

Brick Township
401 Chambersbridge Rd
Brick, NJ 08723

Date Issued 9/20/2018
Control Number C-14-002835
Permit Number 14-2643
Permit Issue Date 8/11/2014
Certificate Number 14-2643

Certificate

Construction Code Division

(Certificate of Approval)

Identification

Work Site Location: 56 CHAMBERS BRIDGE RD. PETSMART Brick Township, NJ Block: 671 Lot: 1.01 Qual: _____
Owner in Fee: FEDERAL REALTY INVESTMENT TRUST
Owner Address: 1626 EAST JEFFERSON ST ROCKVILLE NJ 20852
Telephone: (484) 419-1221
Contractor: EZ Signs, LLC
Address: 2177 Bennett Road Philadelphia PA 19116
Telephone: (215) 869-6724 Fax: _____
License Number or Builders Registration Number: _____ Federal Emp. Number: 02-0566091

Home Warranty Number: _____

Type of Warranty Plan: ☐ State ☐ Private

Use Group: M Construction Classification: _____

Maximum Live Load: 0 Maximum Occupancy Load: 0

Description of Work/Use: SIGN INSTALLATION - - PET SMART

Certificate Comments:

☐ **Certificate of Occupancy**

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☒ **Certificate of Approval**

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ **Certificate of Continued Occupancy**

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ **Temporary Certificate of Compliance**

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:

Conditions to be met:

☐ **Certificate of Clearance - Lead Abatement 5:17**

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period (years); see file

☐ **Certificate of Clearance - Asbestos Abatement**

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
☐ Partial or limited time period (years); see file

☐ **Certificate of Compliance**

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ **Temporary Certificate of Occupancy**

The following conditions must be met no later than: or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:

Conditions to be met:

Construction Official

Fee: \$0.00

Check Number: _____

Collected By: _____

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

- A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

- B. ☐ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(f)1.ix:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

- C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☐ Building C.2. ☐ Fire Protection

I further certify that I will perform the following work:

C.3. ☐ Electrical C.4. ☐ Plumbing

- D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☒ Check if contractor.

Agent Name Natalya Atroshyna

Address 2177 Bennett rd.

Phillip, PA 19116

Telephone (215) 869-6724

Signature Natalya Atroshyna

III. ☐ LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



8/11/14
14-2643

JOB SUMMARY (Office Use Only).

PLAN REVIEW

☒ No Plans Required

☐ Partial - Underslab Utilities Approved.

Date: _____ Approved by: _____

☒ Electric Plans Approved

Date: 7/23/14 Approved by: 

Joint Plan Review Required:

☐ Bldg. ☐ Plumb. ☐ Fire. ☐ Ele

SUBCODE APPROVAL for PERMIT

Date: 7/23/14

Approved by: [Signature]

SUBCODE APPROVAL for CERTIFICATION

~~[] CO [] CCO [] CA~~

Date: 9/27/11
Approved by: [Signature]

INSPECTIONS

Dates (Month/Day)

Type: ~~Failure~~ ~~Failure~~ ~~Approval~~ Initial

Rough _____

Barrier-Free _____

Trench _____

Temp. Serv. _____

Constr. Serv. _____

TCO

Other _____

Service 102-111 111 111

Final 10 17 9 14 18

Barrier-Free _____

Temp. Cut-in-Card Date Issued _____

Final Cut-in-Card-Date Issued _____

Annual Pool Inspection _____

~~Date of Grounding and Bonding~~

Certification _____

To reorder call: ALLEGRA
Marketing • Print • Mail
(609)-390-1400

Administrative Surcharge \$

Minimum Fee \$

State Permit Surcharge Fee 9

TOTAL FFF \$



BUILDING SUBCODE TECHNICAL SECTION



Date Received
Control #

Date Issued
Permit #

8/11/14

14-2643

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 671 Lot 1.01 Qualification Code _____

