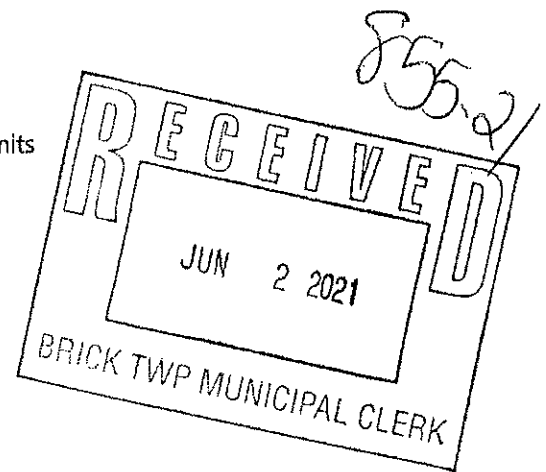


From: Lynnette Iannarone
Sent: Saturday, May 29, 2021 9:38 PM
To: Jessica Larney
Subject: FW: OPRA request - Property records/permits

Importance: High



From: Resident
Sent: Saturday, May 29, 2021 9:38:00 PM (UTC-05:00) Eastern Time (US & Canada)
To: Lynnette Iannarone
Subject: OPRA request - Property records/permits

Dear Brick Township,

This is a request for public records made under OPRA and the common law right of access. I am not required to fill out an official form. Please acknowledge receipt of this message.

Records requested:

Property Information:

56 Chambers Bridge Road (Block 671, Lot 1.01)

Please send the following records:

All current & older property record cards (all years).
Open & closed building/construction permits (January 2020-Present).
Certificates of occupancy (January 2020-Present).
Site plans or surveys (January 2020-Present).
Variances (January 2020-Present).

Yours sincerely,

Resident

Please use deliver records electronically via email to the below UNIQUE address for all replies to this request:
opra+request-23537-4f050998@requests.opramachine.com

Is clerk@twp.brick.nj.us the wrong address for OPRA requests to Brick Township? If so, please contact us using this form:
https://opramachine.com/change_request/new?body=brick_township

Disclaimer: This message and any reply that you make will be published on the internet. Our privacy and copyright policies:
<https://opramachine.com/help/officers>

1507 BLOCK 671 LOT 1.01

QUAL. UPDATED ON 032221

-----OWNER INFORMATION-----

FEDERAL REALTY INVESTMENT TRUST %
909 ROSE AVE SUITE 200
NORTH BETHESDA MD 20852

DED AMT #OWN 01
BANK# MORT# SS#

-----PROPERTY INFORMATION-----

PROP LOC: 56 CHAMBERS BRIDGE RD.
PROPERTY CLASS 4A ACCOUNT# 00412618
BLDG DESC 8-1SCB
LAND/ACRE 45.53 AC / 45.53
ADDITIONL LOTS

BRICK PLAZA

ZONE B3 MAP 38.2 USER#1 S20 #2 S21
BULT 0000 UNITS 01 BCLASS 10
VCS C1 SFLA 00000

-----SALES INFORMATION-----

DATE BOOK PAGE PRICE PCD NU 4TYPE
CUR: 083011 14972 24 1 Z 25 733
-1: 051811 1
-2: 021601 28000000

-----TENANT REBATE-----

BASE YR TAXES FLAG
20 1498001.75 N

-----EXEMPT PROPERTY DATA-----

EPL CD STAT.
FACILITY
INIT FILE FUR FILE
ASMT CODE

---VALUES---

LAND 26668500
IMPR 37294000

-----TAXES-----

EXM1 20 TOTAL 1498001.75
EXM2 21 HALF1 749000.88
EXM3 21 TOTAL .00
EXM4 22 HALF1 .00

NET 63962500 SPTAX CDS: F01

OLDID: 671 1

NEXT ACCESS: BLK LOT QUAL
EN=CHANGE F1=NO ACTION F3=ASSMT HISTORY F5=RECORD CARD F7=MORE

1507 BLOCK 671

LOT 1.01

QUAL.

