

**BRICK,
TOWNSHIP
OF**
(Planning/Zoning)

1709 (1152) - ASP-Security
Bik. 672, 1018 Group

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BRICK TOWNSHIP PLANNING BOARD

AMENDED SITE PLAN APPROVAL

RESOLUTION R-6-87

January 14, 1987

CASE NO.: 1709 (1156)-ASP-8/86

WHEREAS, application has been made by Supermarkets General Corporation (Rickel Home Center Division) for an amended site plan approval for Lot 8, Block 672, Brick Township Tax Map, to revise the Brick Blvd. entrance area of the Rickel Home Center Store by eliminating nine parking spaces, constructing curbing, establishing a loading area together with plantings and buffering; and

WHEREAS, proper service has been made upon all of the property owners within 200 feet of the premises in question and proper notice and publication has been made as required by New Jersey Statute and proper proof of service has been filed by the applicant with the Planning Board of the Township of Brick; and

WHEREAS, the Planning Board having considered the application and plans filed with its secretary and having heard the witnesses and evidence and examined the exhibits of the parties in interest and having heard and considered the comments of the public, if any, on the 10th day of

December , 1986; and

In conjunction with this resolution the Planning Board has made the following findings of fact:

File - 2
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Planning
Zoning
Division
Blldg
eng. - 2
Zoning

1. The applicant is Supermarkets General Corporation (Rickel Home Center Division) Lessee of the subject premises, the owner Brick Stuart Inc., and the owner has authorized the making of this application.
2. The premises are located in the B-3 highway development zone and this is a previously approved existing use in that zone.
3. This application seeks approval of a revision to the approved site plan which was signed by the Brick Township Planning Board Chairman on July 28, 1971.
4. Elimination of nine parking spaces will reduce the total number of spaces to 550, and 485 are required by Township ordinance.
5. The applicant proposes making certain other improvements to the area and the Planning Board finds that if the conditions and requirements set forth hereafter are complied with by the applicant, that the applicant is entitled to this approval.

NOW, THEREFORE BE IT RESOLVED that the application of Supermarkets General Corporation (Rickel Home Center Division) for amended site plan approval for Lot 8, Block 672, Brick Township Tax Map, is hereby APPROVED on this 14th day of January ,1987, subject to the following conditions:

1. That the applicant shall comply with all standard Planning Board conditions for site plan approval as set forth in Attachment "A".
2. That the applicant shall comply with all representations and agreements made by applicant or applicant's representatives during the consideration of this application.

3. That the applicant shall comply in all respects with the conditions and requirements set forth in the Report of the Planning Board Engineer dated October 9, 1986 and the Report of the Township Planner dated November 18, 1986.

4. That the applicant shall comply with the following specific conditions as a condition of this approval as follows:

A. Except as amended by this approval, the original site plan signed by the Brick Township Planning Board Chairman on July 28, 1971 is to be complied in all respects by the applicant.

B. In accordance with the original site plan approval, the north driveway on Brick Blvd. is for ingress and the south driveway is for egress. The applicant shall install pavement markings and signage so as to provide traffic direction in compliance with the 1971 site plan and so as to prevent egress from the northerly and ingress at the southerly driveway.

C. In accordance with its agreement the applicant, shall repair and will paint the existing block wall a color to match the exterior of the principal structure.

D. The plantings proposed along Brick Blvd. shall be limited to 3.5 ft. in height so as to avoid interference with the site triangle easement.

E. The applicant shall install curbing around the existing pylon sign and shall plant low pine trees within the curbed area under the said existing pylon sign.

F. In accordance with the agreement of the applicant, there shall be a general clean-up and continuing maintenance of the subject premises in a clean and orderly fashion which continued

RESOLUTION R-6-87

PAGE FOUR

CASE NO.: 1709 (1156)-ASP-8/86

January 14, 1987

property maintenance is a condition of this approval.

G. There shall be landscaped plantings along the existing block wall for the purpose of beautification to provide an attractive visual screen.

