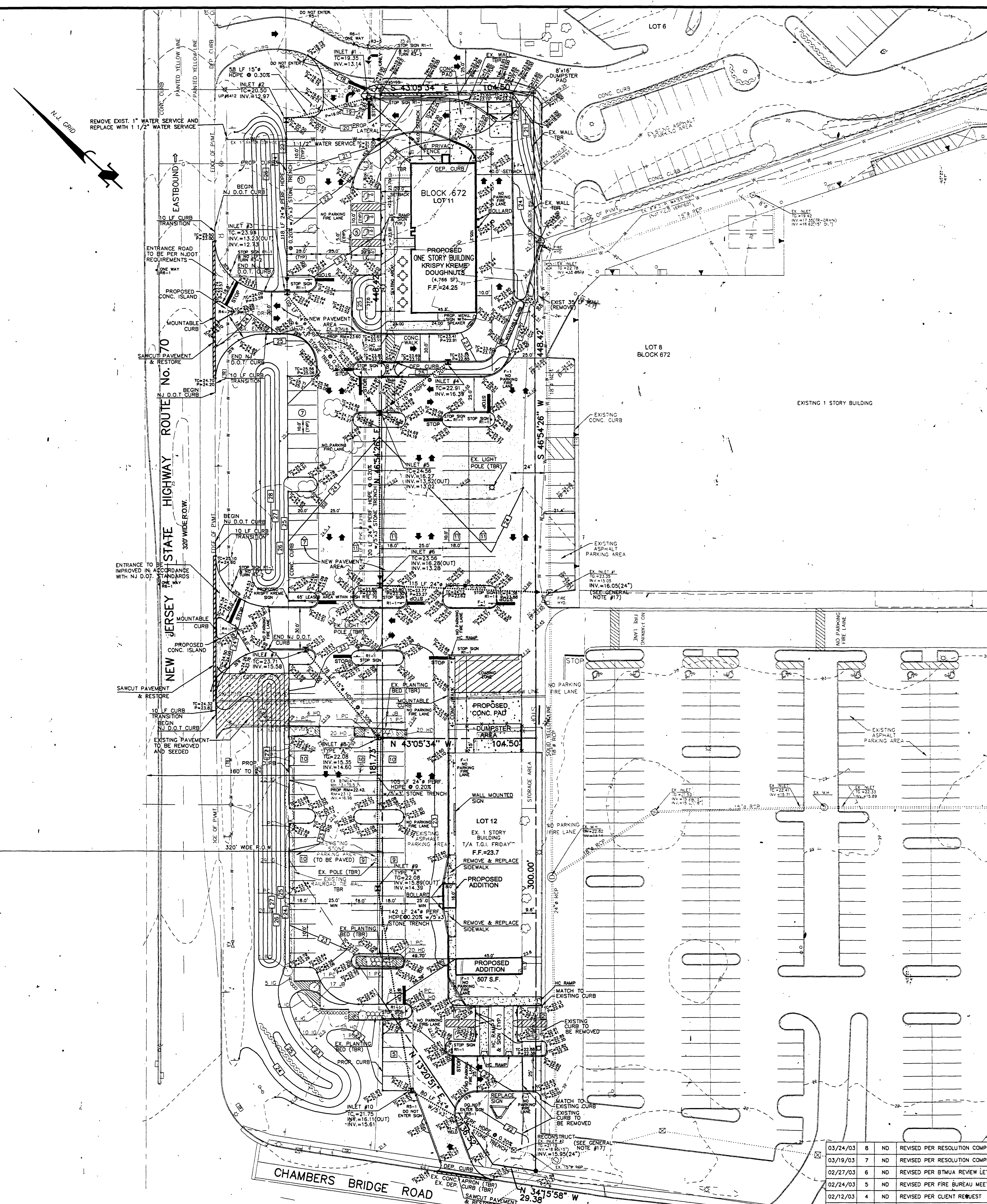




- NOTES:**
- EXISTING SEWER AND WATER SERVICE LOCATION PER B.T.M.U.A. SEWER CLEAN OUT TRIANGULATION: 98 FEET FROM UP#6412 12 FEET FROM UP#5190 WATER SERVICE TRIANGULATION: 111 FEET FROM UP#6412 34 FEET FROM UP#5190
 - CONTRACTOR TO DIG TEST PITS TO VERIFY LOCATION OF WATER & SEWER UTILITIES.
 - ROOF DRAINS TO BE INTO STORM DRAINAGE SYSTEM.
 - EXISTING PAVEMENT SHALL RECEIVE AN OVERLAY OF A MINIMUM 1.5" & SHALL MATCH EXISTING PAVEMENT WHERE SHOWN ON PLAN.
 - EXISTING PIT TO BE REMOVED.
 - PROPOSED SIGN ON ONE BUILDING FACADE SHALL NOT EXCEED 15% OF THE AREA OF THE FACADE. SEE ARCHITECT'S PLANS.
 - ALL INLETS TO BE TYPE "B" UNLESS OTHERWISE NOTED.
 - OVERLAY PAVEMENT LIMITS APPROXIMATE AND TO BE VERIFIED AND ADJUSTED IN THE FIELD TO MATCH TO BOB'S STORES.
 - MAX. SLOPE OF KRISPY KREME LOADING AREA NOT TO EXCEED 1.70%.
 - CURB TO BE INSTALLED BY THE REAR OF THE KRISPY KREME BUILDING FOR THE ENTIRE LENGTH OF THE BUILDING.
 - ALL EXISTING SANITARY MANHOLES, FIRE HYDRANTS AND WATER BOXES TO BE PROPERLY ADJUSTED TO FINISHED GRADE AT TIME OF CONSTRUCTION.
 - THE EXISTING 1" WATER SERVICE ON LOT 11 BLOCK 672 IS TO BE PROPERLY ABANDONED AND THE PROPOSED 1 1/2" WATER SERVICE WILL BE TAPPED DIRECTLY INTO THE 12" WATER MAIN ON NEW JERSEY STATE HIGHWAY ROUTE NO. 70.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
RIGHT OF WAY LINE	RIGHT OF WAY LINE
EASEMENT LINE	EASEMENT LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
WETLANDS LINE	WETLANDS LINE
CURB	CURB
CONTOUR	CONTOUR
MANHOLE FLOW	MANHOLE FLOW
MANHOLE FLOW	MANHOLE FLOW
HYDRANT	HYDRANT
WATER	WATER
GAS SERVICE	GAS SERVICE
EDGE OF WOODS	EDGE OF WOODS
SIDEWALK	SIDEWALK
LOT NUMBER	LOT NUMBER