56 CHAMBERS BRIDGE RD.

		ASSESSMENT	HISTORY	DISPLAY
YEAR	CLASS	LAND VAL	IMPR VAL	NET VALUE
2021	4A	26,668,500	37,294,000	63,962,500
2020	4A	26,668,500	37,294,000	63,962,500
2019	4A	26,668,500	37,128,000	63,796,500
2018	4A	26,668,500	38,024,100	64,692,600

OWNERSHIP HISTORY DISPLAY

		-----	DEED	-----	-- SALES --			
		DATE	BOOK	PAGE	PRICE	CD	ASSMNT	CLS
CUR:	FEDERAL REALTY INVESTMENT TRUS	083011	14972	00024		1 25	63962500	4A
-1:								
-2:								
-3:								
-4:								
-5:								

EN=RETURN F2=CHANGE SALE HIST

671	1.01	01 OF 01	VCS= C1	56 CHAMBERS BRIDGE RD.
---FRONT FOOT METHOD---		-----UNIT RATE METHOD-----		--ADJUSTMENTS--
LN	FRNT	AVER	DEP	UNIT
NO	FOOT	DPTH	FAC	RATE
1.				
2.				
3.				
4.				
5.				
6.				

PROP CLASS= 4A UTILITIES=
 LAND ZONE=
 NEIGHBORHD= TYPICAL
 ROAD= PAVED
 CURBING= NONE
 SIDEWALK= NONE
 VIEW= TYPICAL

COMMENTS: 12'ID CHG: 671/8 -CONSOLIDATED: 468/1-9,
 10.01,10.02,10.03 & 671 4,8,11,12 DEED 14972/24;
 12AA-AUTOZONE 6935 SQ FT;

TOTAL VALUE 28450000
 OTHER VALUE
 NET VALUE 28450000

INFO BY=
 INSPECTED
 MEAS. BY
 LIST BY
 PRICE BY
 RVIEW BY
 CALL1 BY
 CALL2 BY

Tco - 1-30-12

Brick Plaza
671/1.01

95'

AutoZONE

#6935

1 Rollup Door

73'