RESOLUTION R-6-87

PAGE FIVE

CASE NO.: 1709 (1156)-ASP-8/86

January 14, 1987

MOVED BY: Mr. Gunther

SECONDED BY: Mr. Cierzo

VOTING IN THE AFFIRMATIVE: Mr. Cierzo Mr. Gunther

Mrs. Hartman Councilman Scarpelli Mr. Vespi

Mr. Kazawic

VOTING IN THE NEGATIVE: Mr. Hayes

ABSTAINING: _____

ABSENT: Mr. Cevalasco Mr. Geller Mayor Newman Mr. Scherer

CERTIFICATION

I, E. JOAN KULL, Clerk to the Planning Board of the Township of Brick, County of Ocean, State of New Jersey do hereby certify that the foregoing resolution was duly passed by the said Planning Board of the Township of Brick at a regular meeting held on the 14th day of January, 1987

IN WITNESS WHEREOF, I have set my hand this 20th day of January, 1987.

E. Joan Kull
E. JOAN KULL, CLERK Planning Board
of the Township of Brick

ATTACHMENT "A"

STANDARD PLANNING BOARD CONDITIONS FOR SITE PLANS

RESOLUTION R-6-87

January 14, 1987

CASE NO. 1709-(1156)-ASP-8/86

Page SIX

NINE 1. Applicant shall obtain certification by the Local Soil Conservation District of a plan for soil erosion and sediment control in accordance with Public Law 1975, Chapter 251, "Soil Erosion and Sediment Control Act."

2. All materials, methods of construction and details shall be in conformance with the current Township of Brick "Engineering Specifications and Construction Details", available at the office of the Township Engineer.

3. Applicant shall obtain any other approvals with respect to submission to any other Federal, State, County or Municipal agency having jurisdiction over same. Upon receipt of the approval, the applicant shall supply a copy of said permit or permits to the Board. In the event that any other jurisdictional agency requires a change in the applicant's plans, the applicant must reapply to the Brick Township Planning Board for approval of that change.

4. Applicant shall resubmit this entire proposal should there be any deviation from this Resolution or the submitted documents which are hereby made a part hereof and shall be binding on the applicant.

5. Applicant shall supply evidence by way of a statement from the Brick Township Tax Collector that all taxes are paid to date at the date of the fulfillment of the conditions of this resolution.

6. Applicant shall post an inspection fund with the Township Clerk in an amount to be determined by the Township Engineer.

7. Before the issuance of a building permit, the applicant shall furnish the Township Clerk with a performance bond in an amount to be determined by the Township Engineer.

8. No soil shall be removed from the site without the written approval of the Township Council.

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY

401 CHAMBERS BRIDGE ROAD • BRICK, NJ 08723

Joseph C. Scarpelli, Mayor

Township Council:

Steven M. Cucci — President

Stephen C. Acropollis

Kimberley S. Cassan

Gregory S. Kavanagh

Kathy M. Russell

Tony G. Shupin

Frederick J. Underwood, Sr. Municipal Clerk



Planning Board

(732) 252-1145

Fax: (732) 252-2534

scarpelli@bricknj.org

NEW FOLDER

From: Judith Fox Nelson

Date: 9/17/08

Re: Archive and reorganization of Planning Board Files

Case # 1709 - Supermarket General Corp

Date of Approval 1/14/87

Block 672 Lot 8

The above referenced file has been cleaned out as and is ready to be re-filed.

The following files are turned over to Jeff Fabach for disposal

Affidavits ☒

Notice of decision ☐

Copies ☒

Correspondence ☒

Copies of checks and receipts ☒

Reports, drainage, environmental, traffic ☐

Other ☒

LYNCH, CARMODY, GIULIANO & KAROL, P.A.