HANDICAPPED RAMP	HANDICAPPED RAMP
SIGN	SIGN
STREET ID SIGN	STREET ID SIGN
DRAINAGE FLOW	DRAINAGE FLOW
DROP FOOTING	DROP FOOTING
TO BE REMOVED	TO BE REMOVED
MAIL BOX	MAIL BOX
UTILITY POLE	UTILITY POLE
STONE GRAVEL ELEV.	STONE GRAVEL ELEV.
PAVEMENT AREA TO BE REMOVED AND SEED	PAVEMENT AREA TO BE REMOVED AND SEED
AREA OF OVERLAY (SEE GENERAL NOTE 13)	AREA OF OVERLAY (SEE GENERAL NOTE 13)

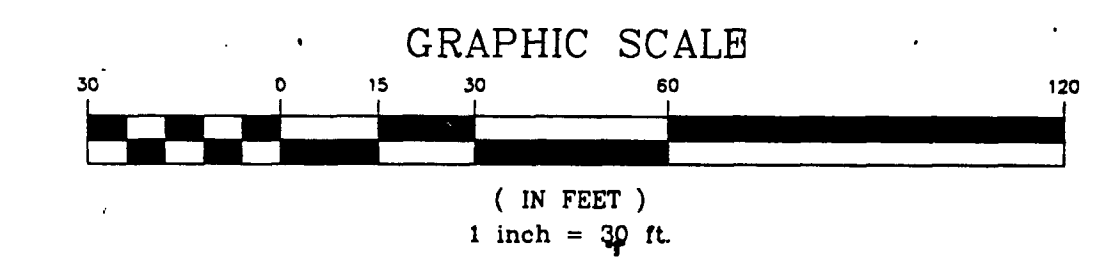
PARKING LEGEND	
TOTAL NO.	
23	KRISPY KREME PARKING
47	OVERFLOW PARKING
67	TOT. PARKING

THIS SITE FOR WHICH SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD VIA APPROVAL RESOLUTION 1-9-03 SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED BY THE BRICK TOWNSHIP PLANNING BOARD
ON January 8, 2003
3/27/03
3/26/03

THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.

STEVEN T. SPICHT, P.E. DATE
DIRECTOR OF ENGINEERING



DATE	BY	DESCRIPTION
03/24/03	ND	REVISED PER RESOLUTION COMPLIANCE
03/19/03	7	REVISED PER RESOLUTION COMPLIANCE
02/27/03	6	REVISED PER BTMUA REVIEW LETTER DATED 2/25/03 & RESOLUTION COMPLIANCE
02/24/03	5	REVISED PER FIRE BUREAU MEETING ON 2/24/03
02/12/03	4	REVISED PER CLIENT REQUEST
01/21/03	3	REVISED PER RESOLUTION COMPLIANCE
12/13/02	2	REVISED PER TOWNSHIP ENGINEER REVIEW LETTER DATED 12/9/02
12/02/02	1	REVISED PER TOWNSHIP ENGINEER REVIEW LETTER DATED 11/11/02

KRISPY KREME DOUGHNUTS/T.G.I. FRIDAY'S
BLOCK 672, LOTS 11, & 12
TAX MAP SHEET 39
TOWNSHIP OF BRICK, OCEAN COUNTY, NEW JERSEY

SITE PLAN

DESIGN
T.P.L.
DRAWN
M.J.F.
CHECKED
T.P.L.
SCALE
1"=30'
JOB NO.
02-107.00

D.W. SMITH ASSOCIATES, L.L.C.
Consulting Engineers • Planners • Surveyors • Landscape Architects
40 Airport Road, Lakewood, NJ 08701 • (732)363-5850

DATE
SEP. 23, 2002
SHEET
3