

200 Foot Property Owners List

27.01	Block 842	Property Owner MICHAEL L. & RUTH MICHAEL 1710 W PRINCETON AVENUE BRICK, NJ 08724
27.02	Block 842	PARLIAMENT, RONALD & BETTY ANN 1581 VINCENZO DRIVE TOMS RIVER, NJ 08753
28	Block 842	CHMIELOWICZ, STEVE & DEBRA 1720 W PRINCETON AVENUE BRICK, NJ 08724
28.01	Block 842	OXFORD INTERNATIONAL, LLC 1381 VINCENZO DRIVE TOMS RIVER, NJ 08753
1	Block 842	EMER, GILBERT F. JR & SUSAN 1724 W PRINCETON AVENUE BRICK, NJ 08724
17	Block 842	LAURELTON FIRE CO #1 PO BOX 312 BRICK, NJ 08723
20	Block 842	AUREMMA, ROBERT W & IRENE J 1723 W PRINCETON AVENUE BRICK, NJ 08724
22	Block 842	BAILEY, MICHAEL P & SUZAN M 1723 W PRINCETON AVENUE BRICK, NJ 08724
24	Block 842	KANAFAS, COSTAS 307 RIVER AVENUE PT PLEASANT BEACH, NJ 08742
26	Block 842	DAVENPORT, DOUGLAS R 1719 W PRINCETON AVENUE BRICK, NJ 08724
4	Block 842	DAVTON, DAVID A & ROBYN A 1715 W PRINCETON AVENUE BRICK, NJ 08724
5	Block 842	GRIMA, ROBERT & MARY 1715 W PRINCETON AVENUE BRICK, NJ 08724
1170	Block 842	STATE OF NJ - DOT 1038 PARKWAY AVENUE TRENTON, NJ 08618

ZONING TABLE B-1 NEIGHBORHOOD BUSINESS ZONE

REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 S.F.	14,300 S.F.
MIN. LOT WIDTH	100 FT.	100 FT.
MIN. LOT DEPTH	90 FT.	143 FT.
FRONT YARD SETBACK	30 FT.	17.8 FT.*
REAR YARD SETBACK	20 FT.	75 FT.
SIDE YARD SETBACK	10 FT.	27.8 FT.
ACCESSORY STRUCTURES	10 FT.	50.8 FT.
SIDE YARD SETBACK	10 FT.	6.5 FT.**
REAR YARD SETBACK	20 FT.	N/A/
MAX. BUILDING HT.	35 FT./2 STY.	1 STY./
MAX. LOT COVERAGE	30%	<38.5 FT.
MAX. LOT COVERAGE	30%	11.5%
MAX. LOT COVERAGE	30%	1,670 S.F.
MAX. LOT COVERAGE	30%	15.0%
MIN. LANDSCAPE AREA	10%	824**
BUFFER TO RESIDENTIAL	15 FT.	15 FT.†

* DENOTES EXISTING NON-COMFORMANCE
** DENOTES VARIANCE GRANTED
† BUFFER GRANTED BY BRICK TOWNSHIP PLANNING BOARD PER RESOLUTION R-39-08

OFF-STREET PARKING REQUIREMENTS:

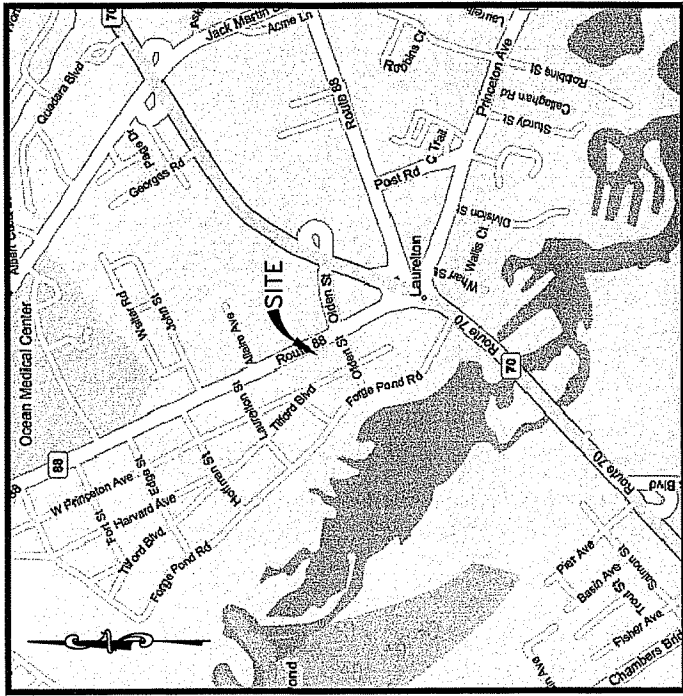
REQUIRED:
RETAIL & SERVICE STORES - 1 SPACE PER 200 S.F. GROSS FLOOR AREA
1610 S.F./200 = 8 SPACES
TOTAL SPACES REQUIRED - 8
PROPOSED:
TOTAL SPACES PROPOSED - 10 (INCLUDING ONE HANDICAP)

SIGN REQUIREMENTS:

FREESTANDING GROUND SIGN - MAX AREA 25 S.F./SIDE (NONE PROPOSED)
WALL SIGNS - MAX AREA SHALL NOT EXCEED 15% OF BUILDING FACADE (SEE ARCHITECTURAL PLANS)
PROJECTING SIGNS - MAX AREA SHALL NOT EXCEED 12 S.F. ON EITHER SIDE (NONE PROPOSED)

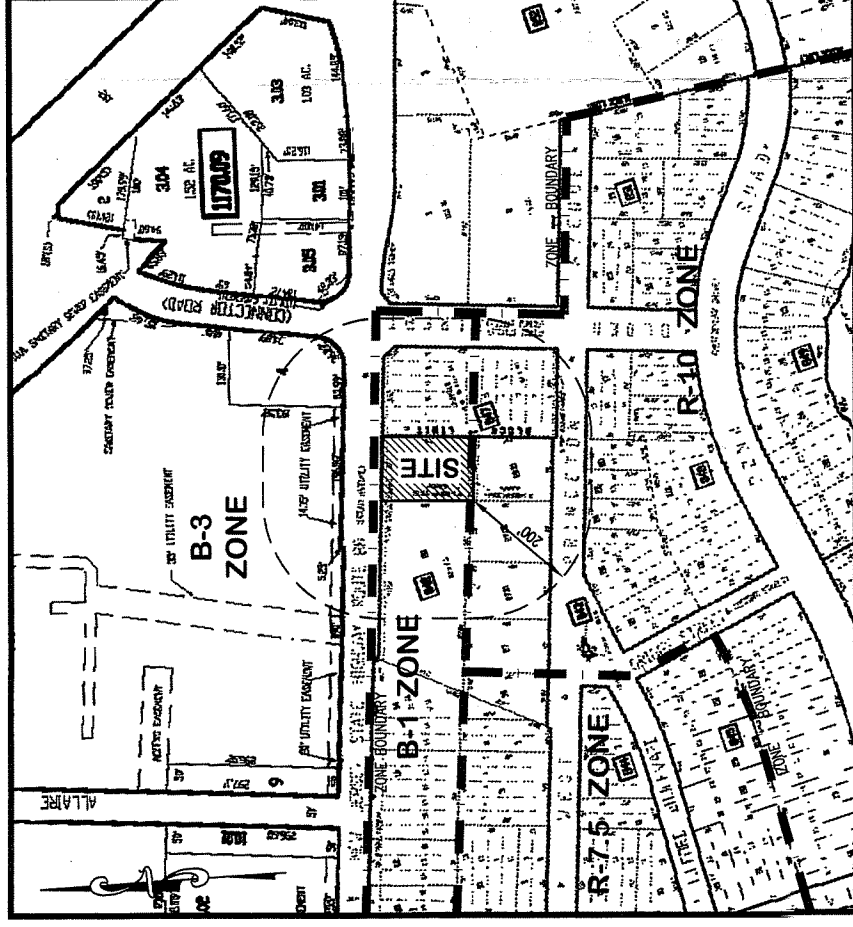
VARIANCES / WAIVERS GRANTED:

- USE VARIANCE FOR AUTOMOBILE SERVICE WITHIN B-1 ZONE
- THE OFF-STREET PARKING IS CONCRETE CURBING, WHEREAS A PORTION OF THE OFF-STREET PARKING IS CONCRETE CURBING.
- 245-310, - PARKING AREAS SHALL NOT BE LOCATED WITHIN 25' OF A RESIDENTIAL ZONE, WHEREAS 5' IS PROPOSED.
- (SECTION 245-311.M.) THREE-FOOT BERM HEIGHT REQUIRED BETWEEN PARKING/COLLECTOR ROAD AND MAJOR SITE PLAN - NONE PROPOSED.
- (SECTION 245-311.D.) NO PARKING WITHIN 25' OF A RESIDENTIAL ZONE WHERE AS 2.86 FEET IS EXISTING
- (SECTION 245-374.C) SCREENED REFUSE AREA SHALL NOT BE LOCATED WITHIN ANY FRONT YARD AREA. ACCESSORY SETBACK AS PROPOSED WHEREAS ENCROACHES INTO EXISTING SETBACK.
- (SECTION 245-208) 30 FT. FRONT SETBACK REQUIRED WHERE 17.8 FT. IS PROPOSED AS EXISTING.
- (SECTION 245-208) 30 FT. FRONT SETBACK REQUIRED WHERE 17.8 FT. IS PROPOSED AS EXISTING.
- (SECTION 245-208) 30 FT. FRONT SETBACK REQUIRED WHERE 17.8 FT. IS PROPOSED AS EXISTING.
- (SECTION 245-313) ALLOWS ONE FACADE SIGN ON ONE FACADE OF BUILDING, WHEREAS TWO FACADE SIGNS ARE PROPOSED (ONE ON NORTHERN FACADE, ONE ON WESTERN FACADE)(SEE ARCHITECTURAL PLANS).



LOCATION MAP

NOT TO SCALE



200' RADIUS MAP

SCALE: 1"=200'

MINOR SITE PLAN

FOR

ASSOCIATED BRAKES & MUFFLERS

LOT 29.02 BLOCK 842

TOWNSHIP OF BRICK, OCEAN COUNTY, NJ

SHEET NO.	DESCRIPTION	LAST REVISION	REV.#
1	COVER SHEET & GENERAL NOTES	3/4/11	3
2	EXISTING CONDITIONS PLAN	12/20/10	1
3	SITE PLAN	3/4/11	3
4	GRADING & UTILITIES PLAN	3/4/11	3
5	LANDSCAPE & LIGHTING PLAN	12/20/10	1
6	SOIL EROSION & SEDIMENT CONTROL PLAN	12/20/10	1
7	CONSTRUCTION DETAILS	3/4/11	3

STATUS OF OTHER AGENCY APPROVALS:

OCEAN COUNTY PLANNING BOARD
APPROVED 8/4/2010
BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY
APPROVED 10/16/2010
N.J. DEPARTMENT OF TRANSPORTATION
APPROVED 12/17/2010
OCEAN COUNTY SOIL CONSERVATION DISTRICT
APPROVED 6/3/2010

GENERAL NOTES:

- PROPERTY KNOWN AS LOT 29.02 IN BLOCK 842, AS SHOWN ON BRICK TOWNSHIP TAX MAP SHEET 45.01.
- THE TOTAL TRACT AREA IS 14,300 SQUARE FEET (0.33 ACRES)
- OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT 29.02, BLOCK 842, BRICK TOWNSHIP, OCEAN COUNTY, NEW JERSEY, PREPARED BY LINDSTROM DRESSNER & CARR, P.C. DATED 5/11/2010. THE ERROR OF CLOSURE IS BETTER THAN 1:10,000.
- OWNER/APPLICANT: RICHARD MUNIZ
1710 W PRINCETON AVENUE
BRICK, NJ 08724
- THE PROPERTY IS LOCATED IN THE B-1 NEIGHBORHOOD BUSINESS ZONE DISTRICT.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL, AND SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS. THIS PLAN IS FOR SITE PLAN PURPOSES ONLY AND SHALL NOT CONSTITUTE A SURVEY DRAWING.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- TRASH COLLECTION TO BE BY PRIVATE PICK-UP.
- THE SITE DOES NOT CONTAIN ANY FRESHWATER WETLANDS, BUFFER AREAS, STATE OPEN WATERS, WOODED AREAS, WATERCOURSES OR FLOOD PLAINS.
- UTILITY CONNECTIONS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES AND MAY NOT REPRESENT FINAL LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY WORK IN ACCORDANCE WITH RESPECTIVE AGENCIES REQUIREMENTS.
- EXISTING UTILITIES:
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK IN STREETS WHERE UTILITIES HAVE NOT BEEN LOCATED OR MARKED BY UTILITY COMPANIES.
 - WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVENTS, MATERIALS AND SIZE SO THAT CONFLICTS MAY BE AVOIDED.
- ALL CURBS SHALL BE DEPRESSED WHERE SIDEWALKS AND CROSSWALKS INTERSECT AND WHERE HANDICAP RAMPS ARE INSTALLED.
- ALL TRAFFIC SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL PRE-EXISTING ZONES, SIGNAGE AND STRIPING SHALL BE INSTALLED BY THE DEVELOPER AT THE REQUEST OF THE BUREAU OF FIRE SAFETY IN ACCORDANCE WITH THE TOWNSHIP ORDINANCE CHAPTER 191.
- ADJACENT FEATURES SHALL NOT BE SCALED AS THEY MAY BE SCHEMATIC, EXCEPT WHERE DIMENSIONS MAY BE SHOWN.
- CONSTRUCTION DETAILS ARE INTENDED TO CONFORM TO TOWNSHIP REQUIREMENTS. IN THE EVENT OF DISCREPANCY, THE TOWNSHIP STANDARDS SHALL GOVERN.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2007, AS SUPPLEMENTED.
 - CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS DISCOURAGED OFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- ALL SUBGRADE SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS.
- MATERIALS, WORKMANSHIP, CONSTRUCTION AND DETAILS FOR SITE IMPROVEMENTS ARE INTENDED TO BE IN CONFORMITY TO THOSE ISSUED BY THE BRICK TOWNSHIP ENGINEERING DEPARTMENT AND OCEAN COUNTY ENGINEERING AGENCY FOR FRANCHISED UTILITY HAVING JURISDICTION OVER THE PROJECT. CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS MAY SUPPLEMENT THOSE IDENTIFIED ABOVE. THE NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1998", OR LATEST STANDARD, MAY BE UTILIZED AS A DEFAULT WHERE NO OTHER GUIDANCE IS PROVIDED.
- PROPOSED HOURS OF OPERATION 8 AM TO 6 PM, MONDAY THROUGH SATURDAY.
- MAXIMUM NUMBER OF EMPLOYEES SHALL BE 5.
- SITE LIGHTING SHALL BE ON A TIMER AND TURNED OFF 1 HOUR AFTER BUSINESS CLOSURES WITH THE EXCEPTION OF THE REAR BUILDING MOUNTED LIGHT WHICH SHALL REMAIN ON DUSK TILL DAWN FOR SECURITY PURPOSES.
- LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- ALL WORK PERFORMED ON PROPERTY SHALL BE DONE INSIDE THE BUILDING.
- CARS SHALL BE PROPERLY PARKED ON PROPERTY EITHER IN APPROPRIATE PARKING SPACES OR INSIDE THE BUILDING. NO CARS SHALL BE STACKED ON THE PROPERTY.
- THESE GENERAL NOTES APPLY TO ALL SHEETS IN THE SET.

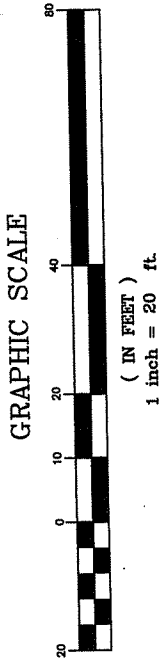
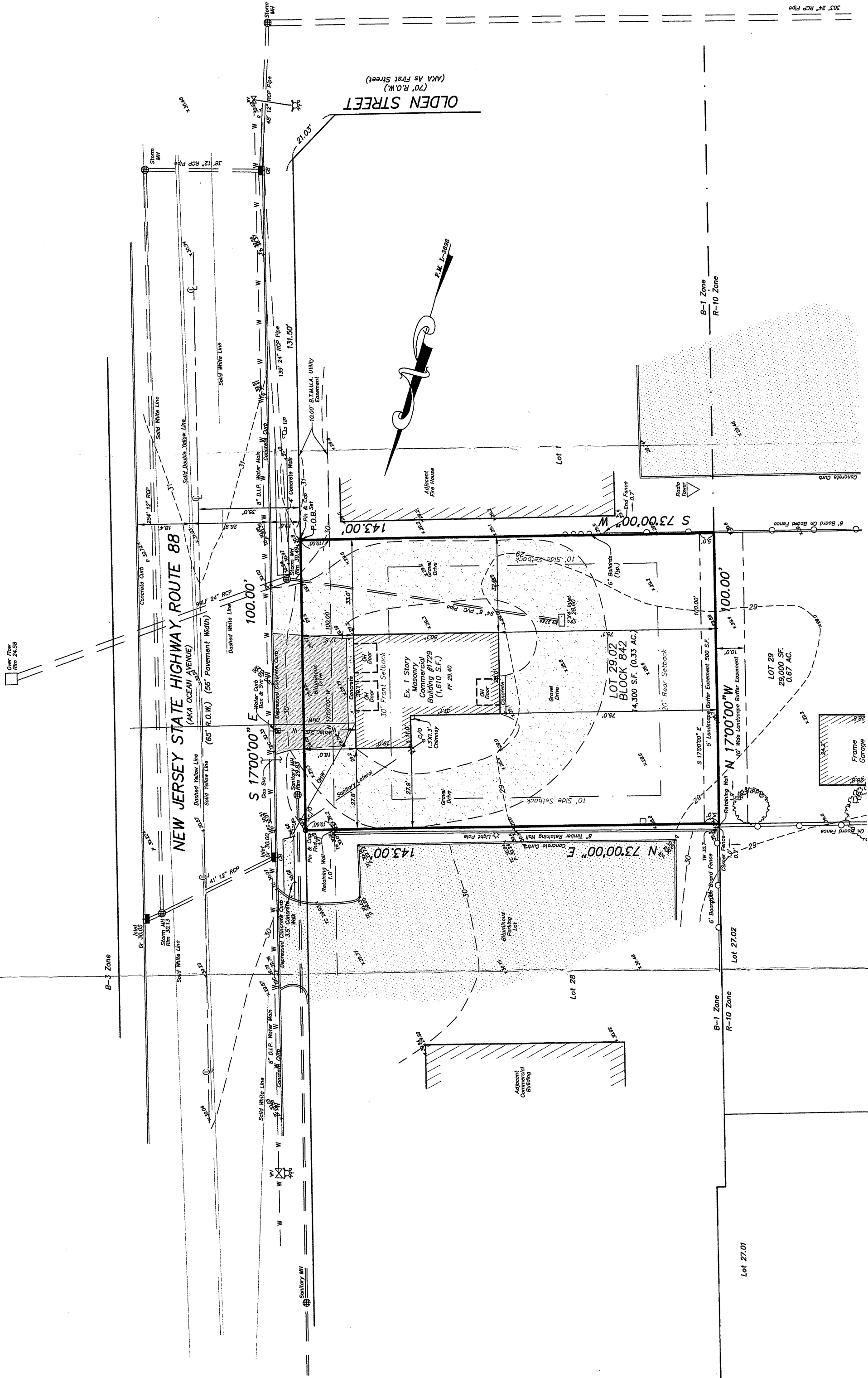
THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
DATE: 04-08-11
SIGNATURE: [Signature]
DIRECTOR OF ENGINEERING MUA # 2075

THE SITE FOR WHICH MINOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP ENGINEERING DEPARTMENT AND OCEAN COUNTY ENGINEERING AGENCY FOR FRANCHISED UTILITY HAVING JURISDICTION OVER THE PROJECT, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.
DATE: 7/14/11
SIGNATURE: [Signature]
ENGINEER

NO.	DATE	REVISION DESCRIPTION	BY
3	3/4/11	UPDATED SHEET INDEX	JSN
2	12/20/10	RESOLUTION COMPLIANCE	JSN
1	10/14/10	REVISED PER NADOT 9/8/10, BTMUA 10/6/10 & TWP BUREAU OF FIRE SAFETY 9/20/10	JSN

Lindstrom, Diessner & Carr, P.C.
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MINOR SITE PLAN			
COVER SHEET & GENERAL NOTES			
ASSOCIATED BRAKES & MUFFLERS		LOT 29.02 BLOCK 842	
TOWNSHIP OF BRICK		OCEAN COUNTY	
CHARLES E. LINDSTROM	PROFESSIONAL ENGINEER N.J. LIC. NO. 24602723900	DRAWN BY: JSN	SHEET: 1 OF 7
PROJECT: NEW JERSEY		PROJECT: 10053	



OUTBOUND & TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY, LOT 29.02, BLOCK 842, BRICK TOWNSHIP, OCEAN COUNTY, NEW JERSEY, DATED 5/11/2010. THE ERROR OF CLOSURE IS BETTER THAN 1:10,000.

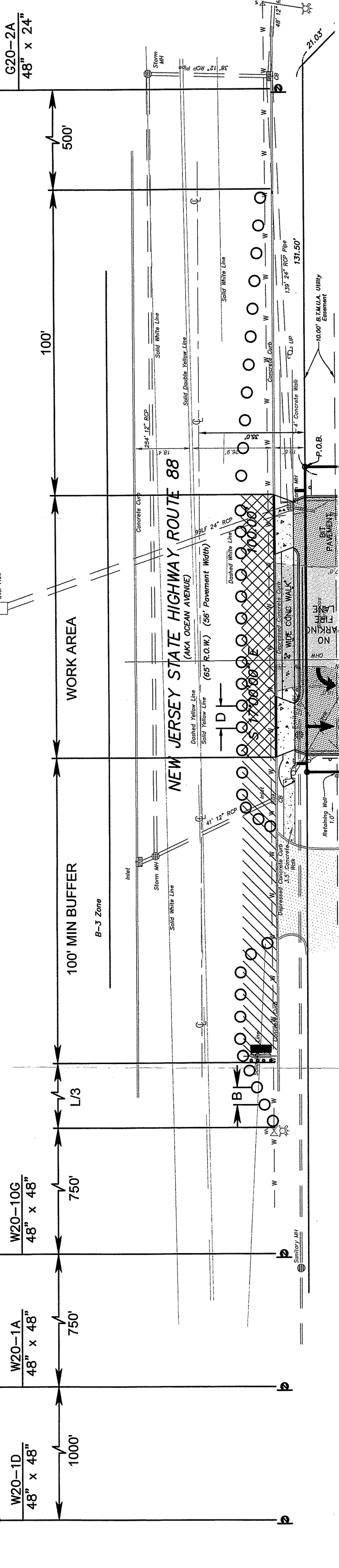
THE SITE FOR WHICH MINOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP BOARD OF FREEHOLDERS AS RESOLUTION 165-2743-MSF-C-B-10, DATED DECEMBER 8, 2010, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

[Signature] 7/1/11 DATE
OWNER
[Signature] 7/1/11 DATE
SECRETARY
[Signature] 7/1/11 DATE
ENGINEER