671/1.01

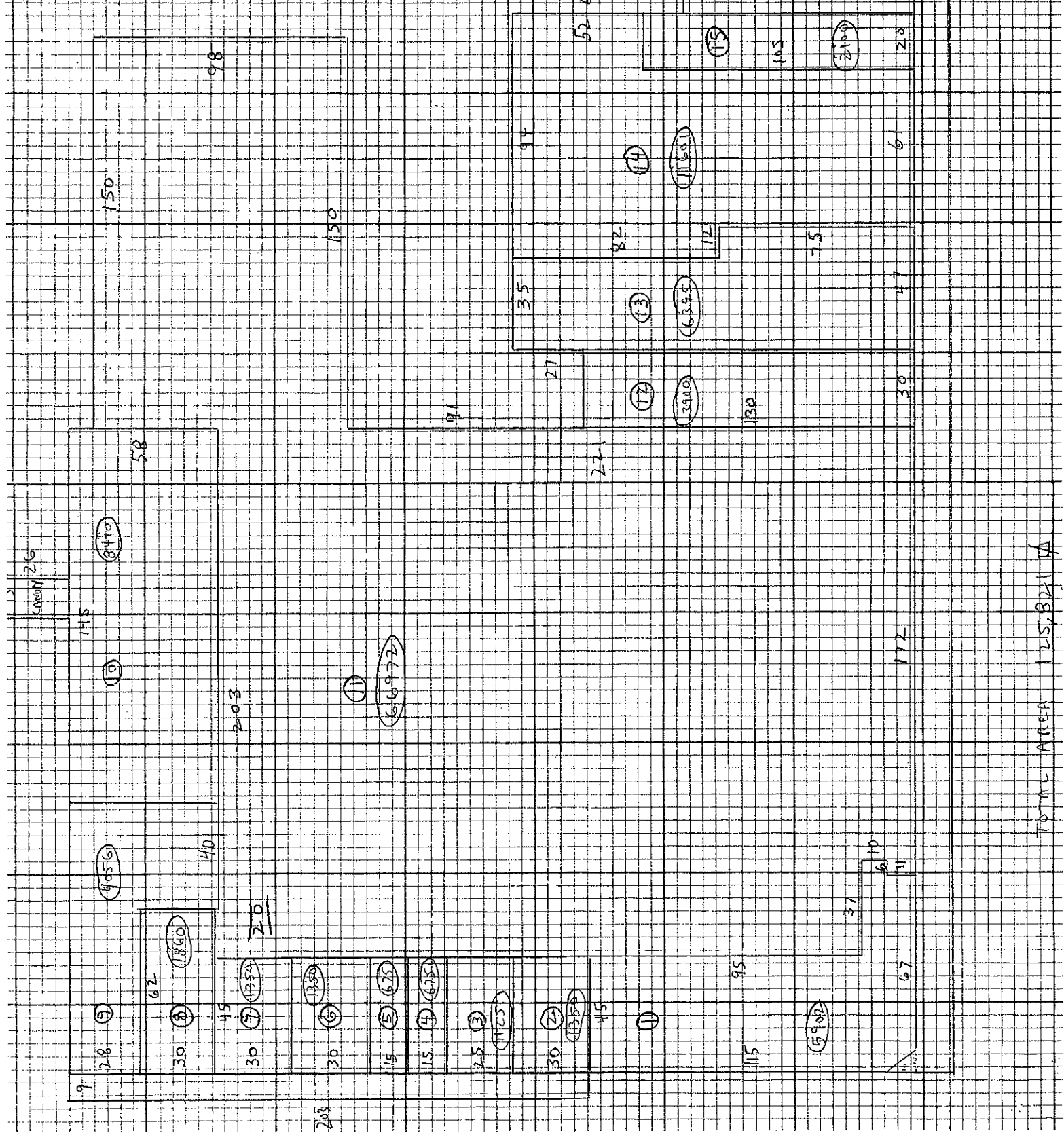
RED ROBIN
6,612 #
RESTAURANT

Tco 1/30/15

1/10 15

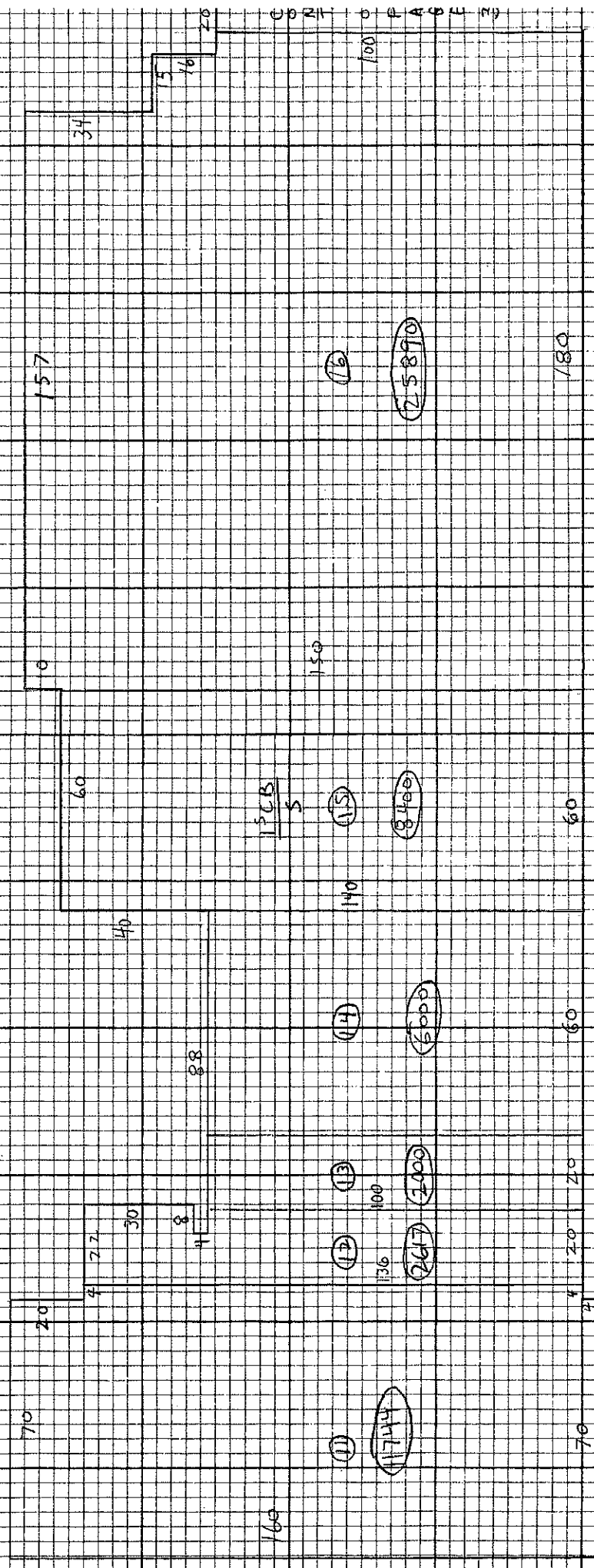
831,400

- ✓ 1 B&B
- ✓ 2 DINA MARE SALON
- ✓ 3 RIZZO & SONS BARBO
- ✓ 4 OPTICIAN
- ✓ 5 SUNRISE TRAVEL
- ✓ 6 RAINBOW BAKE SHOP
- ✓ 7 CHINA GARDEN RESTAURANT
- ✓ 8 EVERGREEN BOUTIQUE
- ✓ 9 THE PLAZA GATE
- ✓ 10 ASHLEY'S PIZZA GARDEN
- ✓ 11 JAMESWAY
- ✓ 12 SILVER THREADS
- ✓ 13 VACANT
- ✓ 14 CONSUMER EXPRESS
- ✓ 15 VACANT
- ✓ 16 HOMESTYLE FAMILY BUREAU



