 6-13-2006 by Ord. No. 19-06]

Zone	Minimum Lot Size						Minimum Required Yard Depth						Maximum Lot Coverage by Building	Maximum Building Height				Minimum Floor/ Building Area (square feet) 2 stories/1 story	Maximum Allowable Impervious Coverage
	Interior Lots			Corner Lots			Principal Building				Accessory Building			Maximum Building Height					
	Area (square feet)	Width (feet)	Depth (feet)	Area (square feet)	Width (feet)	Depth (feet)	Front Yard (feet)	Side Yard, Each (feet)	Both Sides Combined (feet)	Rear Yard (feet)	Side Yard (feet)	Rear Yard ¹ (feet)		Stories	Eaves (feet)	Feet	Ridge (feet)		
R-R	40,000	150	150	40,000	150	150	50	25		50	25	25	25%	-	25			-	
RR-2	See § 245-90.																		
RR-3	See § 245-103.																		
R-20	20,000	100	125	25,000	100	125	40	15	-	40	10	10	25%	-	25	35	38.5	-	
R-15	15,000	100	115	17,250	100	115	35	12	-	35	10	10	25%	-	25	35	38.5	-	
R-10	10,000	90	100	10,500	100	100	30	6	20	20	5	5	30%	-	25	35	38.5	-	
R-7.5	7,500	75	90	9,000	75	90	25	6	15	15	5	5	30%	-	25	35	38.5	-	
R-5	5,000	50	75	6,000	50	75	20	5	12	15	5	5	35%	-	25	35	38.5	-	
O-P	15,000	100	150	15,000	100	150	50	10	-	50	20	50	35% ²	2	-	35	38.5	1,500	70%
B-1	10,000	100	90	12,500	100	125	30	10	-	20	10	20	30% ²	2	-	35	38.5	1,000	60%
B-2	20,000	125	125	20,000	125	125	50	10	-	50	10	50	30% ²	2	-	35	38.5	2,000	65%
B-3	2 acres	200	200	2 acres	200	200	75	30	-	50	20	50	25% ²	-	-	35	38.5	2,000	65%
B-4	5 acres	300	300	-	-	-	100	50(150')	-	100(150')	20	50	25%	3	-	35	38.5	30,000	70%
M-1	5 acres	300	300	5 acres	300	300	100	50	-	150	75	150	30% ²	-	-	35	38.5	5,000	65%
R-M	25 acres	350	200	-	-	-	50	50	-	30	30	30	20%	-	25	35	38.5	-	65%
O-P-T	40,000	150	150	40,000	150	150	50	20	-	50	20	50	25% ²	2	-	35	38.5	2,000	50%
H-S	See § 245-261.																		

NOTES:

- ¹ If adjacent to residential zone or use.
- ² The maximum lot coverage shall refer only to that percentage of an affected lot which is suitable for building.
- ³ For rear yard setback requirements for accessory buildings on waterfront property, see § 245-10D.

Resolution R-6-12
Application No. 2702-A-FSP-V-8/11

AMENDED FINAL MAJOR SITE PLAN
LUBE IT UP, LLC
Block 448, Lots 1-9,
Block 671, Lots 2, 4, 8, 11 & 12
B-3 Highway Development Zone
1036 Cedar Bridge Road
January 11, 2012

**A M E N D E D RESOLUTION OF APPROVAL
PLANNING BOARD, TOWNSHIP OF BRICK**

File
App
App AH
App Eng
PB AH
PB Eng
Zoning
Tax A
Eng
WHEREAS, an application has been made by Lube It Up, LLC, for approval of an amended final major site plan application for Block 448, Lots 1-9 and Block 671, Lots 2, 4, 8, 11 & 12, as set forth on the Tax Maps of the Township of Brick.

WHEREAS, the Resolution of Approval was adopted on December 14, 2011. The attorney for the applicant requested that minor changes be made to the Resolution. The board engineer and board attorney consented to amend the Resolution as follows:

WHEREAS, the Planning Board, after carefully considering the evidence presented by the applicant at a Special Meeting of the Planning Board held on November 30, 2011, and considering the reports of its professional staff, hereby makes the following findings of fact:

1. The property is owned by Federal Realty Investment Trust, 1626 East Jefferson, St., Rockville, MC 20852.
2. The applicant has requested approval in accordance with the Ordinances of the Township of Brick.
3. The site in question is located at 1036 Cedar Bridge Avenue, within the B-3 Highway Development Zone. The site is occupied by two existing multi-unit retail and restaurant uses, a movie theater, a Sport Authority, and three detached restaurants and a gas station.

4. The applicant is requesting approval of an Amended Final Major Site Plan from the Brick Township Land Use and Development Regulations for the purpose of expanding one of the detached restaurants, Chevy's Fresh Mex Restaurant. The building is 7,080 square feet and is located at the southeasterly corner of the site, with frontage on Cedar Bridge Road. The applicant is seeking approval to expand the building from 7,080 square feet to 8,148 square feet and develop the building as a themed restaurant, Quaker Steak & Lube. The applicant is also proposing both covered and uncovered outdoor eating areas, and a small building expansion at the easterly corner. The proposed modifications are immediately adjacent to the building and are specific to the relocation of handicapped parking spaces which requires curb and sidewalk reconstruction due to a change in the building entrance. No site changes, except for striping, are proposed to the surrounding parking area.

The following variances are requested:

Signs/advertising structure not permitted higher than the roofline; signs are proposed above the roofline.

Identification wall signs:	one permitted on façade; 14 proposed; 5 existing;
Identification projecting signs:	one permitted w/a maximum area of 4 sf per side; area of 144.8 sf proposed;
Identification ground sign:	Monument type permitted; pylon sign proposed;
Parking spaces:	Minimum width of 10 ft. required; width of 9 ft. proposed/existing;

One-way circulation aisle:	Minimum width of 18 ft. required; 16.5 ft. proposed/existing on east side of building;
Two-way circulation aisle:	Minimum width of 25 ft. required; 24+/- ft. proposed/existing on south side of building;
Sidewalks:	Minimum width of 6 ft required when parking spaces are adjacent; 5 ft. proposed at front of building;
Impervious Coverage:	65% permitted 75% existing;

5. The board engineer, Wayne R. McVicar, P.E., P.P., C.M.E., of Remington & Vernick, prepared report dated November 22, 2011, and submitted a revised report dated November 28, 2011. The Township Planner, Michael P. Fowler, AICP/PP, prepared report dated November 28, 2011. The Brick Bureau of Fire Safety prepared a report dated August 28, 2011. The Architectural Review Committee heard and approved the application on September 14, 2011 and provided a report to the Board dated September 16, 2011.

The Board hereby adopts the findings in the above-mentioned reports and incorporates the reports in this Resolution by reference.

The applicant was represented by Michael J. Vitiello, Esq., Red Bank, NJ. The applicant's architect is Pontia Architecture of Columbus, Ohio; the applicant's engineer is Robert P. Freud, P.E., of Insite Engineering, Wall, NJ.

The applicant presented the testimony of Gordon Gross, the Director of Construction for the applicant and Timothy Doherty of Doherty Enterprises, Inc. Doherty Enterprises, Inc., is the restaurant owner/management company that owns Lube It Up and other restaurant concepts, including over 45 Applebee's. Ms. Kathy Diamond, a brand designer for the Quaker Steak & Lube chain restaurants, also testified.