CONSULTING ENGINEERS • LAND PLANNERS • SURVEYORS • LANDSCAPE ARCHITECTS

Registered Professional Staff:

Thomas F. Lynch
Cornelius P. Carmody (1970-1984)
Michael J. Giuliano, Jr.
John D. Karol
Donald M. Abbott
Brian S. Flannery
Thomas R. Hansen
Martin G. Miller, III
R. Niels Sperling
William Voeltz
Lee Webb

File No. 86-0195-1709

October 9, 1986

Brick Township Planning Board
401 Chambers Bridge Road
Brick, NJ 08723

Re: Supermarkets General
Rickel Home Centers
Block 672, Lot 8
Amended Site Plan
First Review

RECEIVED
OCT 9 1986
BRICK TOWNSHIP PLANNING BOARD

Dear Board Members:

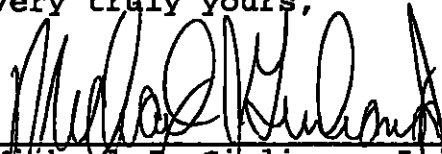
We have reviewed the plans entitled "Amended Site Plan, Proposed Loading Area Prepared For Rickel Home Centers", prepared by John Zanetakos Assoc., Inc., consisting of one sheet, dated June 18, 1986, and last revised 9/15/86, and have the following comments.

The applicant is proposing to construct curbing across a nine space parking area presently located adjacent to Brick Boulevard at the east side of the site. Twenty-one (21) Norway spruce trees, 6'-8' in height, 8' on center, are to be planted in this area. Additionally, pavement markings, traffic signs, and "No Parking Fire Zone" signs are to be installed.

1. The north arrow should be referenced on the plan. *added*
2. It is recommended that the applicant revise the proposed plantings from Norway Spruce to White Pine (*Pinus Strobus*), as the White Pine trees provide a more cohesive visual screen for buffering purposes.
3. A planting detail with standard notes should be provided for the buffer area.
4. Sight triangles should be indicated on the plan. *added*
5. The Planning Board Engineer's signature block should be added to the plat.
6. Block and lot numbers should be indicated in the title block.
7. A detail for pavement restoration should be provided.
8. A curb detail should be provided.

9. The Board's attention is directed to Public Law 1975, Chapter 251, "Soil Erosion and Sediment Control Acts", which mandates that any approval granted be conditioned upon certification by the local Soil Conservation District of a plan for soil erosion and sediment control.
10. Further, as a condition of approval, the applicant shall post an inspection fund with the Township Clerk in an amount to be determined by the Township Engineer. Before the issuance of a building permit, the applicant shall furnish the Township with a performance bond in an amount to be determined by the Township Engineer. Said performance bond to be updated at six month intervals at the discretion of the Township Engineer.
11. The applicant is also made aware of the necessity to submit to and appear before other Local, State, and Federal jurisdictional agencies for appropriate permits pertaining to this project.
12. No soil shall be removed from the subject property without the written permission of the Brick Township Council.
13. This application may be deemed complete for scheduling at your earliest convenience.

Very truly yours,



Michael J. Giuliano, Jr.
Planning Board Engineer

MJG/RJM/lcf

BRICK TOWNSHIP PLANNING BOARD
Site Plan Folder Checklist

Case # 1709(1156)

DATE: 8-29

Fee Paid \$ 500.

Applicant: Supermarkets General Corp.

Owner: _____

Name of Site Plan: _____

Each Site Plan Folder should contain the following upon submission:

Required N/A

- | | |
|----------|---|
| <u>✓</u> | 1) Checklist |
| <u>✓</u> | 2) Copy of Site Plan (10) |
| <u>✓</u> | 3) Original Application & 4 copies |
| <u>✓</u> | 4) Check for ^{REVIEWED} Site Plan Fees: Preliminary-\$250.+ 100X _____ acres or portion
Final - \$150.+ 50X _____ acres = \$ <u>500.-</u> |
| _____ | 5) Building Elevations (4 sets) |
| _____ | 6) Drainage Calculations |
| _____ | 7) Evidence of pending application to Brick Township Municipal Utilities |
| _____ | 8) Evidence of pending application to Ocean County Planning Board |
| <u>✓</u> | 9) Taxes paid to date |
| _____ | 10) Evidence of application to NJ DOT |