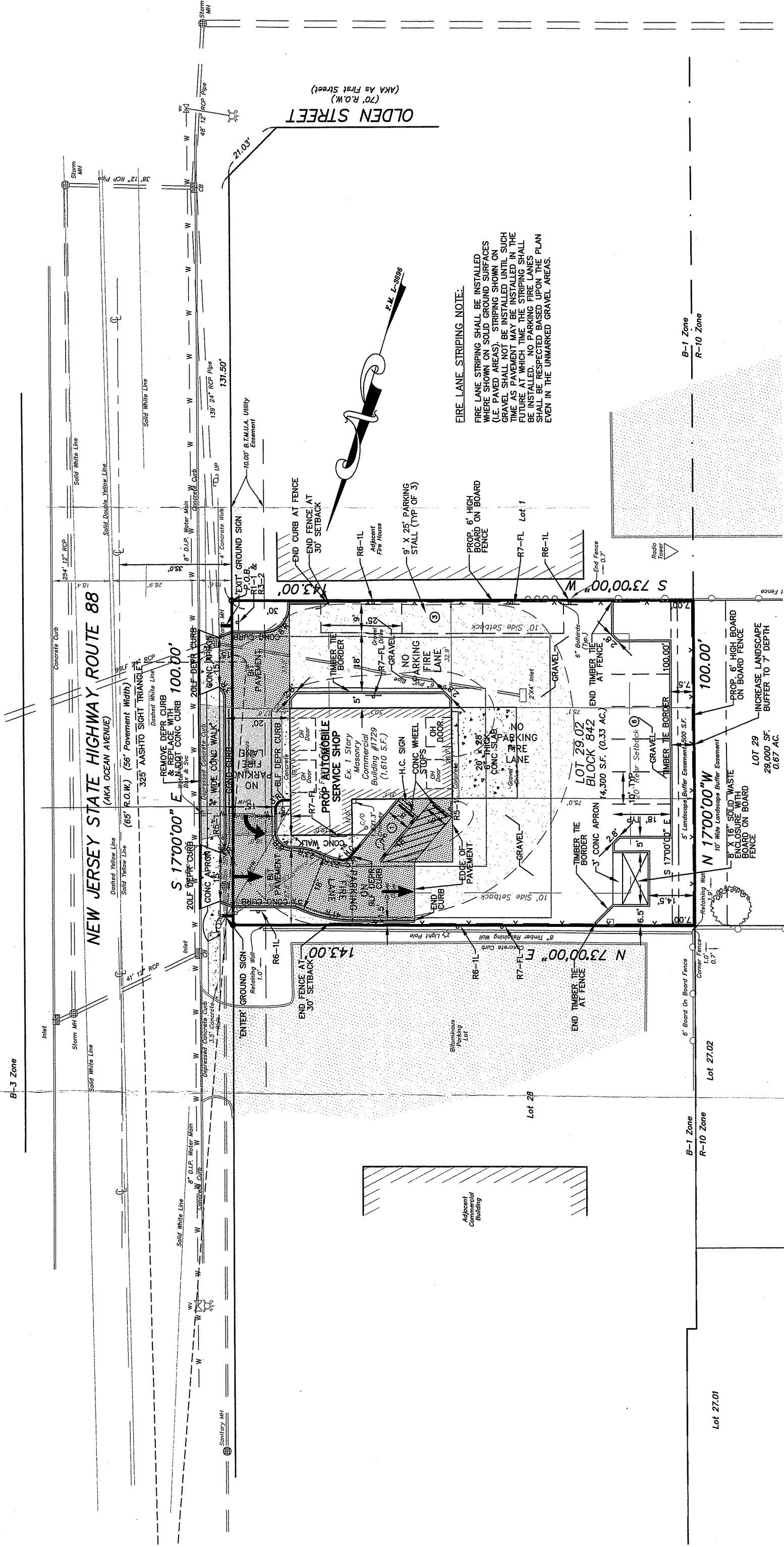
RESOLUTION COMPLIANCE		REVISION DESCRIPTION	
NO.	DATE	BY	DATE
1	12/20/10	JSM	

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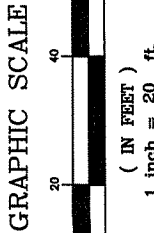
MINOR SITE PLAN
EXISTING CONDITIONS PLAN
ASSOCIATED BRAKES & MUFFLERS
LOT 29.02 BLOCK 842
TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY
PROJECT: 10053
SHEET: 2 OF 7
DATE: 7/14/2010
SCALE: 1"=20'
DRAWN BY: JSM
PROF. ENGINEER: CHARLES E. LINDSTROM, N.J. LIC. NO. 24602473900
PROF. PLANNER: N.J. LIC. NO. 330095530



TRAFFIC CONTROL PLAN



FIRE LANE STRIPING NOTE:
FIRE LANE STRIPING SHALL BE INSTALLED WHERE SHOWN ON SOLID GROUND SURFACES (CLEANED AREAS). STRIPING SHALL BE INSTALLED PRIOR TO THE TIME AS PAVEMENT MAY BE INSTALLED IN THE FUTURE AT WHICH TIME THE STRIPING SHALL BE RESPECTED BASED UPON THE PLAN EVEN IN THE UNMARKED GRAVEL AREAS.



TRAFFIC CONTROL LEGEND

- BREAKAWAY BARRICADES WITH FLASHER UNIT
- BREAKAWAY BARRICADES WITH SIGN AND FLASHER UNIT
- CONSTRUCTION SIGNS
- DRUMS WITH FLASHER UNIT
- CONE
- PRECAST CONCRETE CURB CONSTRUCTION BARRIER (TYPE SPECIFIED)
- DIRECTION OF TRAFFIC FLOW
- FLAGGER
- ILLUMINATED FLASHING ARROW MOUNTED ON TOWING VEHICLE
- SHOWING CAUTION MODE
- TRAFFIC CONTROL TRUCK WITH MOUNTED CRASH CUSHION AND ARROW BOARD SHOWING CAUTION MODE
- BUFFER ZONE
- WORK AREA
- ARROW PANEL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOP OF BLOCK
- SIGNS
- R1-1 STOP
- R3-1 NO LEFT TURN
- R7-1L NO PARKING FIRE LANE
- R3-2 NO LEFT TURN

RECOMMENDED TAPER LENGTH AND SPACING FOR CHANNELIZING TAPERS				RECOMMENDED SPACING ALONG TANGENTS	
REGULATORY APPROACH SPEEDS OF TRAFFIC MILES/HOUR	MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH L - WIDTHS	MINIMUM TAPER LENGTH L - WIDTHS	MAXIMUM DEVICE (B) SPACING ALONG TANGENTS IN FEET	MAXIMUM DEVICE (B) SPACING ALONG TANGENTS IN FEET
25	10:5:1	105	115	125	25
30	15:1	150	165	180	30
35	20:5:1	205	225	245	35
40	25:1	250	275	300	40
45	30:1	300	330	360	45
50	35:1	350	385	420	50
55	40:1	400	440	480	55
60	45:1	450	495	540	60
65	50:1	500	550	600	65
70	55:1	550	605	660	70
75	60:1	600	660	720	75
80	65:1	650	715	780	80
85	70:1	700	770	840	85
90	75:1	750	825	900	90
95	80:1	800	880	960	95
100	85:1	850	935	1020	100
105	90:1	900	990	1080	105
110	95:1	950	1045	1140	110
115	100:1	1000	1100	1200	115
120	105:1	1050	1155	1260	120
125	110:1	1100	1210	1320	125
130	115:1	1150	1265	1380	130

NOTE:
THE MAXIMUM DEVICE SPACING ALONG CURVES SHALL BE AS DEFINED FOR TAPERS (B) IN THE ABOVE TABLE.

THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN BY THE BRICK TOWNSHIP BOARD OF ADJUSTMENT AS MEMORIALIZED BY RESOLUTION #BA-2743-MSP-C-D-8/10 DATED DECEMBER 8, 2010, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

STEPHEN T. SPECHT, P.E.
DIRECTOR OF ENGINEERING
MUA # 2075

THE SITE FOR WHICH MINOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP BOARD OF ADJUSTMENT AS MEMORIALIZED BY RESOLUTION #BA-2743-MSP-C-D-8/10 DATED DECEMBER 8, 2010, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

CHAIRMAN
SECRETARY
ENGINEER

NO.	DATE	REVISION DESCRIPTION	BY
3	3/4/11	REVISED CURB ALONG BUILDING	JSM
2	12/20/10	RESOLUTION COMPLIANCE	JSM
1	10/14/10	REVISED PER NDOT 9/8/10, BTMUA 10/6/10 & TWP BUREAU OF FIRE SAFETY 9/20/10	JSM

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MINOR SITE PLAN
SITE PLAN
ASSOCIATED BRACKES & MUFFLERS
LOT 29.02 BLOCK 842
OCEAN COUNTY NEW JERSEY

CHARLES E. LINDSTROM
PROFESSIONAL ENGINEER N.J. Lic. No. 246027430
PROFESSIONAL PLANNER N.J. Lic. No. 330104330

DRAWN BY: JSM
SCALE: 1"=20'
DATE: 7/14/2010
SHEET: 3 OF 7
PROJECT: 10053

UTILITY NOTES:

1. IF IT IS FOUND THAT IT IS REQUIRED AS PART OF THE PROPOSED IMPROVEMENTS FOR THE SITE, THE APPLICANT/PROPERTY OWNER WILL BE RESPONSIBLE FOR HAVING THE EXISTING SANITARY MANHOLE FRAME AND COVER RELOCATED TO THE PROPOSED LOCATION AND PROVIDING THE NECESSARY CONNECTIONS INTO THE PROPERTY.
2. IT WILL BE THE RESPONSIBILITY OF THE APPLICANT AND/OR THE CONTRACTOR TO VERIFY THE EXISTING SANITARY MANHOLE FRAME AND COVER LOCATION AND ELEVATION FOR THE PROJECT INCLUDING PROPERLY ADJUSTING THE ELEVATION OF THE SANITARY SEWER CLEANOUT WHICH IS CLOSEST TO THE EXISTING SANITARY MANHOLE AS REQUIRED.
3. NO SANITARY SEWER CLEAN-OUT AND/OR WATER SERVICE CURB BOX SHALL BE LOCATED IN THE DRIVEWAY APRONS OR WALKWAYS. IF DURING CONSTRUCTION, ANY SANITARY SEWER CLEAN-OUT OR WATER SERVICE CURB BOX IS LOCATED IN THESE NOTED AREAS, THEY WILL BE REQUIRED TO BE RELOCATED BY THE APPLICANT/PROPERTY OWNER AT HIS COSTS.

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOP OF BLOCK

Soil Log
Soil Boring No. 1
Lot 29.02, Block 842
Brick Twp, NJ
Date Performed 11.12.2010

DEPTH	DESCRIPTION
From To	
0' 1.0'	LOAMY SAND, VERY DARK GRAY, 10 YR 3/1 SINGLE GRAIN STRUCTURE. FEW ROOTS, NO STONE, MOIST (TOPSOIL).
1.0' 2.75'	MEDIUM SAND, DARK YELLOWISH BROWN 10 YR 4/4 SINGLE GRAIN STRUCTURE. NO ROOTS, FEW STONES, MOIST
2.75' 4.0'	LOAMY SAND, DARK BROWN 10 YR 3/3 SINGLE GRAIN STRUCTURE. PEATY MINERALS, FEW ROOTS, NO STONE, MOIST
4.0' 5.75'	MEDIUM SAND, YELLOWISH BROWN 10 YR 5/6 SINGLE GRAIN STRUCTURE. NO ROOTS, TRACE STONE, MOIST
5.75' 7.0'	MEDIUM SAND, YELLOWISH BROWN 10 YR 5/6 MOTTLED DARK YELLOWISH BROWN 10 YR 4/6 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST
7.0' 10.0'	MEDIUM TO COARSE SAND, YELLOWISH BROWN 10 YR 5/6 SINGLE GRAIN STRUCTURE. NO ROOTS, TRACE STONE, MOIST
10.0' 12.0'	COARSE TO VERY COARSE SAND, YELLOWISH BROWN 10 YR 5/6 GRANULAR STRUCTURE. NO ROOTS, MANY STONES, MOIST
	NO WATER OBSERVED

THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
STEPHEN T. SPRECHT, P.E.
DIRECTOR OF ENGINEERING
DATE 04-08-11
MUA # 2075