Work Site Location 2 Brick Plaza Brick NJ

56 Chambers Bridge Rd.

Owner in Fee: Federal Realty

Tel. (484) 419-1221 e-mail _____

Address 50 E. Wynnewood rd. Suite 200. Wynnewood PA 19080

Contractor: EZ Signs LLC Tel. (215) 869-6724

Address 2177 Bennett rd. Philadelphia, PA 19116 e-mail permits@ezsignsinstall.com

Contractor License No. or Builder Registration No. _____ Exp. Date _____

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. 02-0566091 FAX: (_____) _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)
☐ No Plans Required			Type: _____	Failure _____ Approval _____
☒ All	<u>08/05/14</u>	<u>KRM</u>	Footings	Failure _____ Approval _____
☐ Footings/Foundations			Footings Bonding	Failure _____ Approval _____
☐ Structural/Framework			Foundation	Failure _____ Approval _____
☐ Exterior			Slab	Failure _____ Approval _____
☐ Interior			Frame	Failure _____ Approval _____
Joint Plan Review Required:			Truss Sys./Bracing	Failure _____ Approval _____
☐ Elec. ☐ Plumb. ☐ Fire ☐ Elevator			Barrier-Free	Failure _____ Approval _____
SUBCODE APPROVAL for PERMIT			Insulation	Failure _____ Approval _____
Date: <u>08/05/14</u>			Finishes -Base Layer	Failure _____ Approval _____
Approved by: <u>KRM</u>			Finishes -Final	Failure _____ Approval _____
SUBCODE APPROVAL for CERTIFICATE			Energy	Failure _____ Approval _____
☐ CO ☐ CCO ☒ CA			Mechanical	Failure _____ Approval _____
Date: <u>10/02/14</u>			TCO	Failure _____ Approval _____
Approved by: <u>KRM</u>			Other	Failure _____ Approval _____
			Final	Failure _____ Approval _____
			Barrier-Free	Failure _____ Approval _____

B. BUILDING CHARACTERISTICS

Use Group Present _____ Proposed _____

No. of Stories _____

Height of Structure _____ ft.

Area — Largest Floor _____ sq. ft.

New Bldg. Area/All Floors _____ sq. ft.

Volume of New Structure _____ cu. ft.

Max. Live Load _____

Max. Occupancy Load _____

Constr. Class Present _____ Proposed _____

If Industrialized Building:

State Approved _____ HUD _____

Est. Cost of Bldg. Work:

1. New Bldg. \$ _____

2. Rehabilitation \$ _____

3. Total (1+ 2) \$ 1,300

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Sign here: Natalya A Proshyna

Print name here: Natalya A Proshyna

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Installing one (1) illuminated wall sign "Banfield"

29" x 8' - 5 5/16"

COMMERCIAL

TYPE OF WORK:

- ☐ New Building
- ☐ Addition
- ☐ Rehabilitation
- ☐ Roofing
- ☐ Siding
- ☐ Fence _____ Height (exceeds 6')
- ☒ Sign 20.9 Sq. Ft.
- ☐ Pool
- ☐ Retaining Wall _____ Sq. Ft.
- ☐ Asbestos Abatement Subchapter 8
- ☐ Lead Haz. Abatement NJAC 5:17
- ☐ Radon Remediation
- ☐ Other _____
- ☐ Demolition

FEE (Office Use Only)