The applicant also presented the testimony of Robert P. Freud, P.E., whose testimony supported the applicant's contention that the proposed amended final site plan is in keeping with the area and neighborhood and that the granting of the application with variances would in no way be detrimental to the public good.

The Brick Township Planning Board concurs with these representations and so finds.

WHEREAS, the Planning Board has determined that the applicant should be granted the requested relief, with the exception of certain variances as outlined below, for the following reasons:

1. The granting of the application and **only certain of the requested variances** will not have a substantial detriment to the public good and will not substantially impair the intent and purpose of the Zone Plan, Master Plan, and Zoning Ordinances of the Township of Brick.

2. The positive criteria outweigh the negative, if any.

3. There were no objectors present at the hearing.

4. The safety and well being of the immediate area will not be adversely affected by the proposed amended Final Major Site plan and variances.

5. The application is in substantial compliance with the Zone Plan, and will not unduly impact upon the neighborhood scheme.

NOW, THEREFORE, BE IT RESOLVED, by the Brick Township Planning Board that the amended final site plan, and only *certain of the requested variances* be and are hereby approved subject to the following conditions:

1. The applicant must submit proof of payment of all currently due taxes to the Brick Township Planning Board.
2. The applicant must post all bonds and guaranties as required and recommended by this Board and the Township Board Engineer. Moreover, the applicant must post all required engineering inspection fees.
3. All representations and statements made by the applicant, as well as applicant's representatives and witnesses, shall be considered and deemed to be relied upon by the Board in rendering this decision and to be an expressed condition of this Board's actions in approving the subject application. Any misstatement or misrepresentation, whether by mistake or change in circumstance, shall be deemed a breach of this condition of approval and shall subject this application to further review of this Board's own motion.
4. In the event the Planning Board determines that it reasonably relied upon any misstatement or misrepresentation, then and in that event, any approvals previously given may be rescinded and any improvements at the time in place on the premises in question shall not be in compliance with the ordinances of the Township of Brick.
5. The applicant must comply with all conditions as contained in the Board Engineer's Report dated November 22, revised on November 28, 2011, and the Township Planner's Review also dated November 28, 2011, with the exception that no additional/new cooking exhaust system will be required for odor removal because, among other things, the applicant proposes to remove the natural wood kitchen grill.
6. No building permit shall be issued until the Board Secretary confirms that the Planning Board professional fees have been paid in full. In the event a building permit is issued and there are outstanding Planning Board professional fees, a stop work order will be filed against the applicant/contractor until all professional fees have been paid.
7. In the event there is an *existing* violation, the applicant shall have thirty (30) days from the date the Notice of Decision was published to correct the violation. Failure to correct the existing violation within the time proscribed will result in the issuance of a summons.
8. The applicant must comply with all conditions outlined in Schedule A attached hereto.
9. The applicant shall obtain any other local, state and other regulatory approvals as may be required.
10. The applicant shall comply with the requirements of the New Jersey Economic Stimulus Act of 2009, effective July 27, 2009, and the Non-Residential Development Fee Act of 2008 effective July 17, 2008, as amended and if applicable. The Applicant must submit a complete and accurate State of New Jersey Form N-RDF, together with an executed copy of this resolution of approval to the construction department as a condition of the issuance of certificate of occupancy even if an exemption to pay a non-residential development fee is being sought.
- 11. The following variances are DENIED:**
 - a. The applicant's request for 14 identification wall signs is denied. Only 12 identification wall signs will be permitted hereunder (see below).
 - b. The applicant's request to install a pylon sign in lieu of the required monument sign is **denied. A monument sign shall be provided.**

12. The pylon sign shall be replaced with a monument sign 11'9" tall by 11' 9" wide, placed at a setback of 10 feet from the right-of-way. A setback variance for that monument sign is hereby granted.

13. The applicant must revise the proposed façade signage as follows:

- Remove the large "The Lube" sign from the existing mural area of the wall;
- Remove the upper parapet "QSL" sign that is on the side of the building that faces the movie theater;
- Change the rectangular "Quaker Steak & Lube/Best Wings USA" that is on the side of the building that faces the movie theater to a slightly larger sign of the same type (increase size from 25 square feet to 34 square feet)

The following 12 façade signs are, therefore, specifically approved:

West Elevation

"Quaker Steak & Lube"; 78.8 SF, May be illuminated.

"Best Wings USA"; 37.34 SF, May be illuminated.

"Beer", "Wings", "Lube", & "Burgers"; 13.5 SF each; non-illuminated.

South Elevation

"Quaker Steak & Lube"; 34.38 SF, May be illuminated.

"Burgers"; 16 SF; non-illuminated.

East Elevation

"Best Wings USA"; 37.34 SF, May be illuminated.

"Beer" & "Wings"; 15 SF each; non-illuminated.

North Elevation

"Quaker Steak & Lube, Best Wings USA"; 34 SF, May be illuminated.

14. The use of neon in certain façade signs and in the projecting sign is specifically permitted.

15. Two bike racks shall be provided, one of which shall be dedicated for employees. The plans should be revised to depict the location of the required bike racks.

16. A stop bar & stop sign shall be provided at the westerly end of the drive isle on the south side of the building. A directional sign, advising motorists to make either a left or right turn, shall be placed facing motorist entering the site from Cedar Bridge Avenue.

17. A walking path shall be provided from the southerly most corner of the property to the parking lot, following the path of the existing pedestrian trail. The path shall consist of an approved surface which may include pavers or stepping stones.

18. A sight triangle shall be shown on the site plan where the drive aisles on the east and west sides of the building intersect the main drive aisle for the shopping center.

19. A note shall be added to the plan stating, "Applicant shall work with the township engineer to coordinate existing and proposed vegetation within the sight triangle areas at the drive aisles on the east and west sides of the building."

20. A note shall be added to the plan stating that, "With the exception of security lighting, all freestanding and building-mounted lights and signs shall be turned off one (1) hour after the close of business."

21. The applicant is required to change the spacing between the hairpin stripes to 12-inch spacing.

22. The applicant shall widen the base of the monument sign to be approximately as wide as the sign itself and modify the color and/or texture of the monument base in accordance with the direction and recommendations of the Township Planner.

NOW, THEREFORE, BE IT RESOLVED, the application, limited to the terms and conditions as set forth more fully in the preamble of this Resolution, be and hereby is approved.

BE IT FURTHER RESOLVED that the Planning Board secretary shall cause notification of this favorable Resolution to be published in an official newspaper of the Brick Township within ten (10) days of the adoption of this resolution.

Mr. Scott
MOVED BY: _____

Mr. Coakley
SECONDED BY: _____

Mr. Rappoccio, Mr. Coakley, Mr. Marra, Mr. Palmieri, Mr. Scott,
VOTING IN THE AFFIRMATIVE: _____
Mr. Beshears, Mr. DiMatteo

VOTING IN THE NEGATIVE: _____
Councilwoman Lydecker, Mr. Burkland, Mr. Catalano

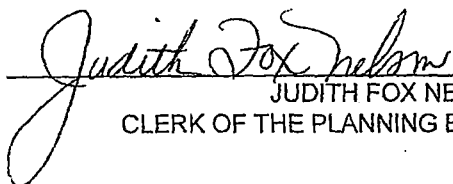
INELIGIBLE TO VOTE: _____

ABSTAINING: _____

ABSENT: _____

CERTIFICATION

I, **JUDITH FOX NELSON**, Clerk of the Planning Board of the Township of Brick, County of Ocean, State of New Jersey, do hereby certify that I am duly authorized to certify Resolutions. I certify that the foregoing **Amended** Resolution was adopted by the Planning Board of the Township of Brick at a meeting held on the 11th day of January , 2012.