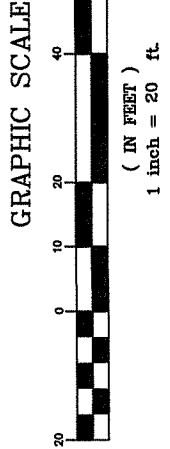
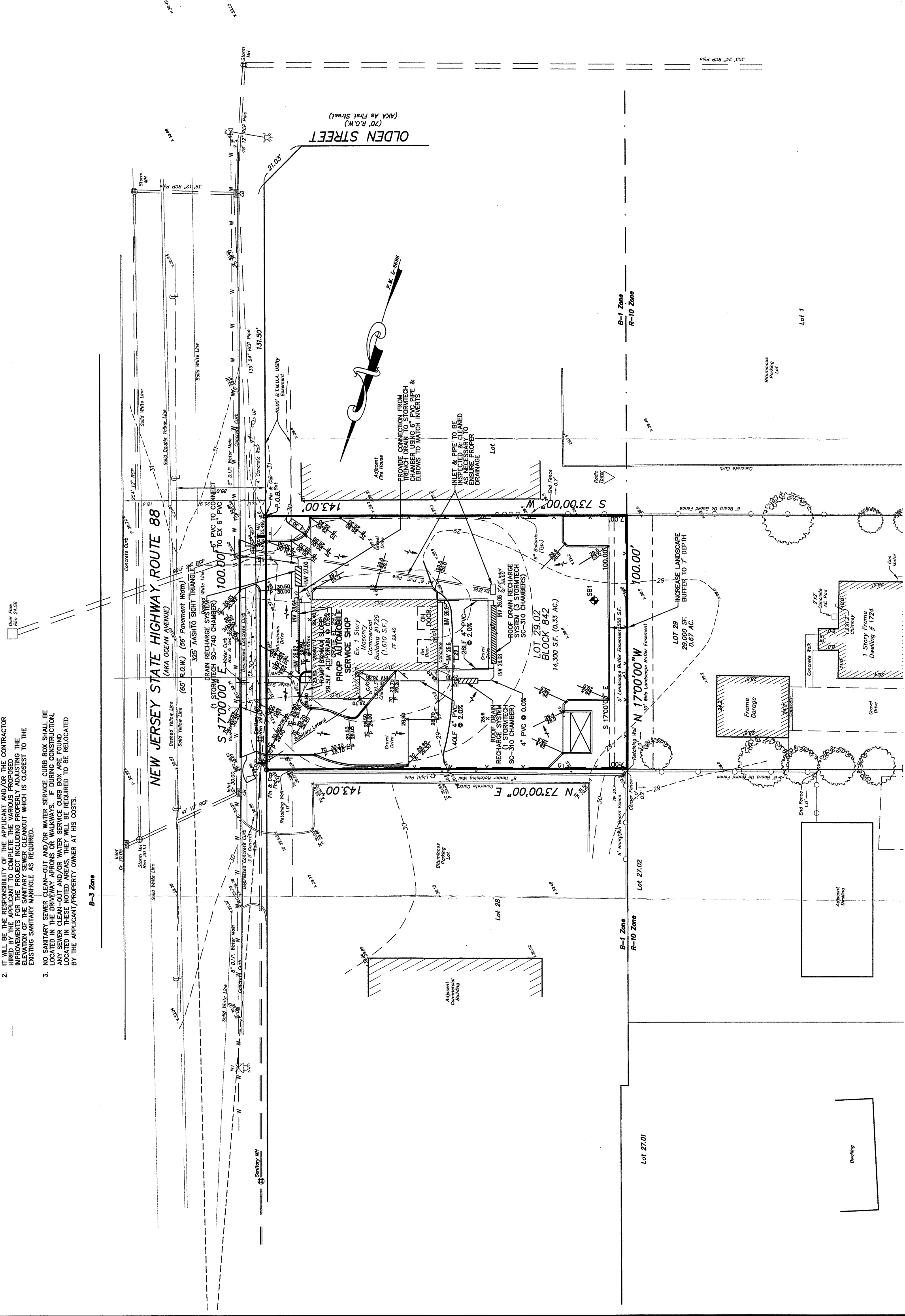
THE SITE FOR WHICH MINOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP BOARD OF ADJUSTMENT AS A CONDITION OF THE APPROVAL OF THE SITE PLAN DATED DECEMBER 8, 2010, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

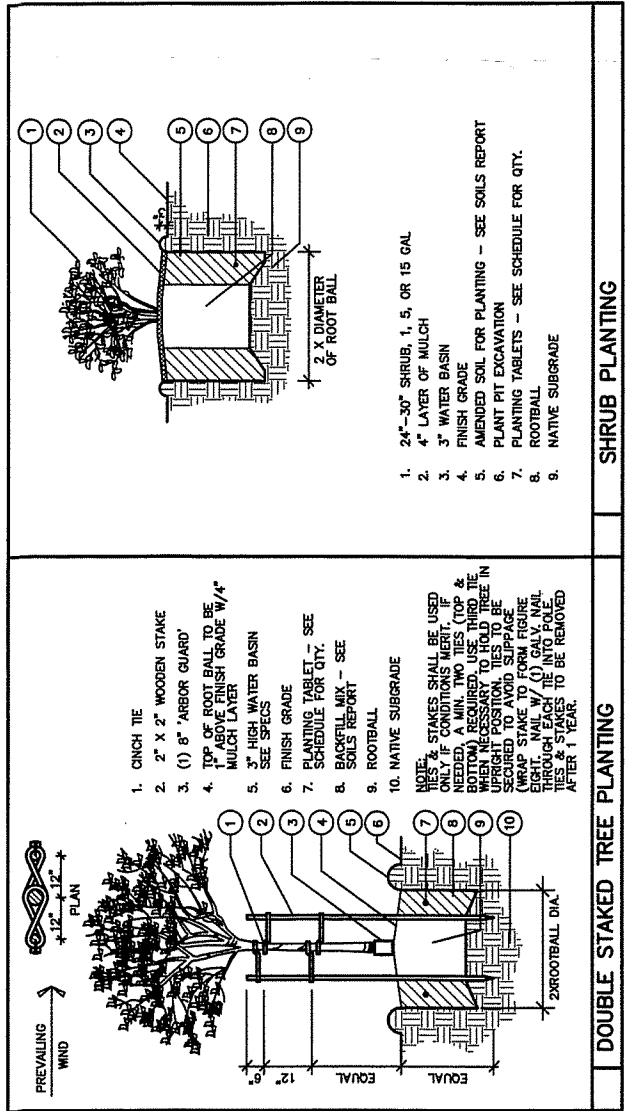
DATE 7/26/11
DATE 7/26/11
DATE 7/26/11
ENGINEER

NO.	DATE	REVISION DESCRIPTION	BY
3	3/4/11	REMOVED TO ADD TRENCH DRAIN & RELATED GRADING	JSM
2	12/20/10	RESOLUTION COMPLIANCE	JSM
1	10/14/10	REVISED PER NUDOT 9/8/10, ERMUA 10/6/10 & TWP BUREAU OF FIRE SAFETY 9/20/10	JSM

Lindstrom, Diessner & Carr, P.C.
ENGINEERING & SURVEYING & PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel: (732) 477-9800 • Fax: (732) 477-9028