\$ _____

Administrative Surcharge \$ _____

Minimum Fee \$ _____

State Permit Surcharge Fee \$ _____

TOTAL FEE \$ _____

1 White = Inspector Copy
3 Pink = Office Copy

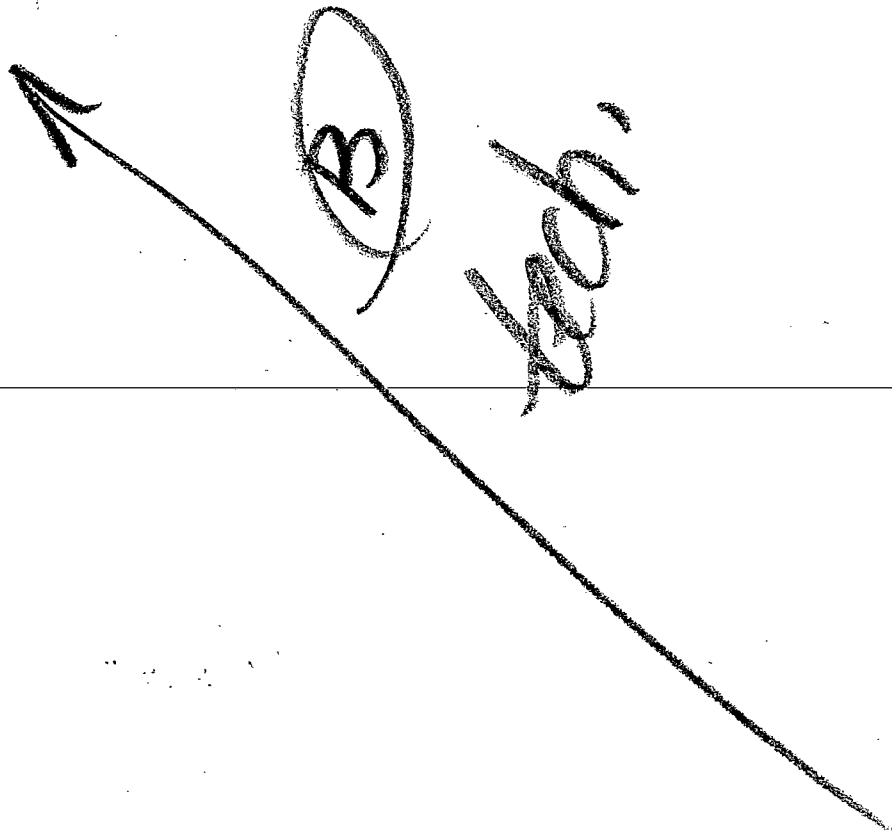
2 Canary = Office Copy
4 Gold = Applicant Copy

U.C.C. F110
(rev. 11/09)

10-2-14 ✓

- ① Walls not Const as Plans (wood fire treated)
- ② Update Reg d

10-2-14





CONSTRUCTION PERMIT

Date Issued _____
Control # C-14-002835
Permit # _____

IDENTIFICATION Block: 671 Lot: 1.01 Qualifier _____
Work Site Location: 56 CHAMBERS BRIDGE RD. PETSMART Brick Contractor EZ Signs, LLC
Township, NJ Address 2177 Bennett Road Philadelphia PA 19116
Owner in Fee FEDERAL REALTY INVESTMENT TRUST
1626 EAST JEFFERSON ST ROCKVILLE NJ Telephone: (215) 869-6724
20852 Lic. No. or Bldrs. Reg. No. _____
Telephone: (484) 419-1221 Federal Employee No. 02-0566091

Is hereby granted permission to perform the following work:

- ☒ BUILDING ☐ PLUMBING ☐ LEAD HAZARD ABATEMENT
☒ ELECTRICAL ☐ FIRE PROTECTION ☐ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT (Subchapter 8 only) ☐ OTHER

DESCRIPTION OF WORK:

SIGN INSTALLATION - PET SMART

Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$1800

Daniel Newman Jr
Construction Official

Date _____

U.C.C. F170
equiv (rev 1/04)

1 WHITE - INSPECTOR

2 CANARY - OFFICE

3 PINK - TAX ASSESSOR

4 GOLD - APPLICANT

PAYMENTS (Office Use Only)

Building	\$75
Electrical	\$40
Plumbing	\$0
Fire Protection	\$0
Elevator Devices	\$0
Other	\$0.00
DCA Training Fee	\$3
CO Fee	
Other	\$0
Total	\$118
Check No.	
Cash	\$0
Credit	\$0
Collected By	

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that the work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval granted.

☒ Required inspections for all subcodes for one- and two-family dwellings are as follows:

1. The bottom of footing trenches before placement of footings, except that in cases of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
2. Foundations and all walls up to grade level prior to back filling.
3. All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and /or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.
4. Installation of all finished materials, sealings of exterior joints, plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

☒ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

☐ A complete copy of released plans must be kept on the job site.

If you do not understand any of this information, please ask.