TOTAL AREA 125,821 sq ft

✓	(12)	FLAMINGO DELI
✓	(13)	HALLMARK
✓	(14)	RITARD
✓	(15)	MAAMEE
✓	(16)	H.L. GREEN



$$1-30$$

$$\begin{array}{r} 40 \\ 10 \overline{) 400} \\ \underline{40} \\ 0 \\ \hline \end{array}$$

$$\frac{15}{15}$$

$$\frac{21840}{21840}$$

$$\frac{156}{5}$$

$$\frac{156}{156}$$

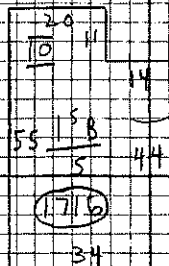
$$\frac{140}{140}$$

$$\frac{64}{64}$$

$$\frac{140}{140}$$

$$\frac{18}{18}$$

I = 40



MAINTENANCE
SHOP/GARAGE



30

100

64

50

60

60

- ✓ (17) SHOOTDOWN
- ✗ (18) CORBO JEWELERS
- ✓ (19) STEINBACKS

(18)
3600

CONT.
FROM
PAGE
2

15

15CB
S

(17)

100

6000

60

153

200

20

15CB
S

(19)

43187

140

✓ ① A.P.

✓ ② VACANT LEASE INFO: 301-652-3360

✓ ③ D'ALLESIO PIZZA

✓ ④ VACANT

✓ ⑤ CITY FEDERAL SAVINGS

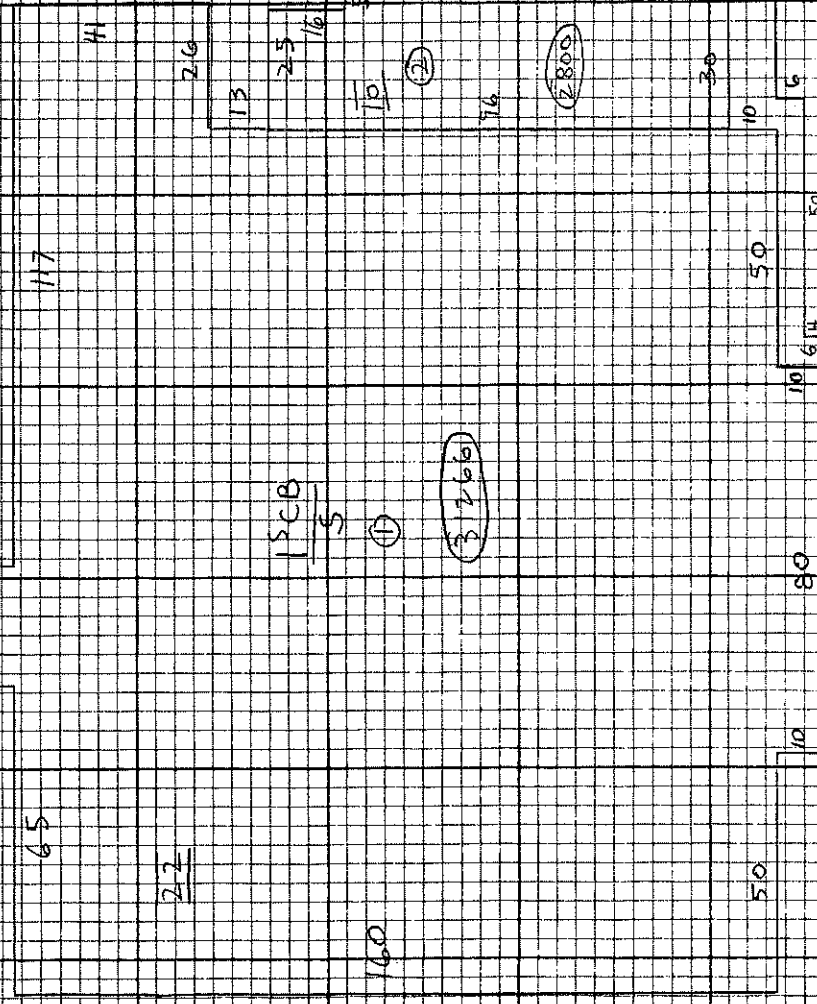
✓ ⑥ VACANT

✓ ⑦ BRICK PLAZA BEAUTY SALON

✓ ⑧ HOT BAGELS

✓ ⑨ LAUNDROMAT

✓ ⑩ FORBES LIQUOR



15CB
5

⑪

⑫ 266

13

25

16

5

⑬

14

⑭ 2800

⑮

⑯

⑰ 1600

⑱

⑲

⑳ 2400

㉑

㉒

㉓ 1200

㉔

㉕

㉖ 1400

㉗

㉘

㉙ 2400

CONT.
DN
PAGE
2

CANOPY

10 sq Square = 120 BUILDING SKETCH

12
30
1380
150B
5
46

NOTES:										Section 1		Section 2	
Description										Occupancy		Class	
Quality										Age		Condition	
Avg. Sty. Ht.										# Stories		Total Ht.	
Avg. Area Per Flr.										Avg. Perimeter		Shape	
Base SF Cost										Exterior Wall		HVAC	
Elevator										Miscellaneous		Total	
Location										Superior		Interior	
Condition										S T I S T I S T I		Overall	
Mezzanine										Finished		Open	
None										Office		Storage	
Elevators										# Capacity		Stops / Auto. Man.	
Passenger										Man/Autd		# Size	
Freight										Man/Autd		# Size	
Doors										Man/Autd		# Size	
Wd. Ovrhd.										Man/Autd		# Size	
Met. Ovrhd.										Man/Autd		# Size	
Gl. Ovrhd.										Man/Autd		# Size	
Heating										Forced Air		Hotwater	
None										Electric		Recycle	
AC Separate										AC Comb.		AC Comb.	
#35 YARD ITEMS										Page		Units	
Description										Q		Page	
A-P PAVING										A E-65		20119	
LIGHTS (WV)										A E-67		2	
OH DSOAS										A E-17		200	
FLU PS										A B-115		9	
STAGE (ELEC)										A B-115		2	
LIGHTS										A B-115		2	
Electrical										Lighting		Outlets	
None										S T I S T I S T I		Supply	
Sprinkler										Wet		Dry	
None										Chemical		Exposed	
Total Value										33475		Total Cost	

Section 1										Section 2									
Description										Occupancy									
Class										Quality									
Age										Condition									
Avg. Sty. Ht.										# Stories									
Total Ht.										Avg. Area Per Flr.									
Avg. Perimeter										Shape									
Base SF Cost										Exterior Wall									
HVAC										Elevator									
Miscellaneous										Total									
Location										Superior									
Condition										Interior									
Mezzanine										Finished									
None										Office									
Elevators										# Capacity									
Passenger										Man/Autd									
Freight										Man/Autd									
Doors										Man/Autd									
Wd. Ovrhd.										Man/Autd									
Met. Ovrhd.										Man/Autd									
Gl. Ovrhd.										Man/Autd									
Heating										Forced Air									
None										Electric									
AC Separate										AC Comb.									
#35 YARD ITEMS										Page									
Description										Q									
A-P PAVING										A E-65									
LIGHTS (WV)										A E-67									
OH DSOAS										A E-17									
FLU PS										A B-115									
STAGE (ELEC)										A B-115									
LIGHTS										A B-115									
Electrical										Lighting									
None										S T I S T I S T I									
Sprinkler										Wet									
None										Chemical									
Total Value										33475									
Total Cost										Total Cost									

QUAL.