MINOR SITE PLAN GRADING & UTILITIES PLAN ASSOCIATED BRAKES & MUFFLERS LOT 29.02 BLOCK 842 TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY	PROJECT: 10053 SHEET: 4 OF 7 DATE: 7/14/2010 SCALE: 1"=20' DRAWN BY: JSM
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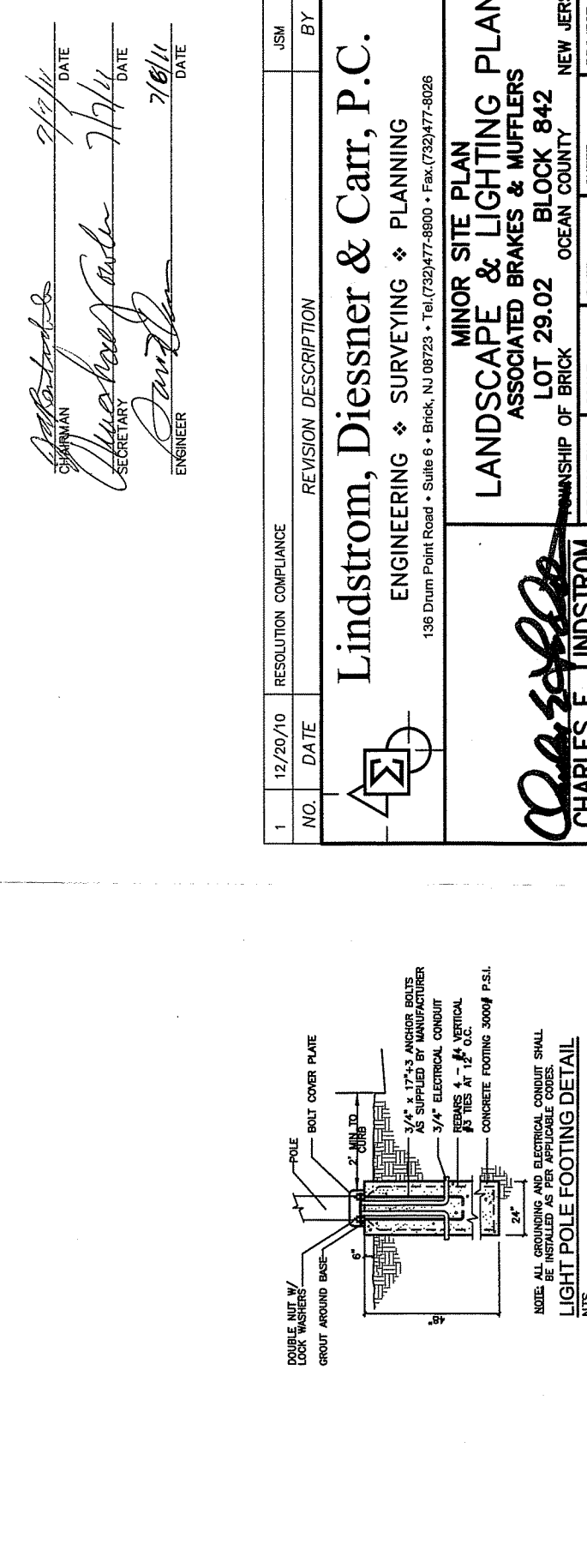
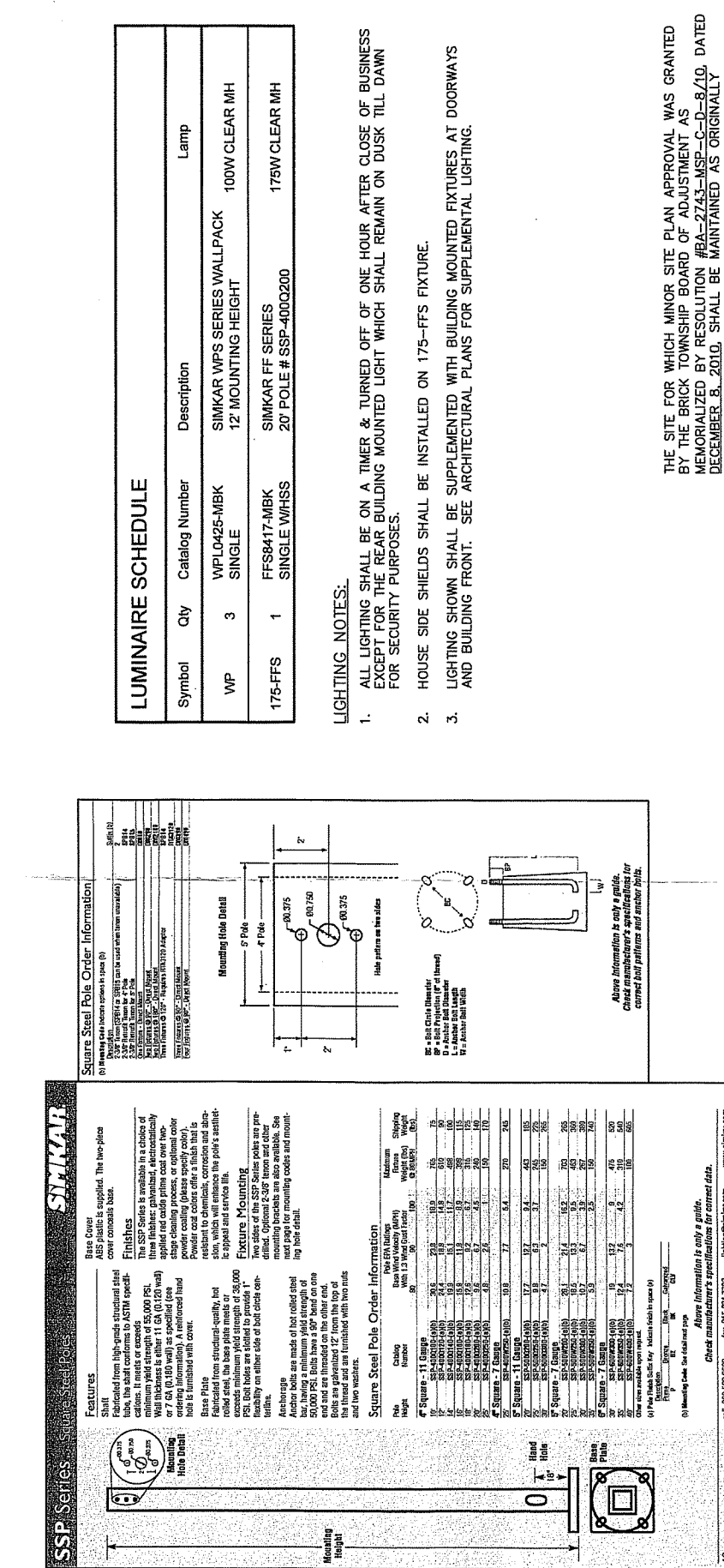
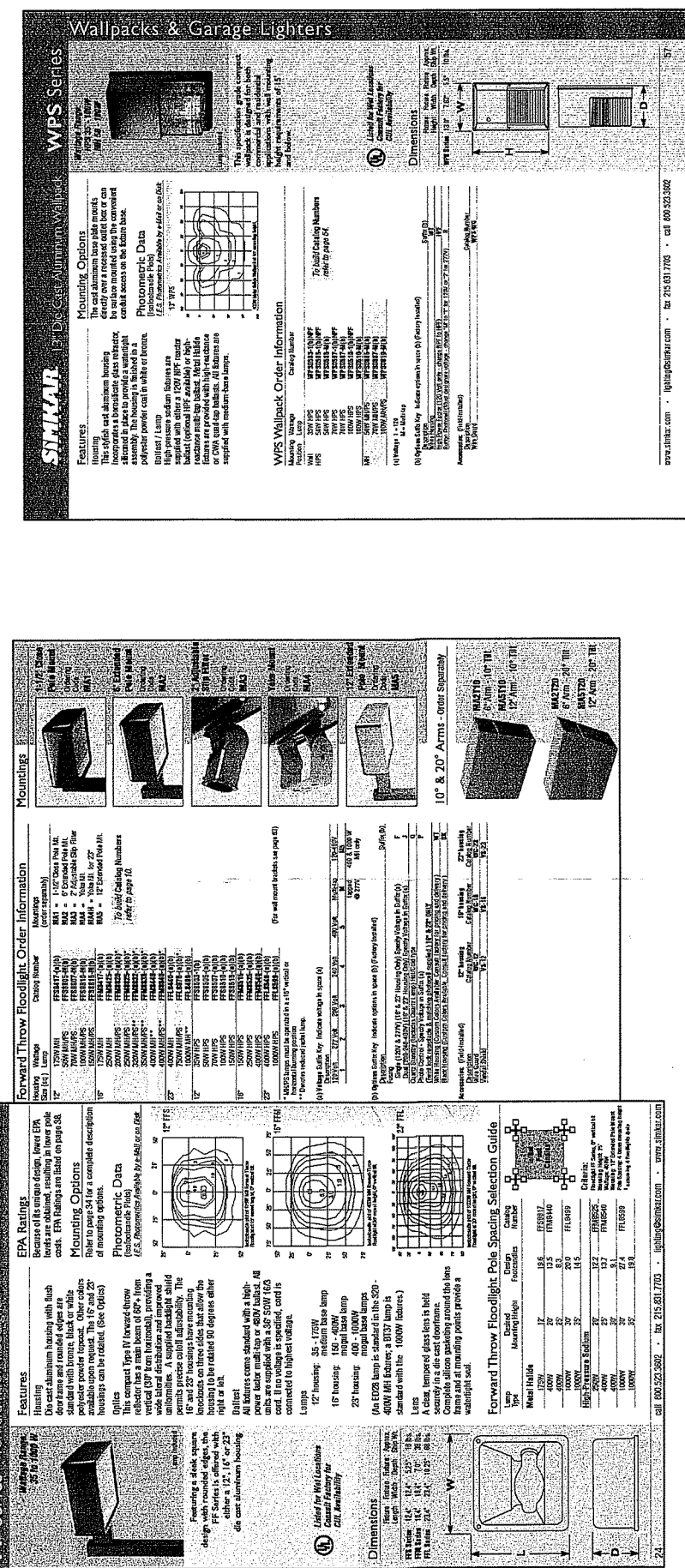
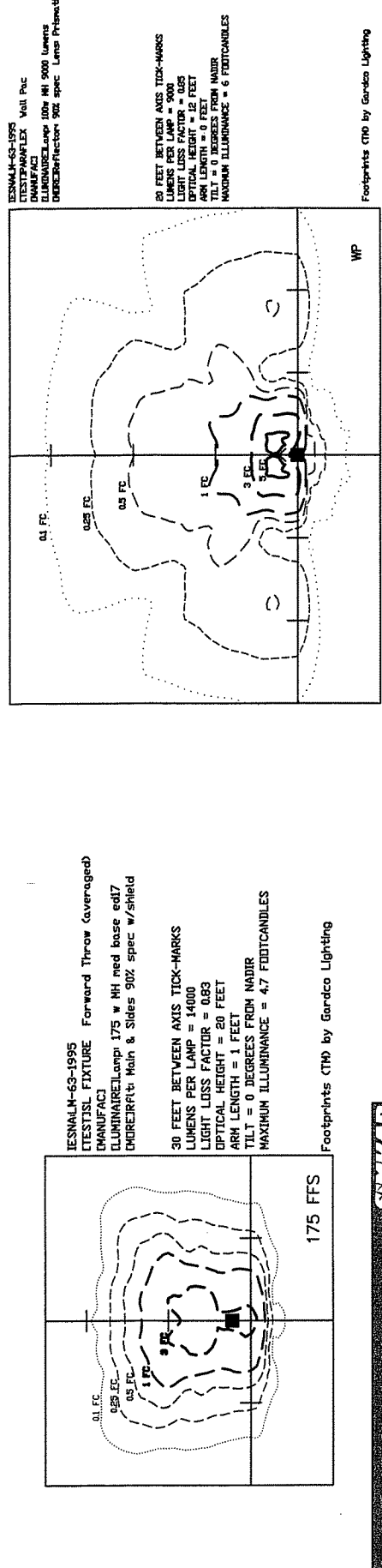
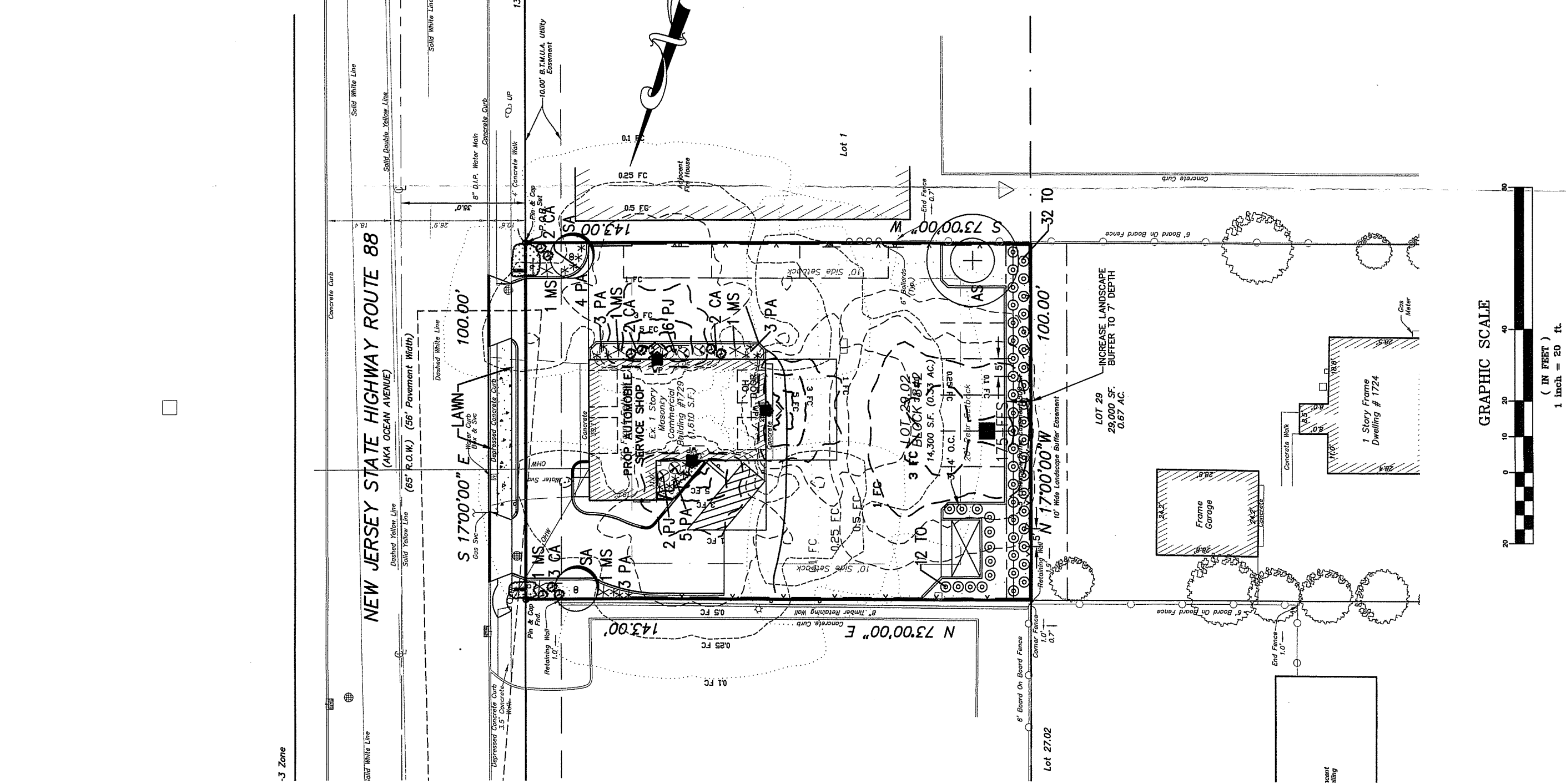
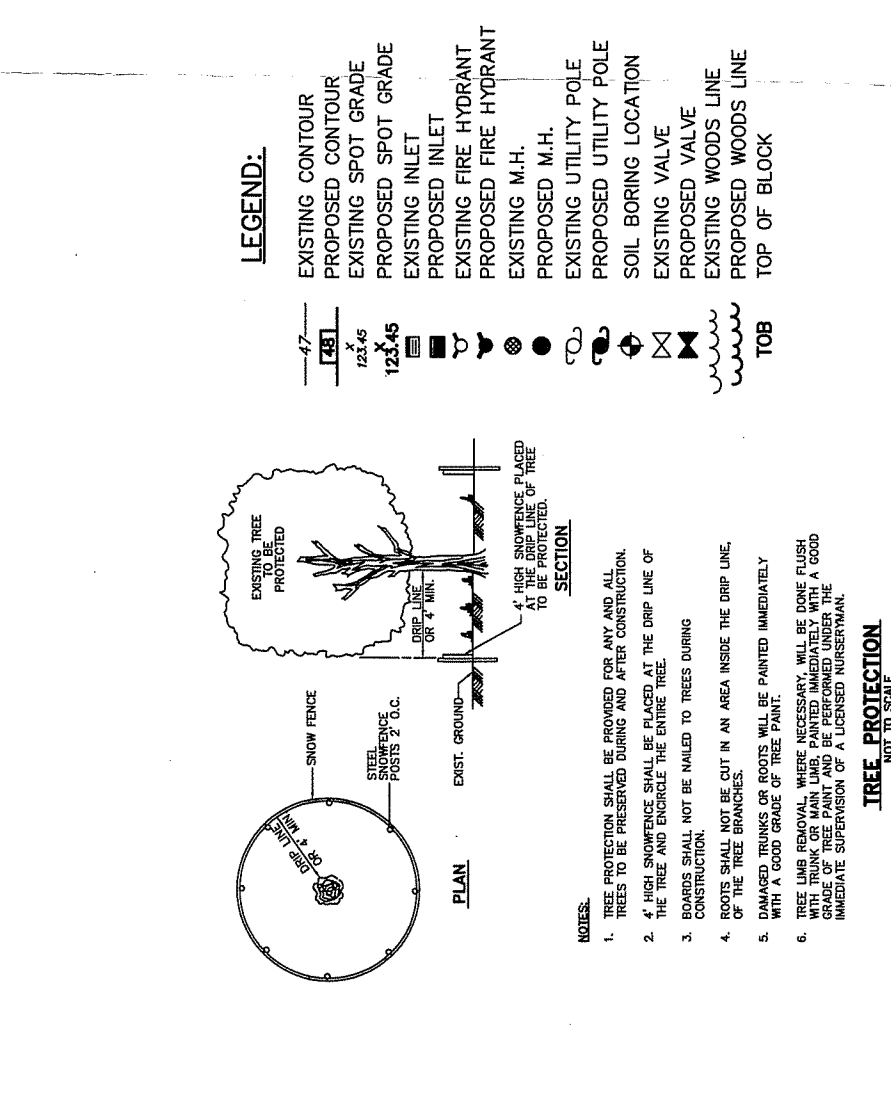


DOUBLE STAKED TREE PLANTING

GENERAL PLANTING NOTES

- MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED ON TOP OF ALL PLANTING AREAS. THE BEDS SHALL BE FINAL GRADED AND BAKED MATERIALS.
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SYMBOL	BOTANICAL/COMMON NAME	SPACING	SIZE	MATURE HEIGHT	MATURE SPREAD	QTY
AS	ACER SACCHARINUM GREEN MOUNTAIN	N/A	2-2 1/2 CAL B&B	75	40-50'	1
PC	PIRUS CALLERYANA REDSPHRE	N/A	2-2 1/2 CAL B&B	20-40'	20-30'	2
TO	THUJA OCCIDENTALIS EMERALD GREEN	SEE PLAN	5-6 B&B	15	2-3'	51
PJ	PIRUS JAPONICA	4 O.C.	3 GAL	5-12'	6-8'	8
MS	MISCANTHUS SINENSIS MORNING LIGHT	3 O.C.	1 GAL	5-8'	4-5'	5
PA	PENNSYLVANIA ALPICOIDES HAMELEN	3 O.C.	1 GAL	2-3'	1-2'	18
CA	CLETHRA ALFOLIA	6 O.C.	3 GAL	5'	4-5'	9
AS REQ.	SWEET PEPPERBUSH					



WPS Series

Wallpacks & Garage Lighters

FF Series

Forward Throw Floodlight Order Information

SSP Series

Square Steel Pole Order Information

LUMINAIRE SCHEDULE

Symbol	Qty	Catalog Number	Description	Lamp
WP	3	WFL0425-MBK	SIMKAR WPS SERIES WALLPACK	100W CLEAR MH
175-FFS	1	FFS0417-MBK	SIMKAR FF SERIES	175W CLEAR MH

LIGHTING NOTES:

- ALL LIGHTING SHALL BE ON A TIMER & TURNED OFF OF ONE HOUR AFTER CLOSE OF BUSINESS. EXCEPT FOR BUILDING MOUNTED LIGHT WHICH SHALL REMAIN ON DUSK TILL DAWN FOR SECURITY PURPOSES.
- HOUSE SIDE SHIELDS SHALL BE INSTALLED ON 175-FFS FIXTURE.
- LIGHTING SHOWN SHALL BE SUPPLEMENTED WITH BUILDING MOUNTED FIXTURES AT DOORWAYS AND BUILDING FRONT. SEE ARCHITECTURAL PLANS FOR SUPPLEMENTAL LIGHTING.