RECEIVING CLERK _____
DATE REC'D _____

ZONING PERMIT APPLICATION

PERMIT # 2P-14-00823
DATE ISSUED 8/11/14

BLOCK: 671 LOT: 1.01 QUALIFIER: _____ SITE ADDRESS: 2 Brick Plaza, Brick 175
56 Chambers Bridge Rd

IDENTIFICATION:

1. NAME OF OWNER IN FEE: Federal Realty
COMPLETE ADDRESS: 50 E. Wynnwood rd. Suite 200
Wynnwood, PA 19069
PHONE # (484) 419-1221 EMAIL: _____
2. NAME OF APPLICANT: Natalya Ateoshyn
APPLICANT ADDRESS: 2177 Bennett rd.
Phillpa, PA 19116
PHONE # (215) 869-6724 EMAIL permits@signsinstall.com
3. RESPONSIBLE PERSON FOR WORK: Igor Bykov
PHONE # (267) 688-1175 FAX# _____
4. SIGNATURE OF APPLICANT: Natalya

FOR OFFICE USE ONLY

FEE SUMMARY:

APPLICATION FEE: \$ _____
OTHER: \$ _____
TOTAL: \$ _____

REQUIRED BY APPLICANT

RESIDENTIAL: -
COMMERCIAL: ✓
EXISTING USE: PitSmart
PROPOSED USE: PitSmart

BOARD APPROVAL: _____ PB _____ ZB _____
RESOLUTION#: _____
APPROVAL DATE: _____

PROJECT DESCRIPTION: (PLEASE CHECK APPLICABLE WORK & DESCRIBE)

*NEW BUILDING: _____ *ADDITION _____ *ALTERATION _____ *PORCH _____ *DECK _____

POOL: ABOVE GROUND _____ IN GROUND _____ FENCE: HEIGHT _____ TYPE _____ MATERIAL _____

HEIGHT: 7'9" (*IF APPLICABLE)

OTHER _____

DESCRIPTION: Sign

ZONING REVIEW:

DATE REVIEWED: _____

DATE DENIED: _____

DATE APPROVED: _____

INTLS: _____

(SEE BACK PAGE)

OFFICE USE ONLY

RECEIVED

JUL 17 2014

5520

ZONING REVIEW:

ZONING

DATE REVIEWED: 7/17/14 DATE DENIED: — DATE APPROVED: 7/17/14 INTLS: 5528

[illegible]

LAND USE

245 Attachment 5

Township of Brick

SCHEDULE OF AREA, YARD AND BUILDING REQUIREMENTS

Township of Brick
Ocean County, New Jersey

[Amended 6-26-1979 by Ord. No. 354-2B-79; 4-22-1980 by Ord. No. 354-2H-80; 10-14-1980 by Ord. No. 354-2N-80; 9-23-1980 by Ord. No. 354-1B-80; 8-25-83 by Ord. No. 354-2SS-83; 11-5-1984 by Ord. No. 354-2-AAA-84; 11-5-1984 by Ord. No. 354-2CC-84; 6-24-1986 by Ord. No. 354-2VWW-86; 9-13-1988 by Ord. No. 354-2TTT-88; 9-27-1988 by Ord. No. 354-2KCKX-88; 9-12-2000 by Ord. No. 354-2EE-00; 5-9-2000 by Ord. No. 354-2Z-00; 3-26-2002 by Ord. No. 354-2C-02; 11-26-2002 by Ord. No. 354-2L-02; 3-25-2003 by Ord. No. 354-2D-03; 6-13-2006 by Ord. No. 19-06]