SKETCH



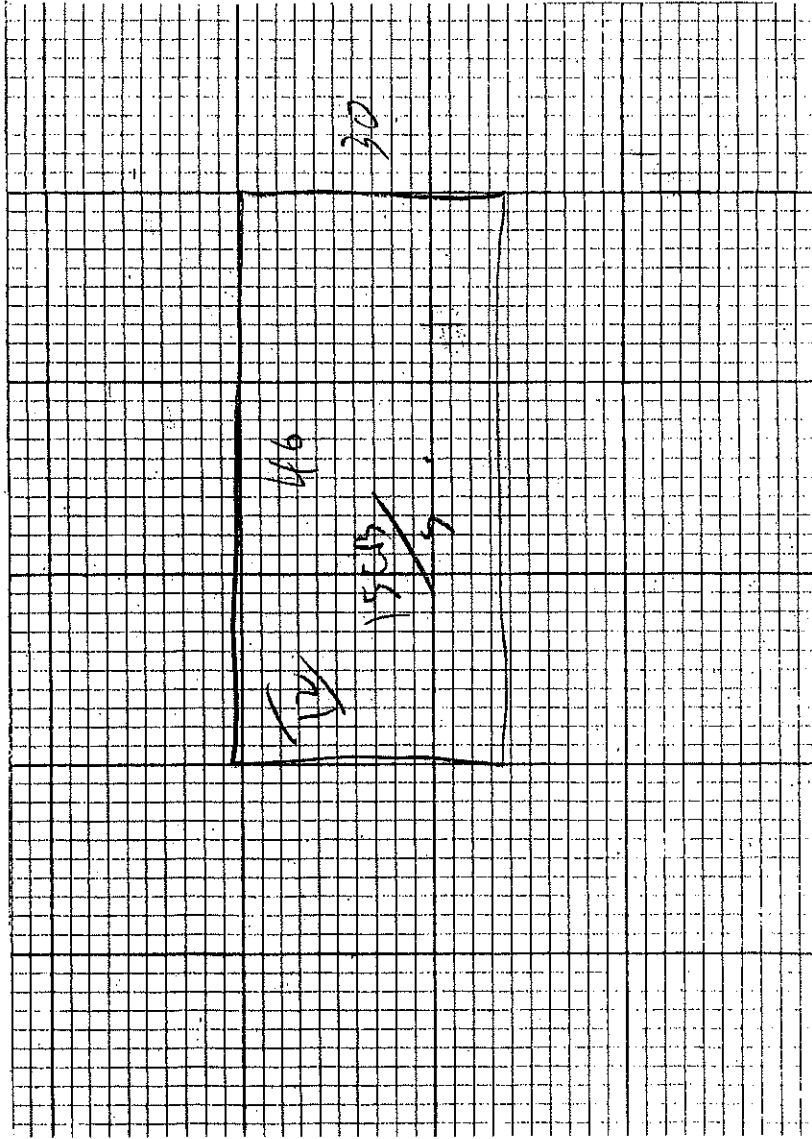
SHELL - C.B./FRAME/STEEL

Basic Pizza Thirst

[illegible]

BLOCK 671 LOT 11.01 QUAL.

SKETCH



BUILDING NAME: MOBILE

YR. BUILT 1963 EFF. 1975
BLDG. USE SEWER STATION
EXT. WALL BRICK CB - ALUM
ROOF TYPE FLAT GABLE
ROOF MAT. ASPH ALS
FLOORS CONC, A/T
INT. WALLS C/B
CEILING SLC
HEATING 6 H/A
PLUMBING (2) 2-EX
SPRINKLERS --- WET
SYSTEM --- DRY
FENCE ---
ASPHALT PAV. SAF - BLOS - 1000' =
CONC. PAV. ---
LIGHTS (2) MV - 14' Poles
OVHD DOORS (2) 10x10
ALARMS ---
OTHER ITEMS:
SHELL - C.B. / FRAME / STEEL

LIGHTS -

(2) SEWER POST

PUMPS:

(9) STORM SEWER

One Square = 1 = 20 BUILDING SKETCH

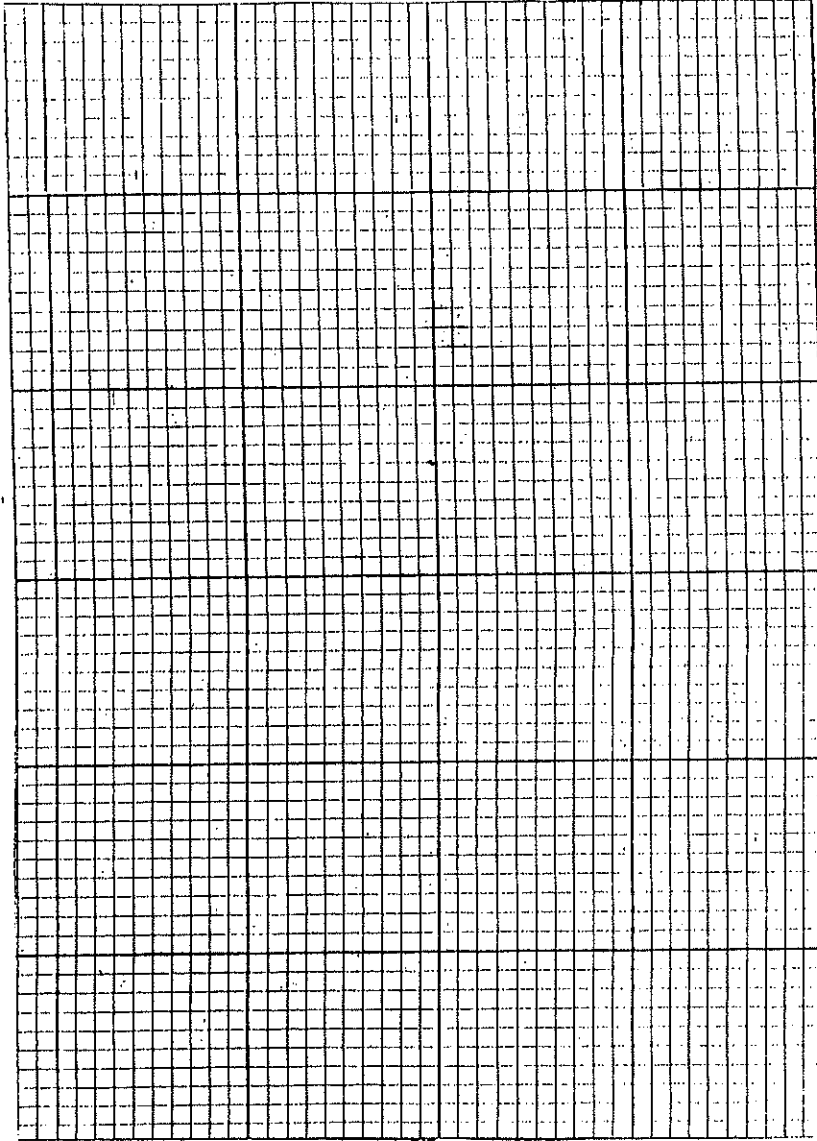
12
30
1380
5
46

NOTES:										Description		Section 1		Section 2		Section 3							
										1 Occupancy													
										2 Class													
										3 Quality													
										4 Age													
										5 Condition													
										6 Avg. Sty. Ht.													
										7 # Stories													
										8 Total Ht.													
										9 Avg. Area Per Flr.													
										10 Avg. Perimeter													
										11 Shape													
										12 Base SF Cost													
										13 Exterior Wall													
										14 HVAC													
										15 Elevator													
										16 Miscellaneous													
										17 Total													
										18 Size Shape/Per Mult.													
										19 Ht. Per Sty. Multi.													
										20 No. Sty. Multi.													
										21 Total Multi.													
										22 SF Cost													
										23 Update Multi.													
										24 Local Multi.													
										25 Cost Multi.													
										26 Final SF Cost													
										27 Area													
										28 Total													
										29 Lump Sums													
										30 Replace Cost													
										31 Net Condition													
										32 Physical Value													
										33 Net Obsolescence													
										34 Depr. Value													
										35 Yard Items													
										36 Tot. Impr. Value													
										37 Sections Total													
										38													
										39													
										#35 YARD ITEMS													
										#29 LUMP SUMS													
										Description		Q		Page		Units		Cost		Multi		Total	
										ASPH. PAVING		A E-65		2019		1.15		1.12		.50		127.57	
										LIGHTS (MV)		A E-67		2		570		1.12		.50		638	
										OH. DOORS		A E-17		200		7.50		1.12		.50		840	
										PUMPS		A B-15		9		3000		1.12		.50		15120	
										STAIRS (ELEC)		A B-15		2		3500		1.12		.50		3920	
										LIFTS													
										Lighting		S		T		I		S		T		I	
										Wiring		S		T		I		S		T		I	
										Outlets		S		T		I		S		T		I	
										Supply		S		T		I		S		T		I	
										Recessed		S		T		I		S		T		I	
										Wet		S		T		I		S		T		I	
										Dry		S		T		I		S		T		I	
										Chemical		S		T		I		S		T		I	
										Exposed		S		T		I		S		T		I	
										None		S		T		I		S		T		I	
										Total Value												33475	
										Total Cost													

[illegible]

BLOCK 671 LOT 8 QUAL.

SKETCH



BUILDING NAME:

Sony Theater

YR. BUILT

1997

BLDG. USE

Sony Theater

EXT. WALL

CB (BECOMING WOOD)

ROOF TYPE

FLAT

ROOF MAT.

METAL/RUBBER

FLOORS

TILE/CARPET

INT. WALLS

DW

CEILING

OPEN/TEAR

HEATING

W/C A/GHA/AC

PLUMBING

25/80

SPRINKLERS
SYSTEM

WET

WET
DRY

FENCE

N/A

ASPHALT PAV.

N/A

CONC. PAV.

N/A

LIGHTS

N/A

OVHD DOORS

N/A

ALARMS

YES

OTHER ITEMS:

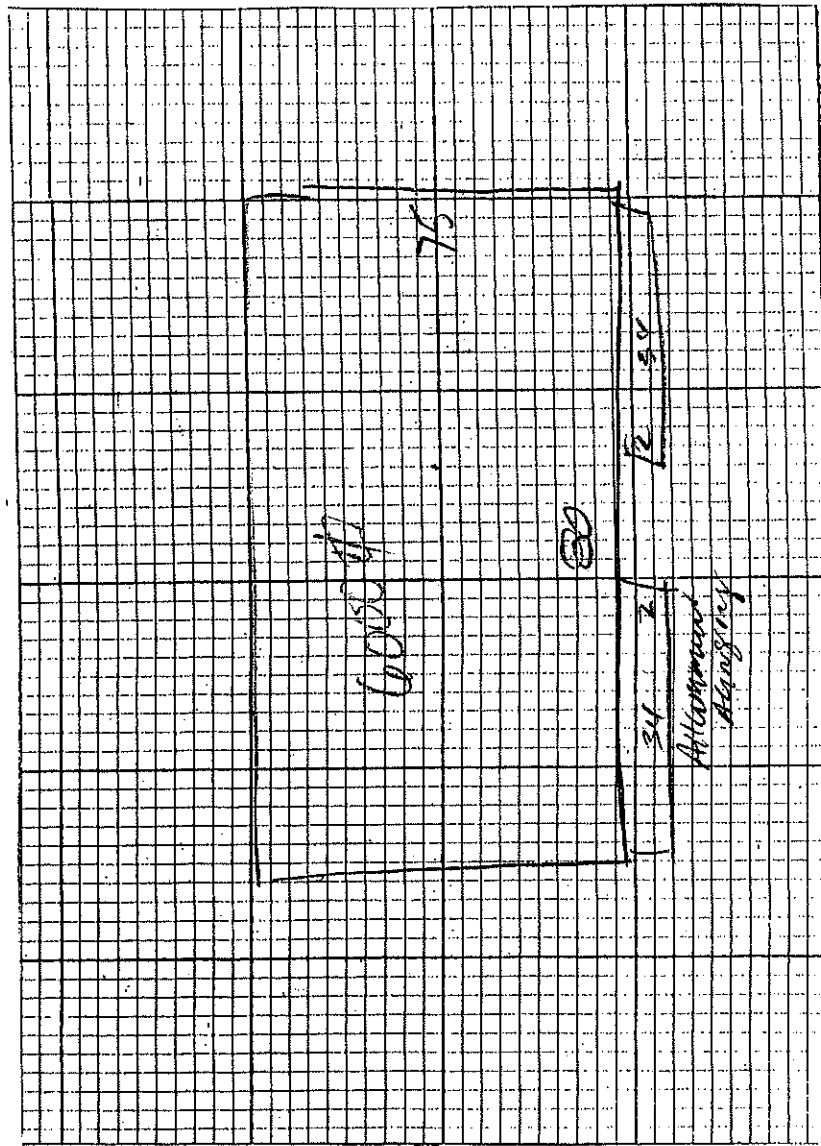
SHELL - C.B./FRAME/STEEL

[illegible]

421000 3/29/00

BLOCK 468 LOT 5 QUAL.

SKETCH



BUILDING NAME: Kinko's

YR. BUILT 1982
BLDG. USE Retail
EXT. WALL Block/Burch
ROOF TYPE asphalt
ROOF MAT. TAB
FLOORS 1st floor
INT. WALLS Sheetrock
CEILING Drop 16 ft
HEATING GAS FTH AC Spina
PLUMBING 7 ft
SPRINKLERS SYSTEM NO
FENCE 6x16
ASPHALT PAV.
CONC. PAV.
LIGHTS 13 Hggs 5 pds 20' Hggs
OVHD DOORS 5x20
ALARMS 1/45
OTHER ITEMS:
SHELL - C.B./FRAME/STEEL

16x80 CP
6x75 CP
7x55 CP
4x120 K

1280
450
385
480
2595

OP
2x34x2 = 136 ft
x 5.7

Approx 100 New Sports
10x20 = 20,000
80x20 = 16000
75x20x2 = 3000
24,000
x 1.15

[illegible]