THE SITE FOR WHICH MINOR SITE PLAN APPROVAL WAS GRANTED BY THE BOARD OF ADJUSTMENT AS MEMORIALIZED BY RESOLUTION 2433-MS-C-B-00, DATED DECEMBER 8, 2010, SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

Lindstrom, Diessner & Carr, P.C.

ENGINEERING ♦ SURVEYING ♦ PLANNING

136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel: (732) 477-8026

MINOR SITE PLAN

LANDSCAPE & LIGHTING PLAN

ASSOCIATED BRACKS & MUFFLERS

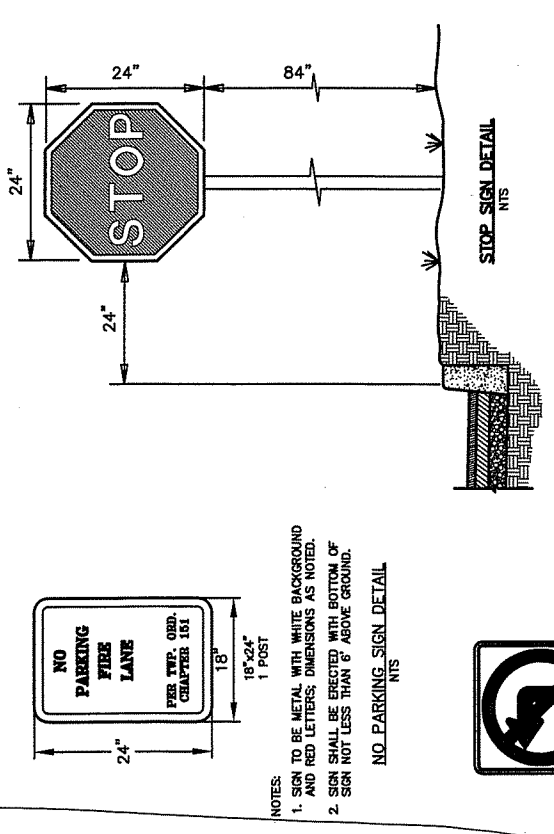
LOT 29.02 BLOCK 842

OWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY

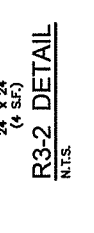
CHARLES E. LINDSTROM

PROFESSIONAL ENGINEER N.J. LIC. NO. 3310023300

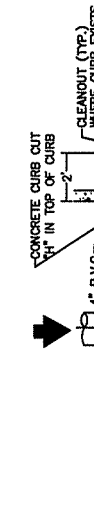
DATE: 7/14/2010 **SHEET:** 5 OF 7 **PROJECT:** 10063



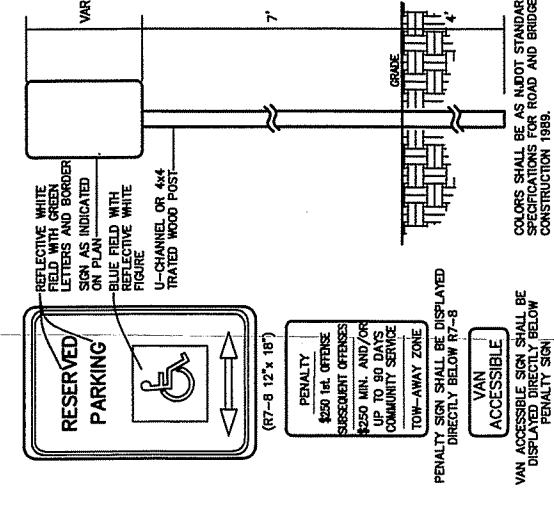
NOTES:
1. TO BE METAL WITH WHITE BACKGROUND
2. SIGN SHALL BE ERECTED WITH BOTTOM OF SIGN NOT LESS THAN 6' ABOVE GROUND.
NO PARKING SIGN DETAIL



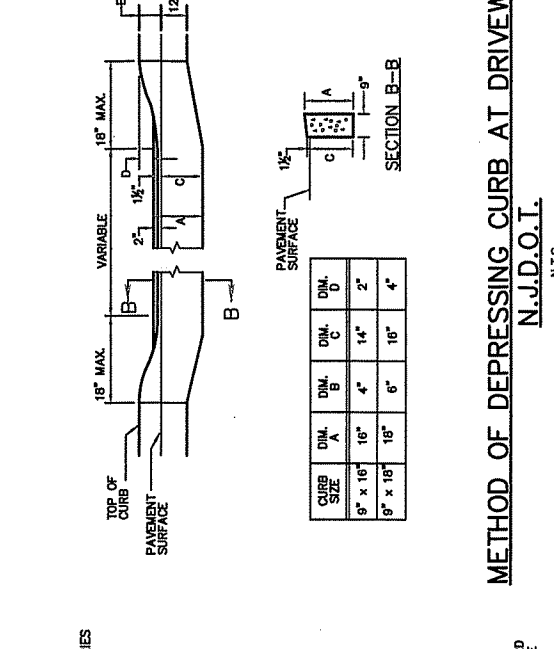
24" x 24"
1 1/2" POST
NO PARKING SIGN DETAIL



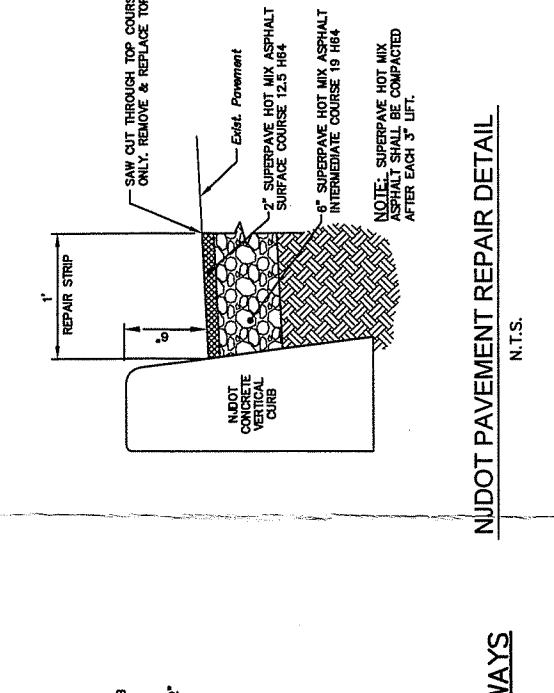
24" x 24"
1 1/2" POST
STOP SIGN DETAIL



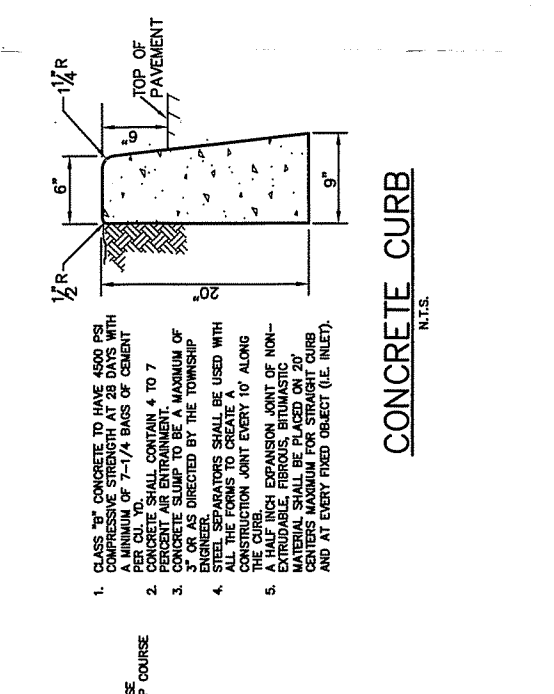
RESERVED PARKING
18" x 24" x 1/4"
1 1/2" POST
RESERVED PARKING SIGN DETAIL



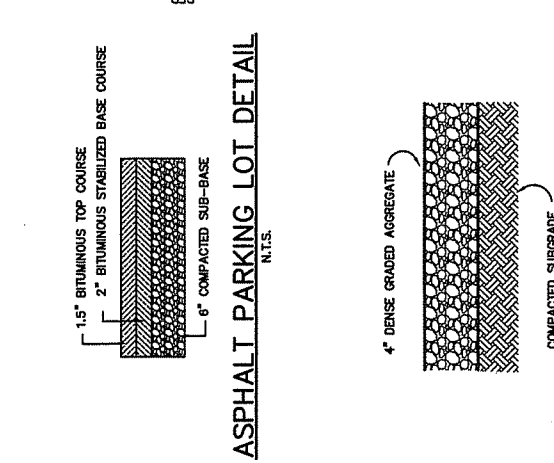
METHOD OF DEPRESSING CURB AT DRIVEWAYS
N.J.D.O.T.
N.T.S.



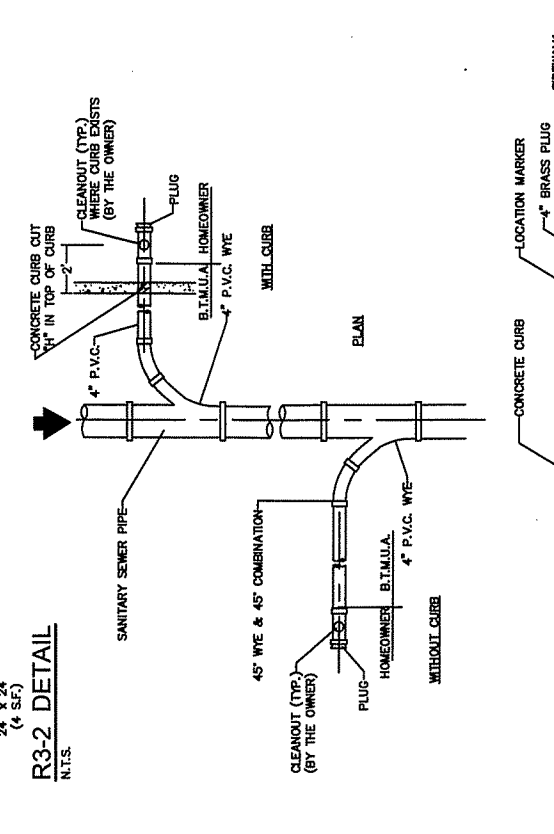
NIDOT PAVEMENT REPAIR DETAIL
N.T.S.