Zone	Minimum Lot Size				Minimum Required Yard Depth								Maximum Lot Coverage by Building	Maximum Building Height				Minimum Floor/ Building Area (square feet)	Maximum Allowable Impervious Coverage
					Principal Building				Accessory Building										
	Interior Lots		Corner Lots																
	Area (square feet)	Width (feet)	Depth (feet)	Area (square feet)	Width (feet)	Depth (feet)	Front Yard (feet)	Side Yard, Each (feet)	Both Sides Combined (feet)	Rear Yard (feet)	Side Yard (feet)	Rear Yard (feet)		Stories	Eaves (feet)	Ridge (feet)			
R-R	40,000	150	150	40,000	150	150	50	25		50	25	25	25%	-	25		-		
RR-2	See § 245-90.																		
RR-3	See § 245-103.																		
R-20	20,000	100	125	25,000	100	125	40	15	-	40	10	10	25%	-	25	35	-		
R-15	13,000	100	115	17,250	100	115	35	12	-	35	10	10	25%	-	25	35	-		
R-10	10,000	90	100	10,500	100	100	30	6	20	20	5	5	30%	-	25	35	-		
R-7.5	7,500	75	90	9,000	75	90	25	6	15	15	5	5	30%	-	25	35	-		
R-5	5,000	50	75	6,000	50	75	20	5	12	15	5	5	35%	-	25	35	-		
O-P	15,000	100	150	15,000	100	150	50	10	-	50	20	50	35% ²	2	-	35	38.5		
B-1	10,000	100	90	12,500	100	125	30	10	-	20	10	20	30% ²	2	-	35	38.5		
B-2	20,000	125	125	20,000	125	125	50	10	-	50	10	50	30% ²	2	-	35	38.5		
B-3	2 acres	200	200	2 acres	200	200	75	30	-	50	20	50	25% ²	-	-	35	38.5		
B-4	5 acres	300	300	-	-	-	100	50(150)	-	100(150)	20	50	25%	3	-	35	38.5		
M-1	5 acres	300	300	5 acres	300	300	100	50	-	150	75	150	30% ²	-	-	35	38.5		
R-M	25 acres	350	200	-	-	-	50	50	-	30	30	30	20%	-	25	35	38.5		
O-P-T	40,000	150	150	40,000	150	150	50	20	-	50	20	50	25% ²	2	-	35	38.5		
H-S	See § 245-261.																		

See § 245-90.

See § 245-103.

NOTES:

1. If adjacent to residential zone or use.
2. The maximum lot coverage shall refer only to that percentage of an affected lot which is suitable for building.
3. For rear yard setback requirements for accessory buildings on waterfront property, see § 245-10D.



Brick Township
401 Chambers Bridge Rd.

Brick, NJ 08723
(732) 262-1027

Date Issued:

Application Number: 8/11/14
ZA-14-00824

Application Date: 07/17/2014

Project Number:

Permit Number: 2P-14-00823

Fee: \$50

Zoning Permit

Worksite **56 CHAMBERS BRIDGE RD.**
Location: **Brick Township, NJ**

Block: 671

Lot: 1.01

Qualifier:

Zone: B-3

Owner: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, NJ 20852

Applicant: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, NJ 20852

Application Approved Date: 07/17/2014

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Retail Store

Nonconforming Use is: _____

Work Description:

Sign - Installing a 8'x 29" 20.4 Sq.Ft. facade sign "Banfield Pet Hospital". The sign cannot exceed 15% of the facade.

Additional Zoning permit required for any other work done on property.

Upon review it was determined that the Zoning Permit:

- ☒ Permitted by Ordinance
☐ Permitted by Variance approved on: _____
☐ Valid Nonconforming Use is established by
☐ Zoning Board of Adjustment

ing Officer

Assistant Zoning Officer

Township Planner

07/17/2014

Date

7/17/14
Date

BRICK
TOWNSHIP
DEAN COUNTY NJ

11/14 4:17PM
550W4753 #X04
SERV.006

1823

\$50.00

11/14 4:17PM
550W4753 #X04
SERV.006

THANK YOU!



Brick Township
401 Chambers Bridge Rd.