JUDITH FOX NELSON,
CLERK OF THE PLANNING BOARD

ATTACHMENT "A"

BRICK TOWNSHIP PLANNING BOARD

STANDARD CONDITIONS FOR SITE PLAN APPROVAL

RESOLUTION R-6-12

PAGE 6

CASE NO.2702-A-FSP-V-8/11

1. Applicant shall obtain certification by the Local Soil Conservation District of a plan for soil erosion and sediment control in accordance with N.J.S.A. 4:24-39 et seq., commonly known as the "Soil Erosion and Sediment Control Act."
2. All materials, methods of construction and details shall be in conformance with the current "Engineering Specifications and Construction Details" of the Township of Brick, which are on file in the office of the Township Engineer.
3. Applicant shall obtain all approvals required by any Federal, State, County or Municipal agency having regulatory jurisdiction of this development. Upon receipt of such approval(s), the applicant shall supply a copy of the permit(s) to the Board. In the event that any other agency requires a change in the plans approved by this Board, the applicant must reapply to the Brick Township Planning Board for approval of that change.
4. Applicant shall submit this entire proposal for re-approval should there be any deviation from the terms and conditions of this Resolution or the documents submitted as part of this application, all of which are made a part hereof and shall be binding on the applicant.
5. Applicant shall provide a statement from the Brick Township Tax Collector that all taxes are paid in full as of the date of this Resolution and as of the date of the fulfillment of any condition(s) of this Resolution.
6. Prior to the issuance of a construction permit, the applicant shall furnish the Township Clerk with a cash bond and performance guarantee in an amount to be determined by the Township Engineer.

7. Applicant shall post an inspection fund with the Township Clerk in an amount to be determined by the Township Engineer.

8. No soil shall be removed from the site without the written approval of the Township Council.

9. The applicant shall comply with all provisions and pay all fees established under Article VI (Mandatory Development Fees) of Chapter 245 of the Code of the Township of Brick.

10. For all residential uses the subdivider or site plan applicant shall provide for a trash receptacle.

11. In order to insure uniformity of trash receptacles and compatibility with the automatic trash collection system, all trash can receptacles required herein shall be obtained from the Township of Brick.

12. Applicant shall provide proof of application for Title NJSA 39:5 A-1 to the Planning Board.



Brick Township
401 Chambers Bridge Rd.

Brick, NJ 08723
(732) 262-1027

Date Issued:

Application Number: ZA-12-00405-1

Application Date: 05/07/2012

Project Number: _____

Permit Number: _____

Fee: \$50

Zoning Permit

Worksite **56 CHAMBERS BRIDGE RD.**
Location: **Brick Plaza - 1036 Cedar Bridge Road**
Brick Township, NJ 08723

Block: 671

Lot: 1.01

Qualifier: _____

Zone: B-3

Owner: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, MD 20852

Applicant: **Gordon Gross; Doherty Enterprises, Inc.**
Address: **7 Pearl Court**
Allendale, NJ 07401

Application Approved Date: 05/07/2012

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Restaurant -- "Quaker Steak & Lube" (formerly "Chevy's Fresh Mex").

Nonconforming Use is: _____

Work Description:

Addition, Rehabilitation - Expansion of the restaurant building from 7,080 square feet to 8,148 square feet with a 12' x 10' addition, a covered patio, an uncovered patio, and 295 seats.

Amended major site plan approved by the Planning Board.

Case No. 2702-A-FSP-V-8/11.

Resolution No. R-6-12 adopted on January 11, 2012.

Maps signed on March 30, 2012.

An additional zoning permit is required for any sign and for any other additional work.

Upon review it was determined that:

- ☒ Use is permitted by Ordinance
- ☐ Use is permitted by Variance approved on: _____
- ☐ Valid Nonconforming Use is established by
 - ☐ Zoning Board of Adjustment
 - ☐ Zoning Officer

Sean Kinnevy, Zoning Officer

Copy

05/07/2012
Date

Michael P. Fowler, Township Planner

Date

Lat- 201-818-0807



Brick Township
401 Chambersbridge Rd
Brick, NJ 08723
(732) 262-1027

Subcode Official Review

Date: Thursday, May 10, 2012

To: 1626 EAST JEFFERSON ST ROCKVILLE, MD 20852 CC:

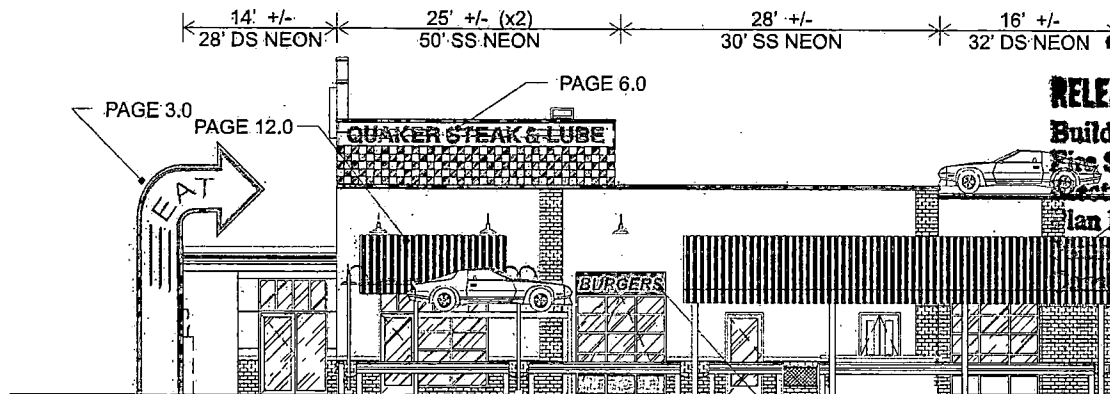
RE: ~~Building Subcode~~
Block: 671 Lot: 1.01 Qual:
~~1036 Cedar Bridge Rd~~
Permit Number: Control Number: C-12-001391
Last Submit Date: Thursday, May 10, 2012

Dear FEDERAL REALTY INVESTMENT TRUST,
Your request is hereby denied based upon the following infractions.

Plans must call out local geographic design criteria for both signs and canopies

Sincerely,

Michael Vecchio, Subcode Official



SOUTHWEST ELEVATION SCALE: 1/16" = 1'

16.00 SQ. FT. - YELLOW BURGERS PANEL SIGN
 34.38 SQ. FT. - QUAKER STEAK & LUBE LINEAR CHANNEL LETTERS
 14.00 SQ. FT. - RED NEON "EAT"

TOWNSHIP OF BRICK

RELEASED FOR PERMIT

Building Subcode

Fire Subcode

Electrical Subcode

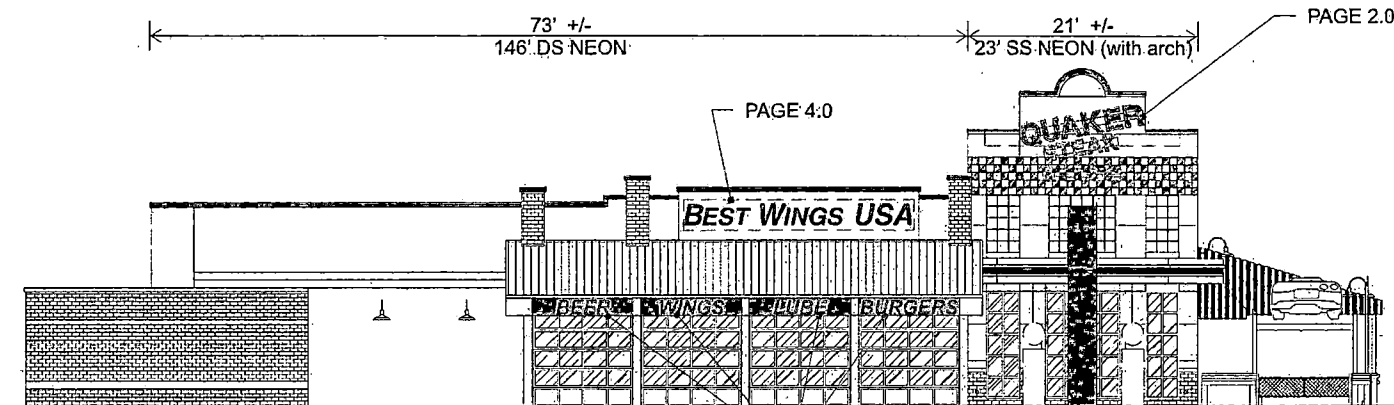
Plan Reviewer

Released

Permitting Official

MAY 30 2012

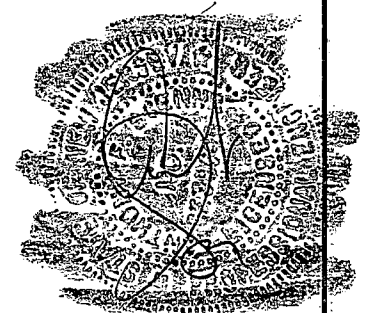
Office Set



NORTHWEST ELEVATION SCALE: 1/16" = 1'

77.80 SQ. FT. - QUAKER STEAK & LUBE STACKED CHANNEL LETTERS
 37.34 SQ. FT. - BEST WINGS USA PVC LETTERS
 13.50 SQ. FT. - YELLOW BEER PANEL SIGN
 13.50 SQ. FT. - YELLOW WINGS PANEL SIGN
 13.50 SQ. FT. - YELLOW LUBE PANEL SIGN
 13.50 SQ. FT. - YELLOW BURGERS PANEL SIGN

WIND LOAD: SIGNS & AWNINGS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: **QUAKER STEAK & LUBE** 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 5/18/12

CONSULTANT: N. WASSERSTROM

DESIGNER: JAMES BROOKS

CHECKED: REVIEW ONLY

☐ CLIENT APPROVED

SIGNATURE

DATE

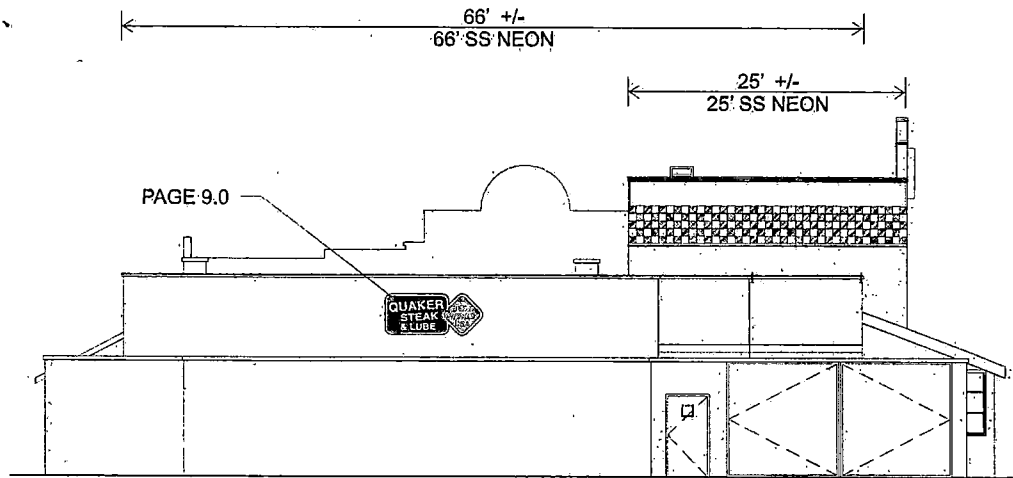
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DRAWING # 32583

PG.1

REVISION #

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NORTHEAST ELEVATION SCALE: 1/16" = 1'
32.66 SQ. FT. - QSL S/F WALL SIGN



SOUTHEAST ELEVATION SCALE: 1/16" = 1'
37.34 SQ. FT. - BEST WINGS USA PVC LETTERS
15.00 SQ. FT. - YELLOW BEER PANEL SIGN
15.00 SQ. FT. - YELLOW WINGS PANEL SIGN

WIND LOAD: SIGNS & AWNINGS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
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5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH. 614.429.2111 FX. 614.429.2150



CLIENT: **QUAKER STEAK & LUBE** 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 5/18/12

DRAWING #
32583

CONSULTANT: N. WASSERSTROM

☐ CLIENT APPROVED

SIGNATURE

DATE

PG.2

DESIGNER: CRAIG REYNOLDS

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1 SET NORTHWEST ELEVATION

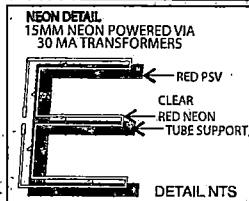
- 1) ALL SIGNS TO BE UL APPROVED & LABELED
- 2) INSTALLATION TO MEET ALL NEC & LOCAL CODES
- 3) INSTALL FLUSH TO STOREFRONT

WIND LOAD: SIGNS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF

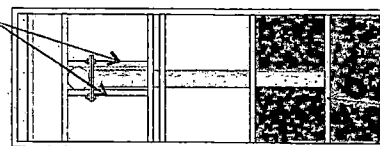
AA SCALE: 1 1/2" = 1'



4.



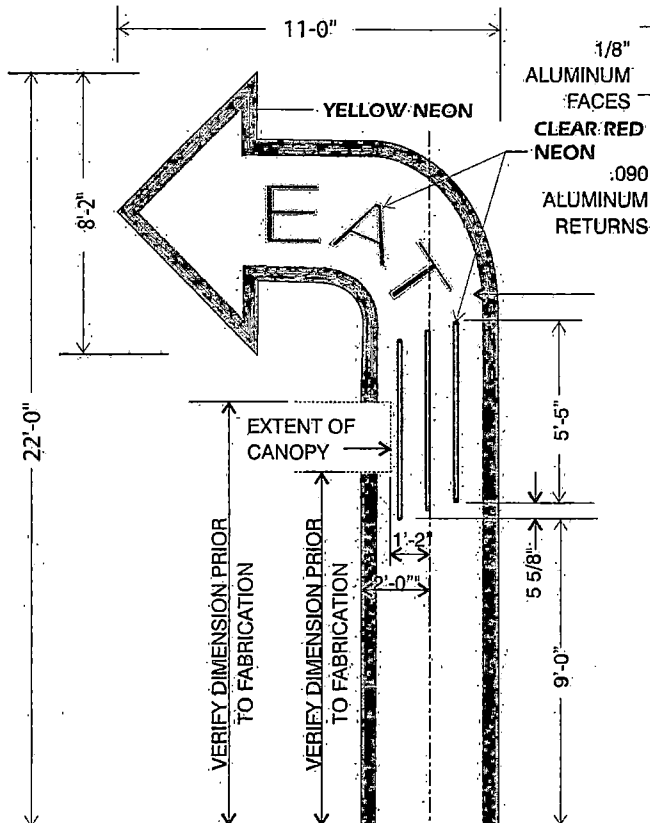
2" x 2" x 1/4"
STEEL ANGLE:
-BOLT TO ALUMINUM FRAME
-WELD TO STEEL PIPE



PLAN VIEW

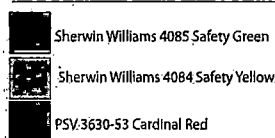
WIND LOAD: SIGNS ARE RATED FOR
32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF

2" x 2" x 1/4"
ALUMINUM ANGLE



LEFT SIDE VIEW

DOUBLE FACE NON-ILLUMINATED ARROW SCALE: 3/16" = 1'

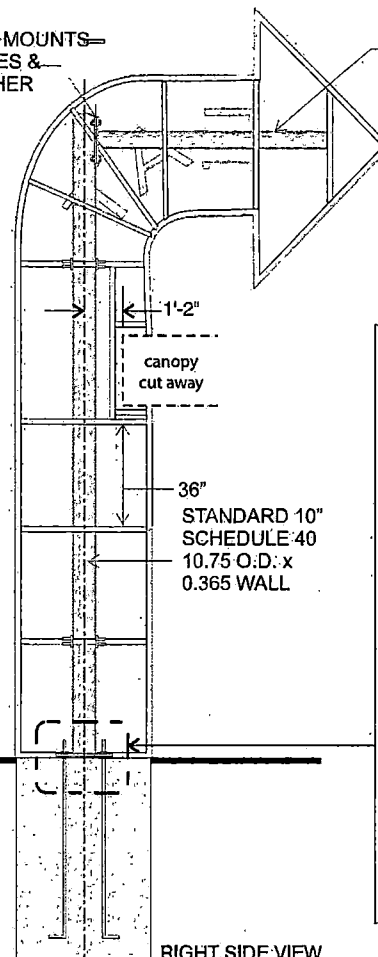


4' X 4' X 6" DP
(3.56 CU. YD CONCRETE)

1" x 5'-6" J-BOLTS

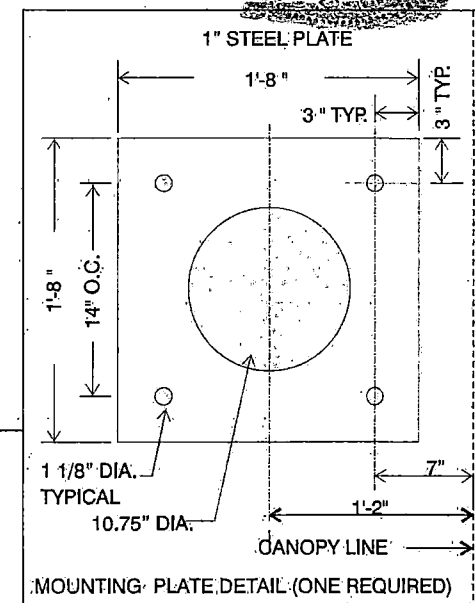
FRONT VIEW

12" X 12" X 1"
STEEL PLATE MOUNTS—
WELD TO PIPES &
BOLT TOGETHER
3/8" WELDS



RIGHT SIDE VIEW

STANDARD 4"
SCHEDULE 40
6.625 O.D. X 0.280 WALL



MOUNTING PLATE DETAIL (ONE REQUIRED)



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DATE: 5/18/12

DRAWING #
32583

CONSULTANT: N. WASSERSTROM

☐ CLIENT
APPROVED

SIGNATURE

DATE

3.0

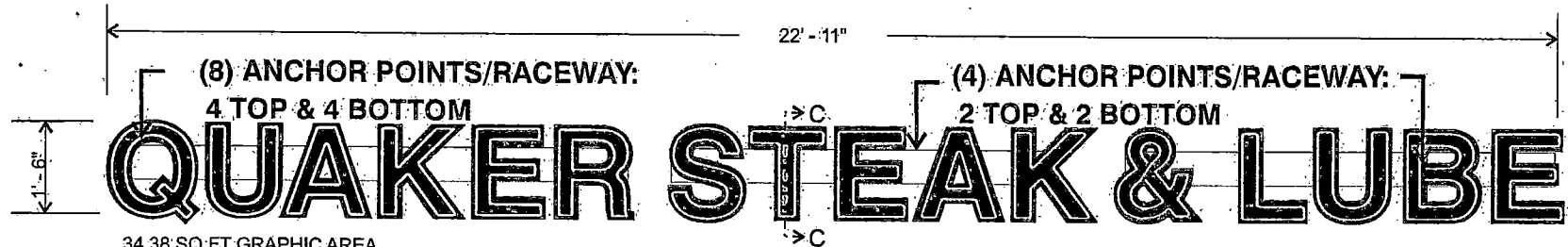
DESIGNER: CRAIG REYNOLDS

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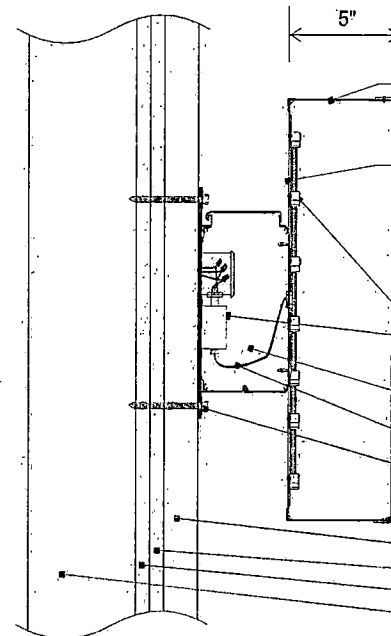
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4



34.38 SQ. FT. GRAPHIC AREA

LED CHANNEL LETTERS SCALE: 3/8" = 1'
 1 SET SOUTHWEST ELEVATION.
 GRAPHIC AREA 34.38 SQ. FT.



RETURNS: .040 x 5" DEEP ALUMINUM
 PAINT OUTSIDE SW SAFETY GREEN
 PAINT INSIDE WHITE

BACKS: .040 ALUMINUM
 PAINT OUTSIDE SW SAFETY GREEN
 PAINT INSIDE WHITE

FACES: 1/8" WHITE ACRYLIC W/
 7725-186 GREEN PSV FIRST SURFACE

ILLUMINATION: WHITE LED AS REQUIRED
POWER SUPPLY: 120v IN RACEWAY
 PRIMARY ELECTRIC BY OTHERS

RACEWAY: 4" x 8" EXTRUDED ALUMINUM
 PAINT SW 7005 PURE WHITE

WIRING AND FIXTURES: UL LISTED/APPROVED

MOUNTING HARDWARE: 1/4" x 3 1/2" LAGS W/
 PVC SPACERS TO PREVENT CRUSHING EIFS
TRIMCAP: 1" GREEN

1 1/2" EIFS SYSTEM

5/8" DENSGLAS

5/8" FRP PLYWOOD

METAL STUD FRAMING

AA SCALE: 1 1/2" = 1'

WIND LOAD: SIGNS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF

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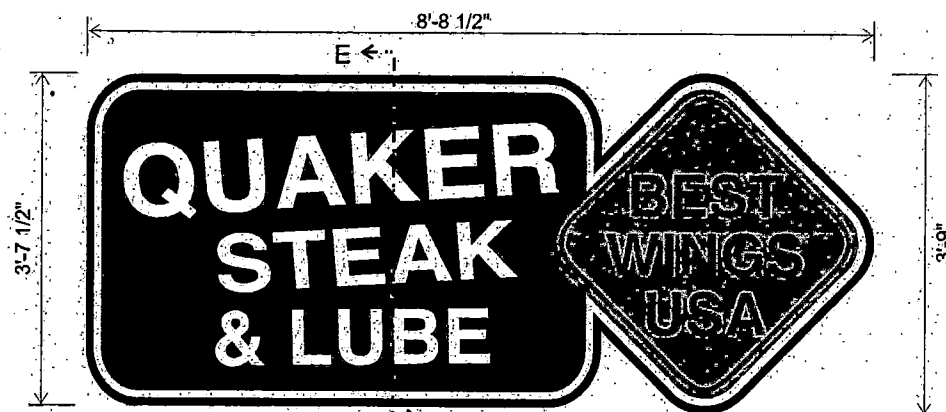
DESIGNER: CRAIG REYNOLDS

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(9) ANCHOR POINTS

S/F WALL SIGN SCALE: 1/2" = 1'
GRAPHIC AREA 32.66 SQ. FT.

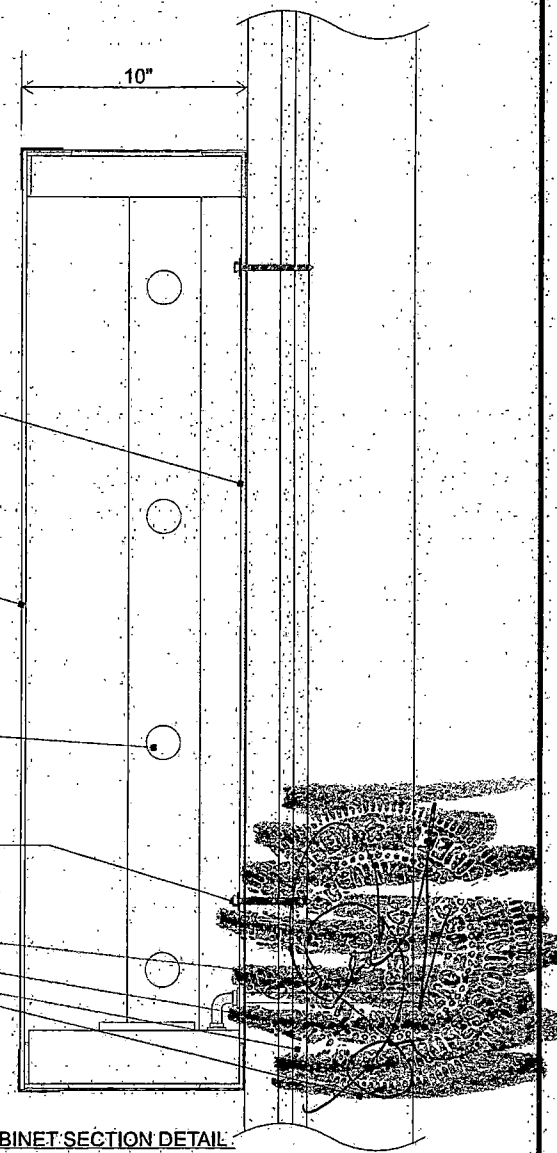
CABINET: CUSTOM FABRICATED
2SQ ALUMINUM ANGLE FRAME
.063 RETURNS
.063 BACK
.063 RETAINERS
PAINT SW BLACK SEMI-GLOSS

FACES: 3/16 WHITE POLYCARBONATE WITH
3630-126 GREEN
3630-15 YELLOW
7725-22 BLACK PSV
APPLIED 1ST SURFACE

ILLUMINATION: C.W.H.O. FLUORESCENT
PRIMARY CIRCUIT BY OWNER

MOUNTING HARDWARE: 1/4" x 3 1/2" LAGS W/
PVC SPACERS TO PREVENT CRUSHING EIFS

1 1/2" EIFS SYSTEM
5/8" DENSGLAS
5/8" FRP PLYWOOD
METAL STUD FRAMING



EE CABINET SECTION DETAIL
SCALE: 1 1/2" = 1'

WIND LOAD: SIGNS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
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SIGNATURE

DATE

9.0

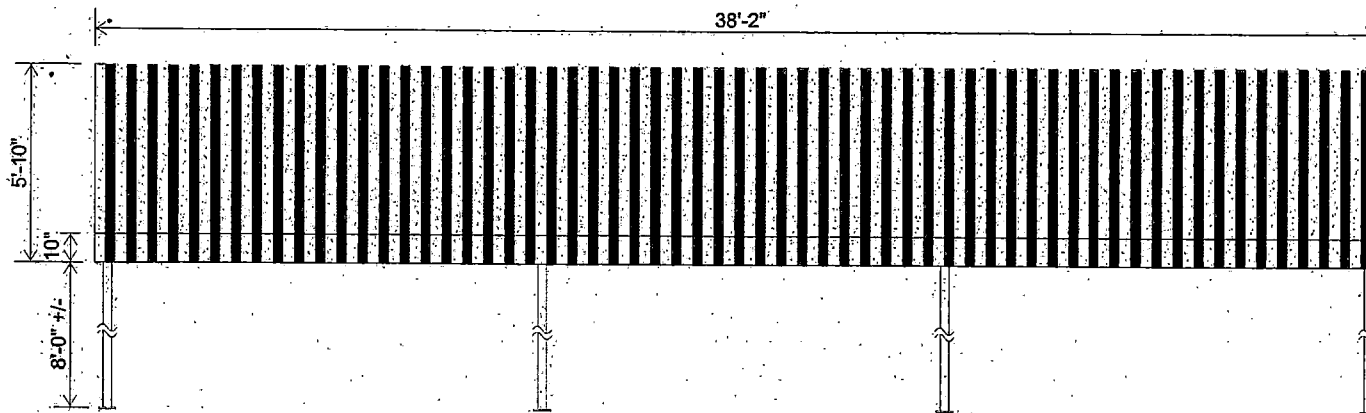
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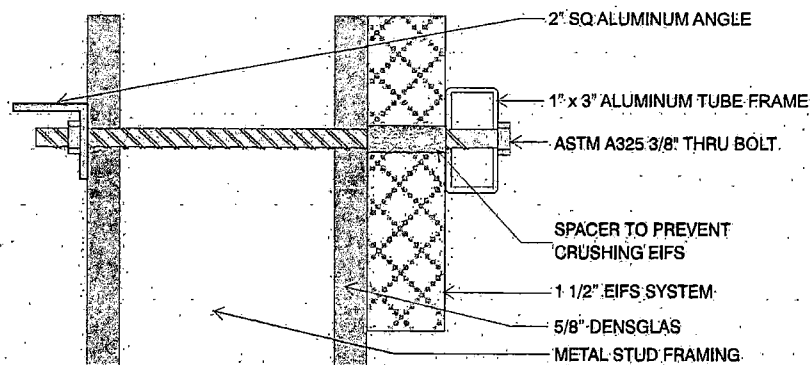
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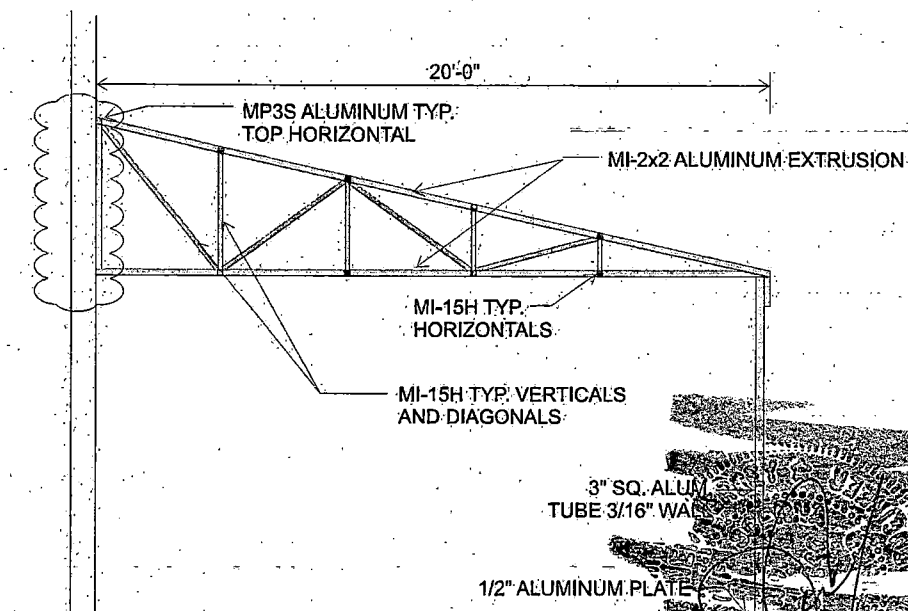


QS&L AWNINGS SCALE: 3/16" = 1'
 FABRIC: SATTLER - FIRE RESISTANT COATED
 PATTERN: SATTLER 315 420 GREEN/WHITE STRIPE
 (CONTACT SATTLER: RICHARD MORELLE 401.305.5303)
 FRAME: CLOSED ENDS
 WHITE POWDER COATED
 1 REQUIRED SOUTHWEST ELEVATION

**ANCHORS 6" INSET FROM ENDS
 SPACED 24" MAX ON CENTER**



TOP & BOTTOM RAIL MOUNTING DETAIL SCALE: 3" = 1'



3/8" diameter Hilti Kwik Bolt TZ (or equivalent)
 2" embedment - 4 per post
 NOTE: TRUSSES MAX 3' O.C.

WIND LOAD: AWNINGS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF

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CLIENT: **QUAKER STEAK & LUBE** 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 5/18/12

DRAWING #
32583

CONSULTANT: N. WASSERSTRÖM

☐ CLIENT
APPROVED:

SIGNATURE

DATE

DESIGNER: CRAIG REYNOLDS

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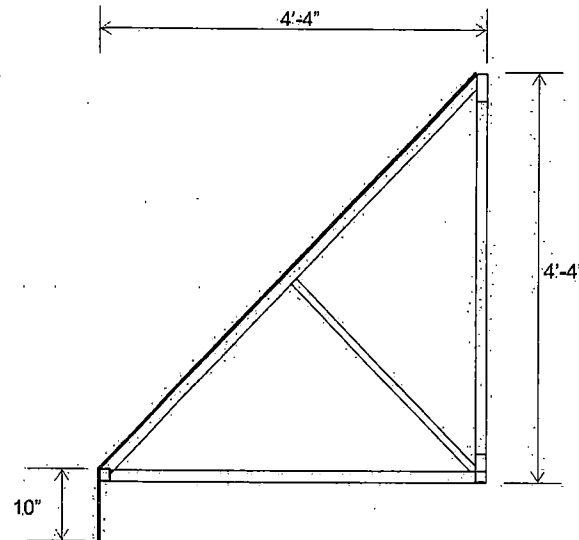
3 3/4" +/-



PER DIMENSIONS BELOW (V.I.F.)

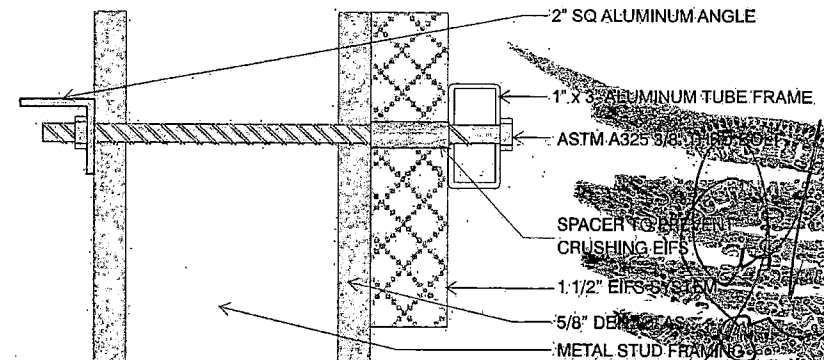
1ea @ 5'-6" LENGTH SOUTHEAST ELEVATION
1ea @ 20'-6" LENGTH SOUTHEAST ELEVATION
1ea @ 13'-0" LENGTH SOUTHWEST ELEVATION

QS&L AWNINGS SCALE: 1/2" = 1'
FABRIC: SATTLER - FIRE RESISTANT COATED
PATTERN: SATTLER 315 420 GREEN/WHITE STRIPE
(CONTACT SATTLER: RICHARD MORELLE 401.305.5303)
FRAME: CLOSED ENDS
WHITE POWDER COATED



WIND LOAD: AWNINGS ARE RATED FOR 32 PSF CORRESPONDING TO 115 MPH
SNOW LOAD: GROUND SNOW LOAD = 20 PSF
DESIGN SNOW LOAD = 14 PSF

ANCHORS 6" INSET FROM ENDS
SPACED 24" MAX ON CENTER



NOTE: TRUSSES MAX 3' O.C.

TOP & BOTTOM RAIL MOUNTING DETAIL SCALE: 3/4" = 1'



5150 WALCUTT COURT COLUMBUS, OHIO 43228 PH.614.429.2111 FX.614.429.2150



CLIENT: **QUAKER STEAK & LUBE** 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 5/18/12

DRAWING #
32583

CONSULTANT: N. WASSERSTROM

☐ CLIENT APPROVED

SIGNATURE

DATE

12.0

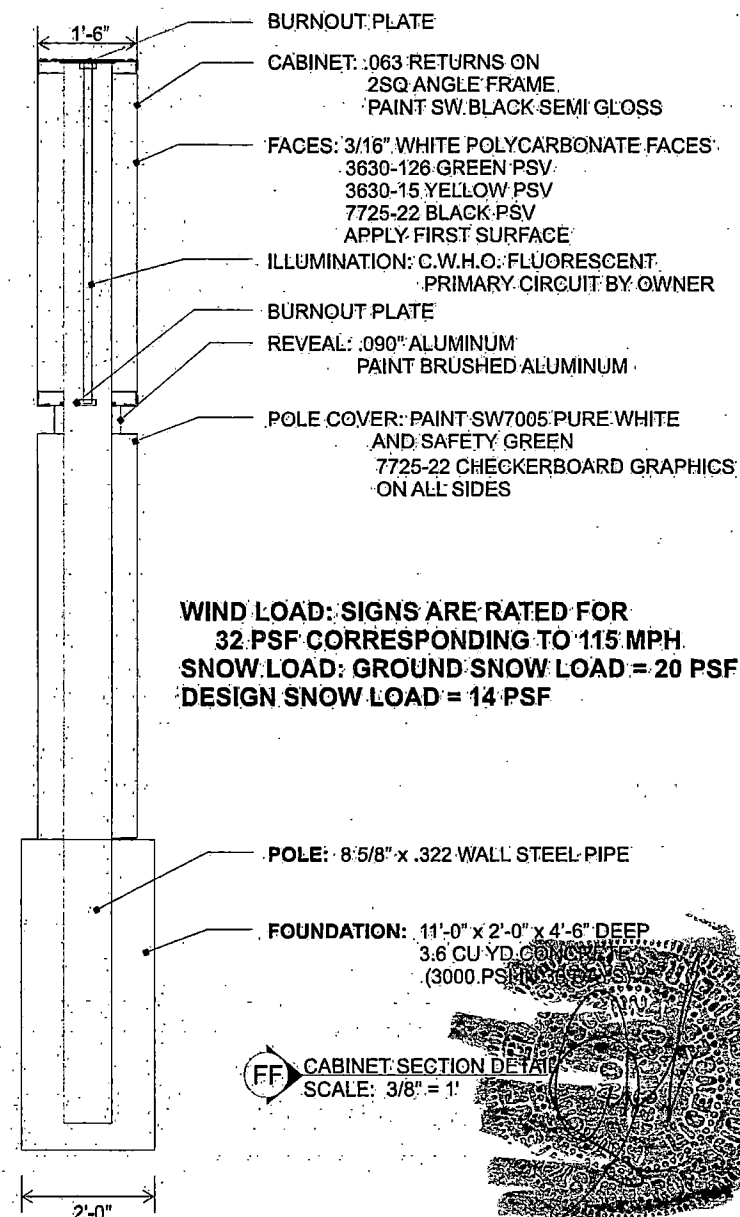
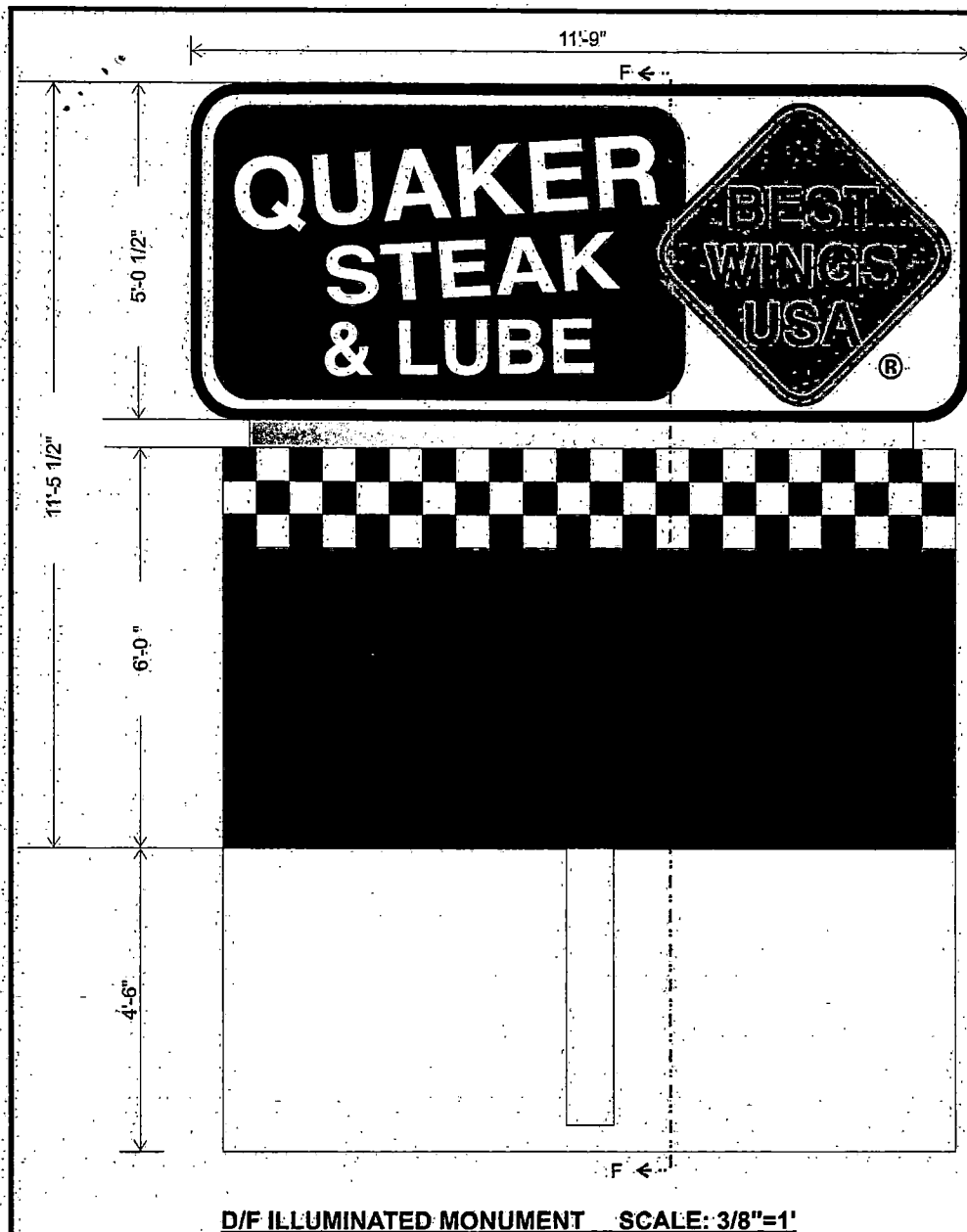
DESIGNER: CRAIG REYNOLDS

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QUAKER STEAK & LUBE 1036 CEDAR BRIDGE AVE. BRICK, NJ

DATE: 5/18/12

DRAWING #
32638

CONSULTANT: N. WASSERSTROM

☐ CLIENT
APPROVED

SIGNATURE

DATE

DESIGNER: CRAIG REYNOLDS

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