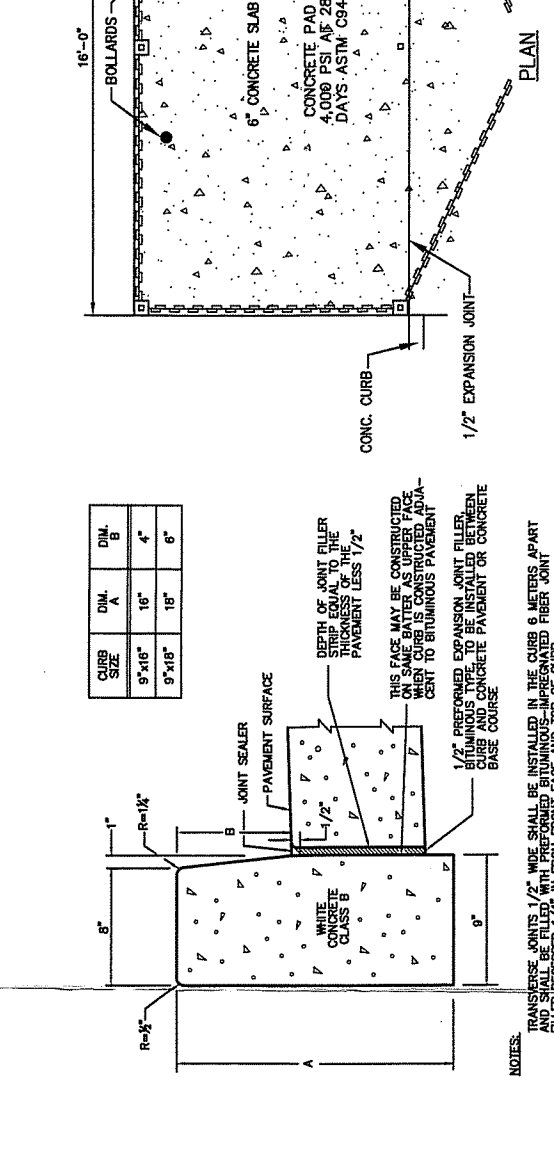
CONCRETE CURB
N.T.S.



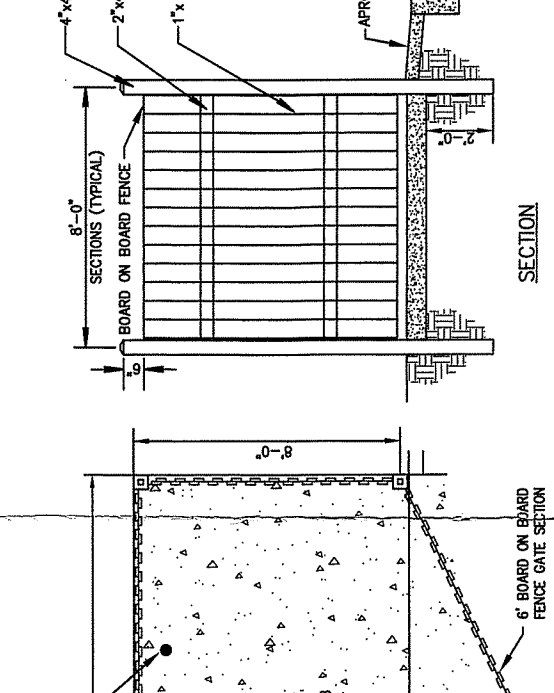
ASPHALT PARKING LOT DETAIL
N.T.S.



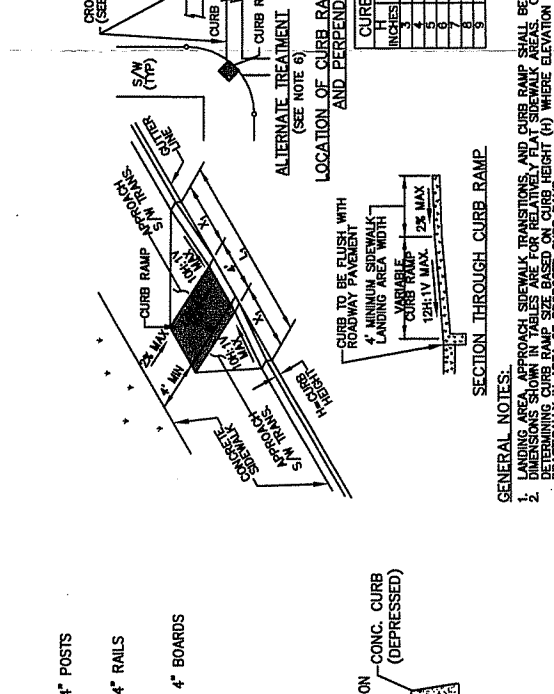
WHITE CONCRETE VERTICAL CURB
N.J.D.O.T.
N.T.S.



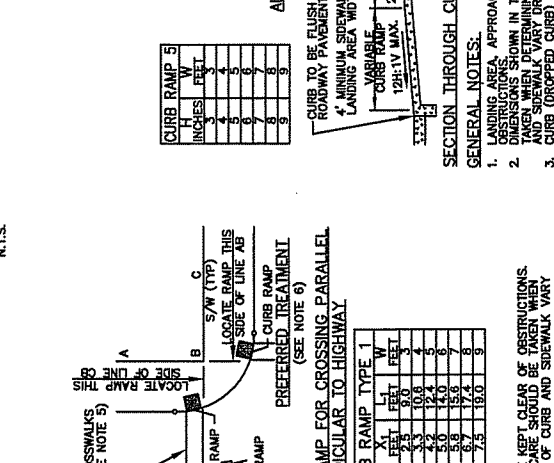
SOLID WASTE ENCLOSURE DETAIL
N.T.S.



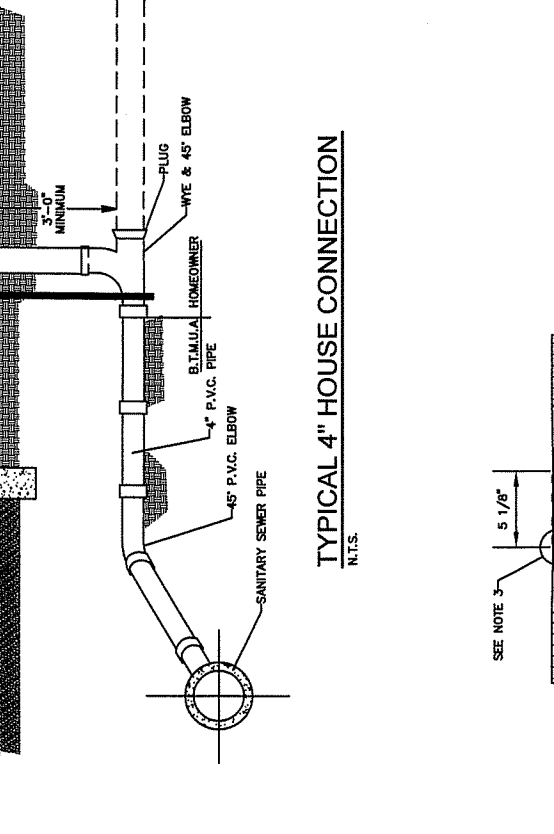
CURB RAMP TYPE 1
N.T.S.



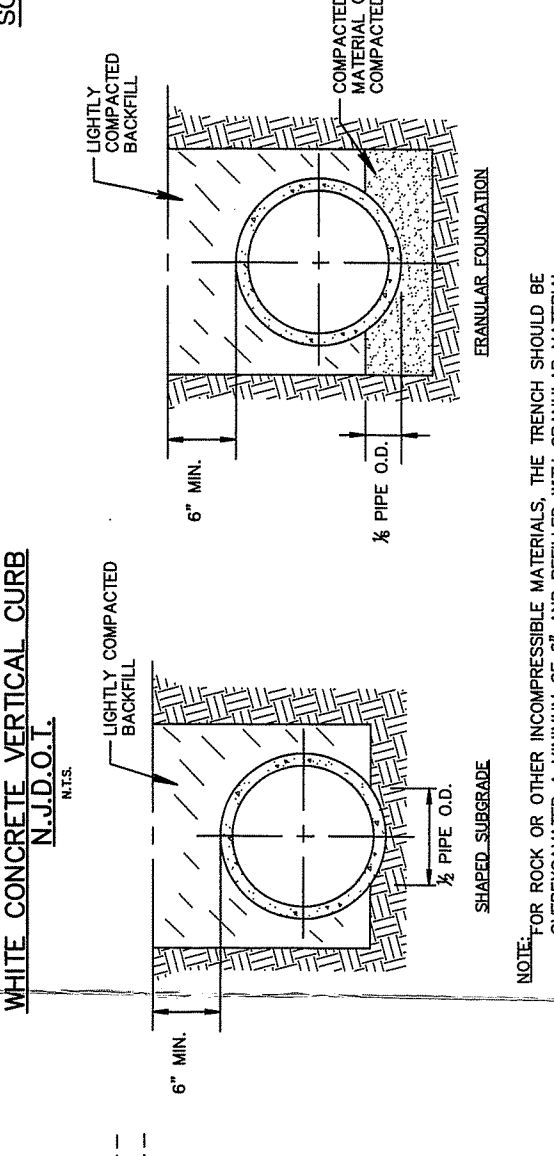
CURB RAMP TYPE 5
N.T.S.



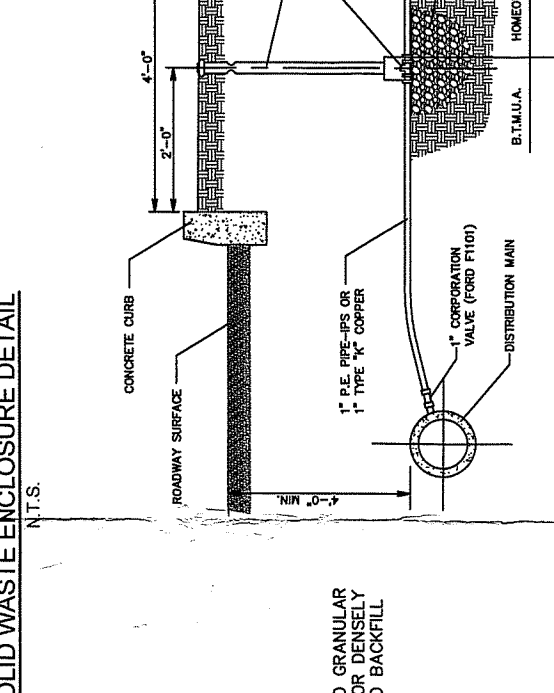
CONCRETE SIDEWALK DETAIL
N.T.S.



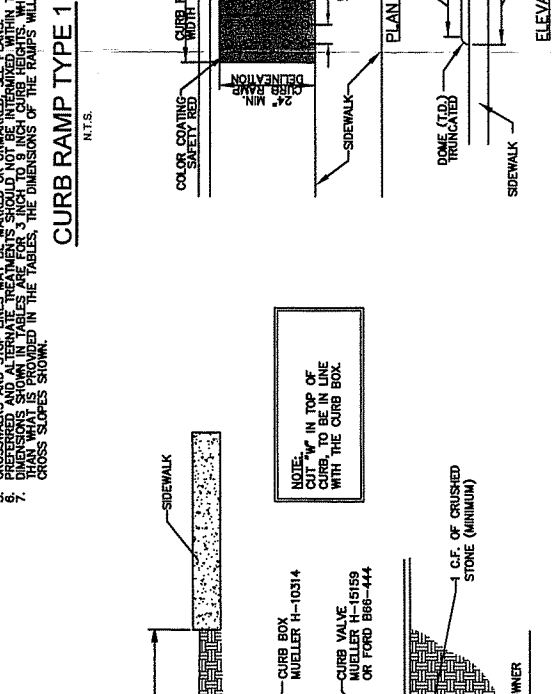
TYPICAL 4" HOUSE CONNECTION
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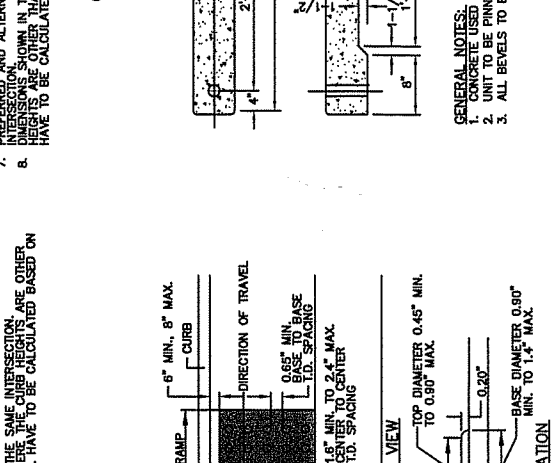
CONCRETE PAD DETAIL
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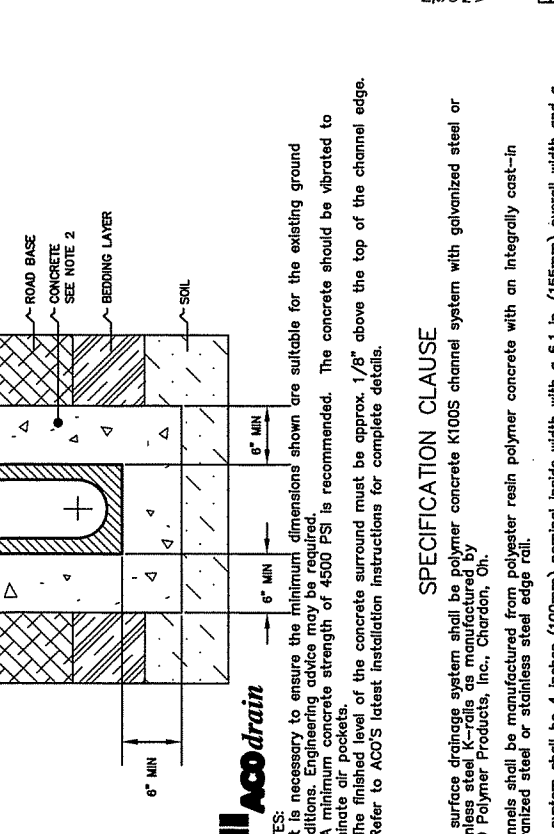
DETECTABLE WARNING SURFACE
N.T.S.



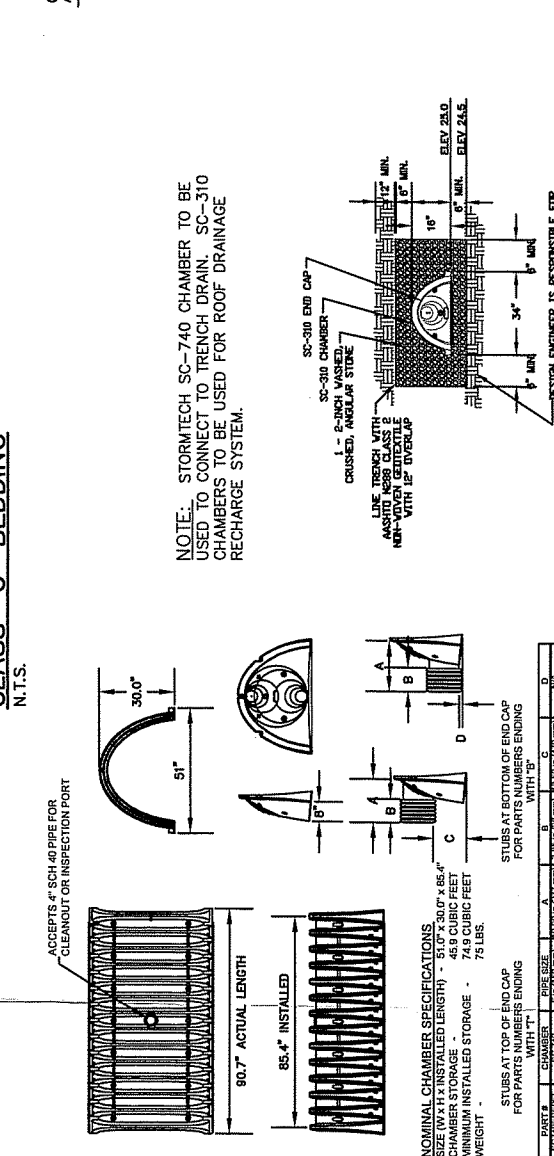
WHEEL STOP DETAIL
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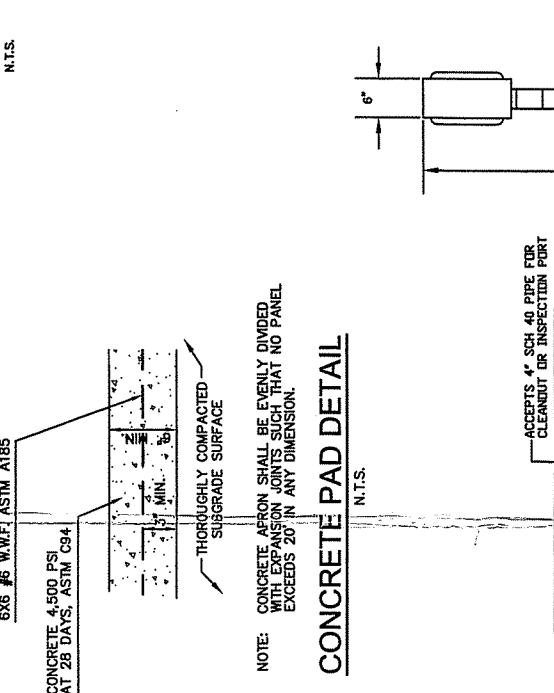
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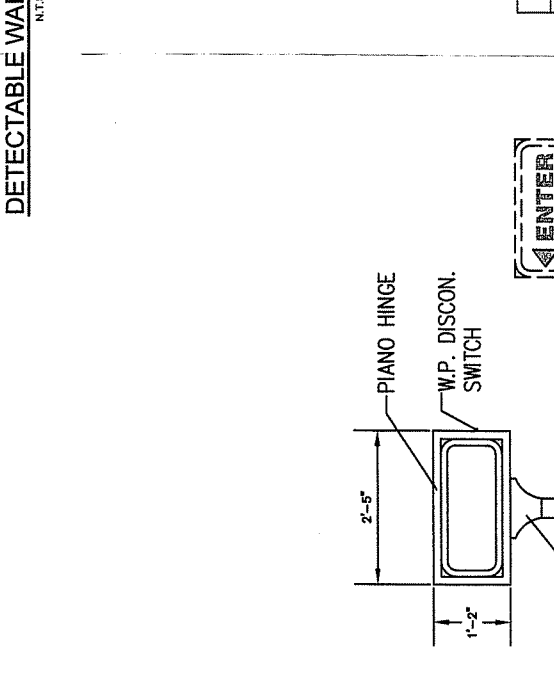
SPECIFICATION CLAUSE
N.T.S.



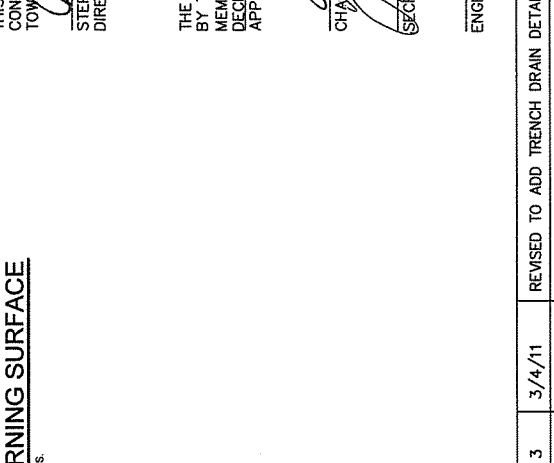
STORMTECH SC-310 CHAMBER SYSTEM
N.T.S.



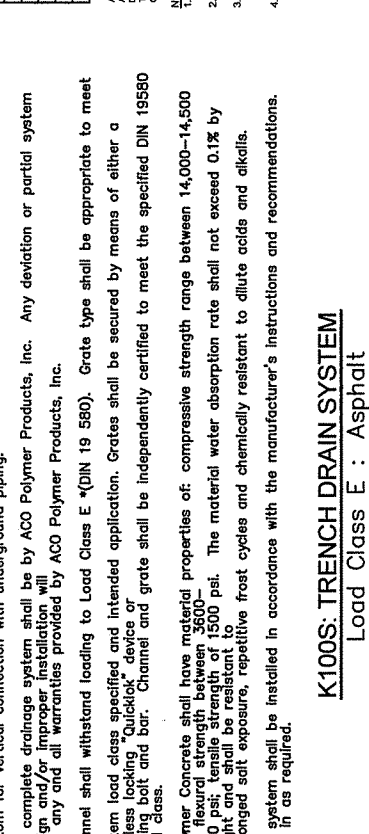
STORMTECH SC-310 CHAMBER SYSTEM
N.T.S.



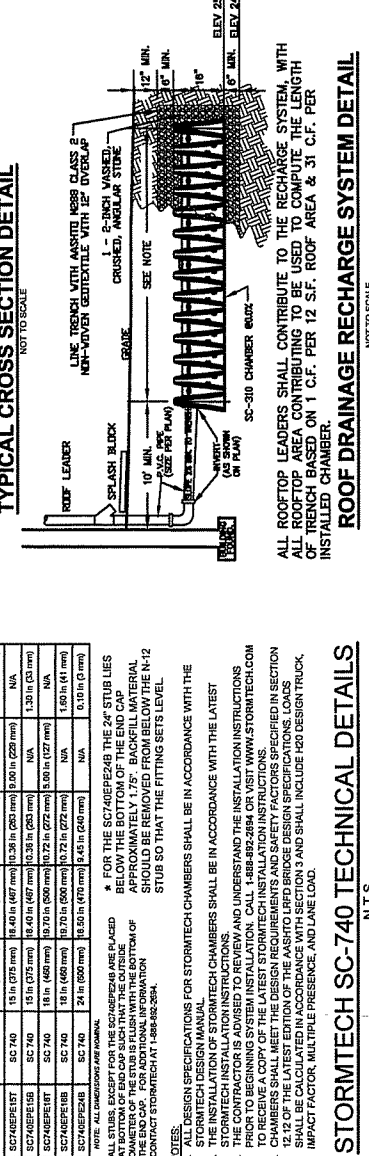
STORMTECH SC-310 CHAMBER SYSTEM
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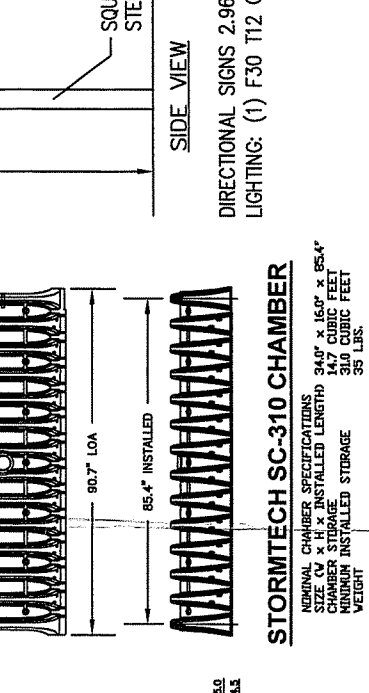
STORMTECH SC-310 CHAMBER SYSTEM
N.T.S.



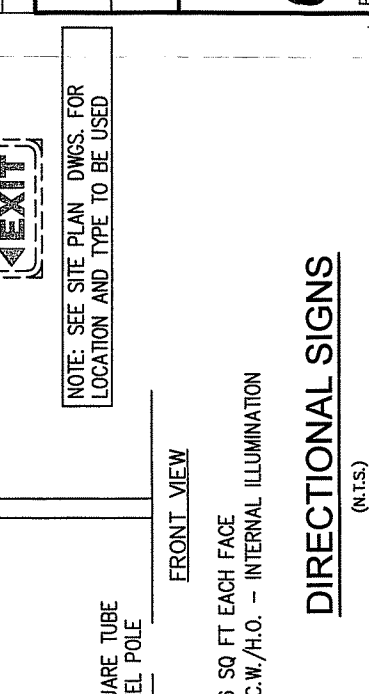
TRENCH DRAIN SYSTEM
Load Class E: Asphalt
N.T.S.



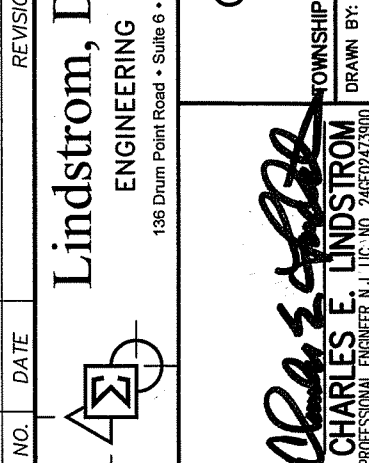
TRENCH DRAIN SYSTEM
Load Class E: Asphalt
N.T.S.



TRENCH DRAIN SYSTEM
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TRENCH DRAIN SYSTEM
Load Class E: Asphalt
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TRENCH DRAIN SYSTEM
Load Class E: Asphalt
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2	12/20/10	RESOLUTION COMPLIANCE	JSM
1	10/14/10	REVISED PER NJDOT 9/9/10, BTRMA 10/6/10 & TWP BUREAU OF FIRE SAFETY 9/20/10	JSM

MINOR SITE PLAN	CONSTRUCTION DETAILS	ASSOCIATED BRACKS & MUFFLERS	LOT 29.02	BLOCK 842	TOWNSHIP OF OCEAN COUNTY	NEW JERSEY
CHARLES E. LINDSTROM	CHARLES E. LINDSTROM	CHARLES E. LINDSTROM	CHARLES E. LINDSTROM	CHARLES E. LINDSTROM	CHARLES E. LINDSTROM	CHARLES E. LINDSTROM
PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390	PROFESSIONAL ENGINEER N.J. LIC. NO. 2462747390

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