Brick, NJ 08723
(732) 262-1027

Date Issued:

Application Number: ZA-14-00824

Application Date: 07/17/2014

Project Number:

Permit Number:

Fee:

\$50

2P-14-00823

Zoning Permit

Worksite **56 CHAMBERS BRIDGE RD.**
Location: **Brick Township, NJ**

Block: **671**

Lot: **1.01**

Qualifier:

Zone: **B-3**

Owner: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, NJ 20852

Applicant: **FEDERAL REALTY INVESTMENT TRUST**
Address: **1626 EAST JEFFERSON ST**
ROCKVILLE, NJ 20852

Application Approved Date: 07/17/2014

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Retail Store

Nonconforming Use is: _____

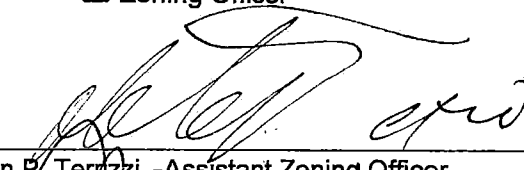
Work Description:

Sign - Installing a 8'x 29" 20.4 Sq.Ft. facade sign "Banfield Pet Hospital". The sign cannot exceed 15% of the facade.

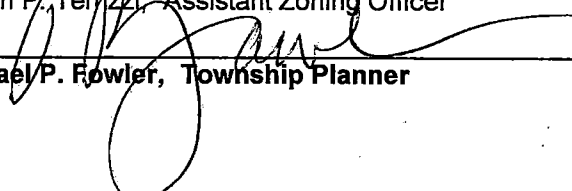
Additional Zoning permit required for any other work done on property.

Upon review it was determined that the Zoning Permit:

- ☒ Permitted by Ordinance
- ☐ Permitted by Variance approved on: _____
- ☐ Valid Nonconforming Use is established by
 - ☐ Zoning Board of Adjustment
 - ☐ Zoning Officer



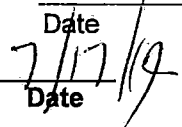
Darren P. Terrizzi, Assistant Zoning Officer



Michael P. Fowler, Township Planner

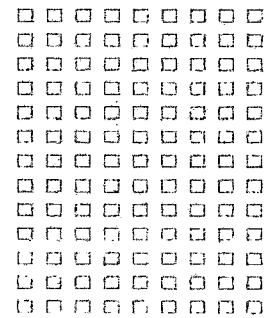
07/17/2014

Date


Date



FOUNDATIONS OF OPPORTUNITY



50 E. Wynnewood Rd. Ste 200
Wynnewood, PA 19096-2013
PH: 610-896-5870
FX: 610-896-5876

June 24, 2014

Kieffer & Co, Inc
Christopher Wrobel
585 Bond Street
Lincolnshire, IL 60069

Subject – Banfield #1963 – Brick, NJ – Drawings B65968

Dear Christopher:

The signage shop drawing, prepared by Kieffer & Co, for a Banfield Pet Hospital sign to be installed on the Petsmart storefront in Brick Plaza, NJ, is “Approved as Noted” “Process for Construction”.

1. Landlord is approving this design and color scheme
2. The Tenant must obtain a Signage Permit from the local municipality and send a copy of the Signage Permit to my attention before installing any signage.
3. The Tenant must send me a copy of the Sign Contractor’s Certificate of Insurance for review and approval before installing any signage..
4. All Tenant signage must be installed pursuant to the Shopping Center Sign Criteria and according to the terms of the Lease Agreement.
5. All costs related to the installation of the signage are the Tenant’s responsibility.
6. Tenant or Tenant's sign company must provide the LL with a copy of the signage permit once obtained
7. Tenant or Tenant's sign vendor must notify property management 48 hours prior to installation - Property Management can be reached at 215-852-6405
8. Sign must be installed when the center is closed for business
9. All signs must be UL rated and have a UL label
10. When installing the sign, proper safety measures must be taken to protect members of the public, the tenants and the people installing the signage.
11. The signage contractor must clean up all screws, materials, and debris before leaving the property.
12. The Tenant and the Sign Contractor will be responsible for any damage to the building, sidewalk, pavement, landscaped areas and any other property belonging to the Landlord or other Tenants.
13. As the Sign manufacturer, you are responsible for distributing this signage review letter to all affected parties including, but not limited to Tenant and your site signage installer.

The Landlord reserves the right to remove any storefront signage at the tenant’s expense if it is installed contrary to these conditions. Please be aware that the Landlord’s approval of the Tenant’s drawings shall in no way be construed as to modify the terms of the lease or the configuration of the demised premises. The Tenant’s construction and signage plans are subject to all local jurisdiction review and approvals.

Should you require additional information, please do not hesitate to contact me.

Sincerely,

Jane Miller

Jane Miller
Senior Project Manager - Tenant Services
50 E Wynnewood Rd - Suite 200
Wynnewood, PA 19096
Office: 484-419-1221
Mobile: 240-478-9791
jfmiller@federalrealty.com

ENGINEERING PERMIT APPLICATION

RECEIVING CLERK: _____

PERMIT #: _____

BLOCK: 671 LOT: 1.01 ADDRESS: 56 Chambers Bridge Rd.**IDENTIFICATION:**

1. WORK SITE ADDRESS: 2 Brick Plaza
2. NAME OF OWNER IN FEE: Federal Realty
ADDRESS: 50 E. Wynnwood Rd. ^{suite 200} PHONE #: ()
Wynnwood, PA 19169 FAX #: ()
3. PRINCIPAL CONTRACTOR: EZ Signs LLC
ADDRESS: 2177 Bennett Rd. PHONE #: (215) 869-6724
Philla, PA 19116 FAX #: ()
4. ARCHITECT OR ENGINEER: _____
ADDRESS: _____ PHONE: # ()
5. RESPONSIBLE PERSON FOR WORK: Igor Bykov
ADDRESS: 2177 Bennett Rd. Philla, PA 19116
PHONE #: 267 688-1175 FAX #: () E-MAIL: _____

PROJECT DESCRIPTION: ☐ GRADING/CLEARING ☐ ROAD OPENING
☐ SOIL REMOVAL/FILL ☐ RETAINING WALL ☐ POOL
☐ BULKHEAD/DOCK ☐ DWELLING ☐ TREE REMOVAL _____
☐ OTHER _____
LENGTH: _____ WIDTH: _____ HEIGHT: _____

FEE SUMMARY:

APPLICATION FEE: \$ _____
REVIEW FEE: \$ _____
INSPECTION FEE: \$ _____
OTHER: \$ _____
BOND(S): \$ _____
TOTAL: \$ _____

SPECIAL CONDITIONS:

OCEAN COUNTY SOILS: _____
DRAINAGE EASEMENTS: _____
UTILITY EASEMENTS: _____
CONSERVATION EASEMENTS: _____
FEMA REQUIREMENTS: _____
D.E.P. PERMITS: _____
BOARD APPROVAL: ☐ PB ☐ ZB

APPLICATION NUMBER: _____

APPROVED DATE: _____

ENGINEERING REVIEW:

DATE RECEIVED: _____ DATE REJECTED: _____ DATE APPROVED: _____ INITIALS: _____

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY
401 CHAMBERS BRIDGE ROAD, BRICK, N.J. 08723

John G. Ducey, Mayor

Township Council:
Susan Lydecker - President
Jim Fozman - Vice President
Heather deJong
Bob Moore
Paul Mummolo
Marianna Pontoriero
Andrea Zapcic



Department of Land Use and Community
Development

Division of Land Use & Planning

732-262-1027

Fax: 732-262-2941

www.twp.brick.nj.us

Date: 06/30/14

ENGINEERING PLOT PLAN EXEMPT FORM (ONLY IF NOT IN A FLOOD ZONE)

Block: 671 Lot: 1.01

Property Address: 2 Brick Plaza 56 Chambers Bridge rd.

I, Natalya of _____
(name) (address)

request to be exempt from the plot plan requirement for an addition, fence, shed, deck,
pool, retaining wall, etc. as outlined in the Township Code, Chapter 245, Section 245-29.

Natalya
Applicant's Signature

The following shall be submitted with this request:

1. Submit surveys locating existing dwelling and proposed addition. Dimensions of the addition should be included.
2. Proof that the property is not located in a Flood Hazard Area.

Note: Prior to approval a site inspection by the Engineering Department will be performed to verify that the proposed addition will not create a drainage problem.

FOR OFFICE USE ONLY

Approved on: _____ Signed: _____

Rejected on: _____ Signed: _____

Comments: