



Township Archives
Township of Brick, NJ
401 Chambers Bridge Rd, Brick, NJ 08723

***This File Contains Personal Identifiable
Information of Private Citizen(s).***

Certain information contained in this file is *Exempt from Release* under the Open Public Records Act (OPRA) (Public Law 2001, CHAPTER 404 (N.J.S.A. 47:1A-1 et seq.)) and Executive Orders issued by the Governor of New Jersey. The following information ***MUST*** be redacted prior to release:

- Social Security Numbers
- Drivers' License Numbers
- Unlisted Phone Numbers
- Credit Card Numbers
- Bank Account Numbers and Balances

For further information, consult with the Township Clerk, Township Archivist or Township Attorney prior to release.

A handwritten signature in black ink, appearing to read "Bryan J. Dickerson", is written over the printed name.

Bryan J. Dickerson, CA, CMR
Township Archivist

Issued: 8 January 2020

21-1284

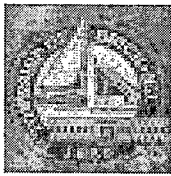


C-21-001625

Tel. 432-551-7551 FAX: _____

(office use only)

Proposed



Brick Township
401 Chambersbridge Rd
Brick, NJ 08723

Date Issued 06/30/2021
Control Number C-21-001625
Permit Number 21-1284
Permit Issue Date 05/14/2021
Certificate Number 21-1284

Certificate

Construction Code Division
(Certificate of Approval)

Identification

Work Site Location: 151 JOHN ST. Brick Township, NJ Block: 1170.06 Lot: 1 Qual: _____
Owner in Fee: STUTESMAN, VALERIE
Owner Address: 151 JOHN ST BRICK NJ 08724
Telephone: (732) 551-8551
Contractor KIKI POOL INSTALLER INC
Address 12 ADAM BLVD SOUTH AMBOY NJ 08879
Telephone: (732) 727-3733 Fax: (732) 727-3383 Federal Emp. Number: 20-1737227
License Number or Builders Registration Number: _____

Home Warranty Number: _____ Type of Warranty Plan: ☐ State ☐ Private

Use Group: U Construction Classification: _____

Maximum Live Load: 0 Maximum Occupancy Load: 0

Description of Work/Use: ABOVE GROUND SWIMMING POOL

Certificate Comments:

☐ Certificate of Occupancy

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☒ Certificate of Approval

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ Certificate of Continued Occupancy

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ Temporary Certificate of Compliance

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

☐ Certificate of Clearance - Lead Abatement 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period (years); see file

☐ Certificate of Clearance - Asbestos Abatement

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
☐ Partial or limited time period (years); see file

☐ Certificate of Compliance

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ Temporary Certificate of Occupancy

The following conditions must be met no later than: or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

Daniel Newman Jr

Construction Official

Date Printed: 06/30/2021

U.C.C. F260 (rev. 08/05)

Fee: \$0.00

Check Number: _____

Collected By: _____



BUILDING SUBCODE TECHNICAL SECTION



Date Received
Control #

Date Issued
Permit #

5/14/21
21-1284

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1170.06 Lot 1 Qualification Code _____

Work Site Location 151 John St, BRICK TOWNSHIP
NJ 08724

Owner in Fee: Valerie Stutesman

Tel. (732) 551-8551 e-mail vjoy01@aol.com

Address 151 John St, BRICK TOWNSHIP NJ 08724

Contractor: Kiki Pool Installations, LLC Tel. (732) 727-3733

Address 12 Adam Blvd. South Amboy, NJ e-mail kikipools@gmail.com

Contractor License No. or Builder Registration No. 13VH05103600 Exp. Date 3-31-2022

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. _____ FAX: (732) 727-3383

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature _____

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

As per 2018 ISPC

Above ground swimming pool SUNK in the ground
16'x28'x52"

43" in the ground

Approximately 36 inches above grade

Existing Board on Board Fence 6ft
Chain link 4ft w/ pool compliant
Recessed In ground Pool

TYPE OF WORK:

- ☐ New Building
☐ Addition
☐ Rehabilitation
☐ Roofing
☐ Siding
☒ Fence 6ft x 4ft Height (exceeds 6')
☐ Sign _____ Sq. Ft.
☒ Pool
☐ Retaining Wall _____ Sq. Ft.
☐ Asbestos Abatement Subchapter 8
☐ Lead Haz. Abatement NJAC 5:17
☐ Radon Remediation
☐ Other _____
☐ Demolition

FEE (Office Use Only)

\$ _____

Administrative Surcharge \$ _____

Minimum Fee \$ _____

State Permit Surcharge Fee \$ _____

TOTAL FEE \$ _____

1 White = Inspector Copy
3 Pink = Office Copy

2 Canary = Office Copy
4 Gold = Applicant Copy

JOB SUMMARY

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)
☐ No Plans Required			Type:	Failure Failure Approval Initial
☒ All	<u>5-14-21</u>	<u>OS</u>	Footings	
☐ Footings/Foundations			Footings Bonding	
☐ Structural/Framework			Foundation	
☐ Exterior			Slab	
☐ Interior			Frame	
Joint Plan Review Required:			Truss Sys./Bracing	
☐ Elec. ☐ Plumb. ☐ Fire ☐ Elevator			Barrier-Free	
SUBCODE APPROVAL for PERMIT			Insulation	
Date: <u>5-14-21</u>			Finishes -Base Layer	
Approved by: <u>OS</u>			Finishes -Final	
SUBCODE APPROVAL for CERTIFICATE			Energy	
☐ CO ☐ CCO ☐ CA			Mechanical	
Date: <u>06/16/21</u>			TCO	
Approved by: <u>WCP</u>			Other	
			Final <u>6-3-21</u>	
			Barrier-Free	
				<u>6-3-21 OS</u>

B. BUILDING CHARACTERISTICS

Use Group Present _____ Proposed _____ Constr. Class Present _____ Proposed _____

No. of Stories _____ If Industrialized Building: _____

Height of Structure _____ ft. State Approved _____ HUD _____

Area — Largest Floor _____ sq. ft. Est. Cost of Bldg. Work:

New Bldg. Area/All Floors _____ sq. ft. 1. New Bldg. \$ _____

Volume of New Structure _____ cu. ft. 2. Rehabilitation \$ _____

Max. Live Load _____ 3. Total (1+ 2) \$ 4150

Max. Occupancy Load _____ U.C.C. F110

(rev. 12/07)

Brick Township

401 Chambers Bridge Road
Brick, NJ 08723
732-262-1030

CORRECTION NOTICE

ADDRESS 151 John St

PERMIT NUMBER 21-1284

BLOCK 1170.06 LOT 1

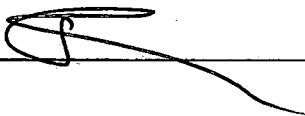
OWNER Finzel

Upon inspection, violations of the ☒ Building ☐ Plumbing ☐ Electric ☐ Fire Code
were in evidence and the following orders are hereby issued for their correction:

All Gates to self close & latch

PLEASE CALL FOR INSPECTION WHEN CORRECTIONS HAVE BEEN COMPLETED. ACCEPTANCE AND
APPROVAL BY AN INSPECTOR OF THIS DEPARTMENT IS REQUIRED.

DATE 6-3-21

INSPECTOR 



ELECTRICAL SUBCODE TECHNICAL SECTION



Date Received
Control #
Date Issued
Permit #

01/14/21
21-1284

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1170.06 Lot 1 Qualification Code _____
Work Site Location 151 John St

Owner in Fee: Valerie Stutesman

Tel. 732 475-7688 e-mail vjoy01@aol.com

Address 151 John St Block 15 08724

Contractor: HORIZON ELECTRIC Tel. 732 740 7715

Address 30 WOODLAND DR e-mail HORIZON277@AOL.COM

B RILEY N.J. 08723

Contractor License No. 34E101280300 Exp. Date 03-21

Home Improvement Contractor Registration No. or Exemption Reason _____

Federal Emp. ID No. 22-3446627 FAX: _____

B. ELECTRICAL CHARACTERISTICS

Use Group Present _____ Proposed _____

[] Pole/Pad # _____ [] Temporary [] Other _____

Building Occupied as _____ Utility Co. _____

Est. Cost of Elec. Work \$ 250

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW		Type:	Failure	Approval	Initial
[] No Plans Required		Rough			
[] Partial Under-slab Utilities Approved		Barrier-Free			
Date: _____ Approved by: _____		Trench			
[] Electric Plans Approved		Temp. Serv.			
Date: <u>6-11-21</u> Approved by: <u>WME</u>		Constr. Serv.			
Joint Plan Review Required:		TCO <u>1002A</u>			
[] Bldg. [] Plumb. [] Fire [] Elev.		Other			
SUBCODE APPROVAL for PERMIT		Service			
Date: <u>6-11-21</u>		Final			
Approved by: <u>WME</u>		Barrier-Free			
SUBCODE APPROVAL for CERTIFICATE		Temp. Cut-in Card Date Issued			
[] CO [] ECO [] CA		Final Cut-in Card Date Issued			
Date: <u>6-16-21</u>		Annual Pool Inspection			
Approved by: <u>WME</u>		Date of Grounding and Bonding Certification			

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant sign/Contractor sign and seal here: _____

Print name here: _____

☒ Licensed Elec. Contractor [] Certifd Landscape Irrigation Contr [] Exempt Applicant

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK:

TIME CLOCKS, OUTLET, BOND, ABOVE GROUND PEEK

QTY.	SIZE	ITEMS	FREE (Office Use Only)
		Lighting Fixtures	
		Receptacles	
		Switches	
		Detectors	
		Light Poles	
		Motors—Fract. HP	
		Emergency & Exit Lights	
		Communications Points	
		Alarm Devices/F.A.C. Panel	
		TOTAL NUMBERS	
		Pool Permit/with UW Lights	
		Storable Pool/Spa/Hot Tub	
		KW Elec. Range/Receptacle	
		KW Oven/Surface Unit	
		KW Elec. Water Heater	
		KW Elec. Dryer/Receptacle	
		KW Dishwasher	
		HP Garbage Disposal	
		KW Central A/C Unit	
		HP/KW Space Heater/Air Handler	
		KW Baseboard Heat	
		HP Motors 1/+ HP	
		KW Transformer/Generator	
		AMP Service	
		AMP Subpanels	
		AMP Motor Control Center	
		KW Elec. Sign/Outline Light	

Administrative Surcharge	\$
Minimum Fee	\$
State Permit Surcharge Fee	\$
TOTAL FEE	\$ <u>1600</u>



CONSTRUCTION PERMIT

Date Issued
Control #
Permit #

5/14/21
C-21-001625
21-1284

IDENTIFICATION Block: 1170.06 Lot: 1 Qualifier: _____
Work Site Location: 151 JOHN ST. Brick Township, NJ Contractor: KIKI POOL INSTALLER INC
Address: 12 ADAM BLVD SOUTH AMBOY NJ 08879
Owner in Fee: STUTESMAN, VALERIE
151 JOHN ST BRICK NJ 08724 Telephone: (732) 727-3733
Telephone: (732) 551-8551 Lic. No. or Bldrs. Reg. No. 13VH05103600
Federal Employee No. 20-1737227

Is hereby granted permission to perform the following work:

- ☒ BUILDING ☐ PLUMBING ☐ LEAD HAZARD ABATEMENT
☒ ELECTRICAL ☐ FIRE PROTECTION ☐ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT (Subchapter 8 only) ☐ OTHER

DESCRIPTION OF WORK:

ABOVE GROUND SWIMMING POOL

Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$4,400

D. Newman
Construction Official

Date 5/14/21

U.C.C. F170
equiv (rev 1/04)

1 WHITE - INSPECTOR

2 CANARY - OFFICE

3 PINK - TAX ASSESSOR

4 GOLD - APPLICANT

PAYMENTS (Office Use Only)

Building	\$150
Electrical	\$150
Plumbing	\$0
Fire Protection	\$0
Elevator Devices	\$0
Other	\$0.00
DCA Training Fee	\$8
CO Fee	
Other	\$0
Total	\$308
Check No.	<u>1773</u>
Cash	\$0
Credit	\$0
Collected By	

+50
358

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that the work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval granted.

☒ Required inspections for all subcodes for one- and two-family dwellings are as follows:

- The bottom of footing trenches before placement of footings, except that in cases of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
- Foundations and all walls up to grade level prior to back filling.
- All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and /or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.
- Installation of all finished materials, sealings of exterior joints, plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

- ☒ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

- ☒ A complete copy of released plans must be kept on the job site.

If you do not understand any of this information, please ask.

RECEIVING CLERK 1/23/21

DATE REC'D

ZONING PERMIT APPLICATION

PERMIT # _____

DATE ISSUED _____

BLOCK: 1170.06 LOT: 1 QUALIFIER: _____ SITE ADDRESS: _____

IDENTIFICATION:

1. NAME OF OWNER IN FEE: Valerie StutesmanCOMPLETE ADDRESS: 1st John St
Brick NJ 08124PHONE # 732-551-8551 EMAIL: vjoy01@aol.com2. NAME OF APPLICANT: Home Owner

APPLICANT ADDRESS: _____

PHONE # _____ EMAIL: _____

3. RESPONSIBLE PERSON FOR WORK: Homeowner

PHONE# _____ FAX# _____

4. SIGNATURE OF APPLICANT: Valerie Stutesman

FOR OFFICE USE ONLY

FEE SUMMARY:

APPLICATION FEE: \$ _____

OTHER: \$ _____

TOTAL: \$ _____

REQUIRED BY APPLICANT

RESIDENTIAL: X

COMMERCIAL: _____

EXISTING USE: SFDPROPOSED USE: SFD

BOARD APPROVAL: _____ PB _____ ZB _____

RESOLUTION#: _____

APPROVAL DATE: _____

PROJECT DESCRIPTION: (PLEASE CHECK APPLICABLE WORK & DESCRIBE)

*NEW BUILDING: ☒ *ADDITION _____ *ALTERATION _____ *PORCH _____ *DECK _____POOL: ABOVE GROUND _____ IN GROUND ☒ FENCE: HEIGHT _____ TYPE _____ MATERIAL _____

HEIGHT: _____ (*IF APPLICABLE)

OTHER Recessed pool approx 3-4 inches above ground

DESCRIPTION: _____

ZONING REVIEW:

DATE REVIEWED: 4-30-21

DATE DENIED: _____

DATE APPROVED: 4-30-21INITIALS: pe

(SEE BACK PAGE)



Brick Township
401 Chambers Bridge Rd.
Brick, NJ 08723
(732) 262-1041

Date Issued: _____
Application Number: ZA-21-00643
Application Date: 4/27/2021
Project Number: _____
Permit Number: _____
Fee: \$50.00

Zoning Permit

Worksite **151 JOHN ST.**
Location: **Brick Township, NJ 08724**

Owner: **STUTESMAN, VALERIE**
Address: **151 JOHN ST**
BRICK, NJ 08724

Applicant: **KIKI POOL INSTALLER INC**
Address: **12 ADAM BLVD**
SOUTH AMBOY, NJ 08879

Block: 1170.06 Lot: 1 Qualifier: _____ Zone: R-7.5

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Present Use: Single-Family Residential

☐ Non Conforming Use

☐ Non Conforming Structure

Proposed Use: Single-Family Residential

Work Description:

Above Ground Pool - Above Ground Pool

The above ground pool and pool equipment must be setback at least 25' from the front property line, 12.5' from the second frontage on Sherwood lane, 5' from the side and rear property line.

Additional Zoning Permit is required for additional work.

Application Approved Date: 4/30/2021

Upon review it was determined that the Zoning Permit:

☒ Permitted by Ordinance

☐ Permitted by Variance approved on: _____

☐ Approved with Conditions

☐ Valid Nonconforming Use/Structure is established by

☐ Zoning Board of Adjustment

☐ Zoning Officer

Christopher J. Romano, Zoning Officer

4/30/2021

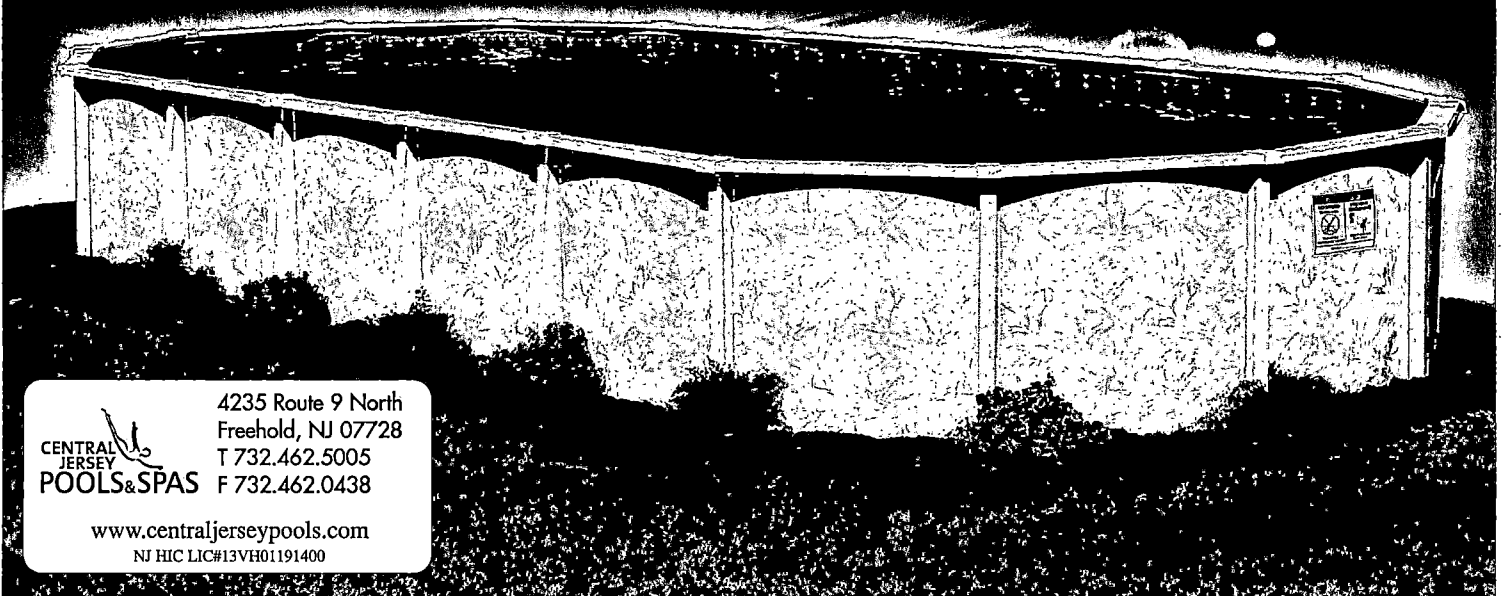
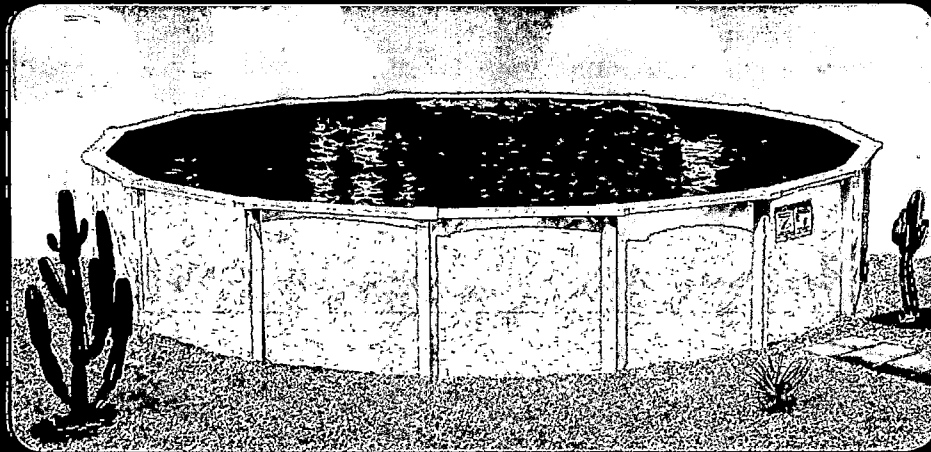
Date



doughboy®

Summerville

A stylish wall pattern with a rugged silvertone frame makes a sturdy pool that's fun and fits in any backyard.



CENTRAL
JERSEY
POOLS&SPAS

4235 Route 9 North
Freehold, NJ 07728
T 732.462.5005
F 732.462.0438

www.centraljerseypools.com
NJ HIC LIC#13VH01191400

SUMMERVILLE

Affordable and Attractive

- **Easy-to-assemble.** The 6" Uni-fit™ steel top rails and 3" steel verticals eliminate the need for separate side and end rails – making assembly even easier.
- **Available in 48" and 52" sidewalls.**
- **Durable and strong.**
Doughboy uses more top rails and vertical legs to create a more stable pool. Our heavy gauge steel bottom rails are stronger than competitive stainless steel and plastic rails.
- **25 year warranty or longer on all components.**



Pool Frames

No one else comes close. Doughboy pool frames are designed to last. Our frame steel leads the industry in terms of protective layers, coatings and treatments to provide unmatched protection against corrosion and abrasion.

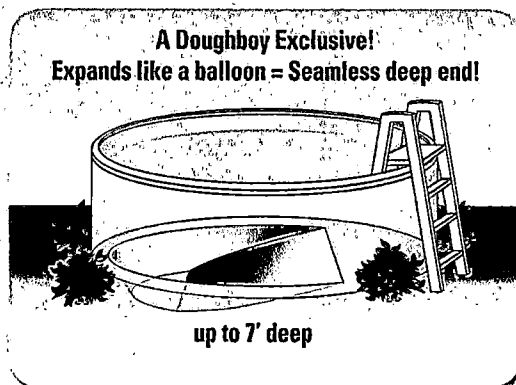


- **Com-Pac™ II Oval Support System.**
Superior engineering to maximize your pool. No other manufacturer can provide you with the space-saving features of the Com-Pac™ II.
- **Zinc Clad™ 11000 with hot-dipped galvanizing.** Plus numerous protective coatings for protection and corrosion resistance.

Liner Exclusives

The only above-ground pool manufacturer that produces virgin-vinyl liner material made to original Doughboy specifications. Liners are available in a variety of decorative patterns.

- **Exclusive "True" Expandable Liners** increase pool depth up to 7 feet with an optional Special-Purpose Deep Swimming Area for underwater swimming only.
- **Exclusive Thermo-Seal™ Technology.**
This proprietary fusion method provides superior sealing for maximum durability and quality. Unmatched in the industry. We are so confident with this process that we cover the seams of our liners 100% for a lifetime.



A Size For Any Backyard

An excellent assortment of pool sizes to perfectly match your backyard.

Round

12' • 16'
18' • 21'
24' • 28'

Oval

20' x 12' • 24' x 12'
32' x 12' • 24' x 16'
28' x 16' • 32' x 16'

Important: Doughboy policy requires all Doughboy pools be installed with a Doughboy liner to guarantee warranty. Misuse of your pool may result in crippling injury and/or other dangers to life and health. Do not dive or jump. Do not use slides, diving boards, or any other platform or object which can be used for improper pool entry. Use only an above-ground swimming pool ladder to enter or exit your pool. It is your responsibility to secure your pool against unauthorized, unsupervised or unintentional entry.

Change of Design: Doughboy Recreational expressly reserves the right to change or modify the design and construction of any product in due course of our manufacturing without incurring any obligation or liability to furnish or install such changes or modifications on products previously or subsequently sold.

Doughboy Recreational is in no way affiliated with any professional pool installer. If you have the pool installed by others, please supervise to be sure they comply with proper installation techniques as shown.



Visit our website at www.doughboypools.com

Doughboy Recreational • 315 N Sebastian • West Helena, AR 72390 • 866-DOUGHBOY



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FIND A DEALER

[Click Here](#)

CHOOSE YOUR COMPLETE POOL PACKAGE IN MINUTES

[Learn More](#)

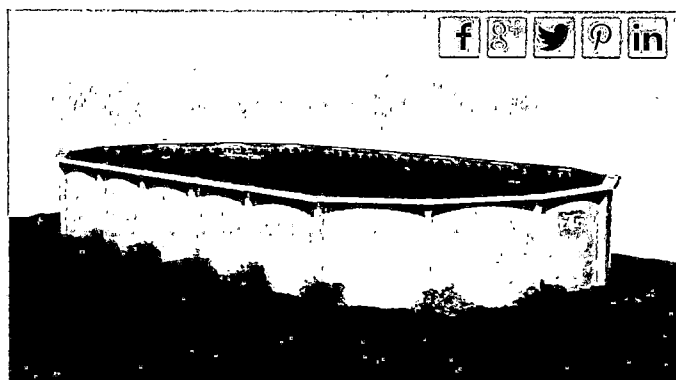
Coronavirus COVID-19 Updates and Information

[LEARN MORE](#)

Summerville

[Go!](#)

The Summerville Pool - A stylish wall pattern with a rugged silvertone frame makes a sturdy pool that's fun and fits in any backyard.



Hover over image to zoom



Looking for How To Video Instructions?

[Click Here](#)

Summerville Steel Swimming Pool

Description

Beautifully Crafted Top Rails & Vertical Supports

The 6" top rails and 3" verticals eliminate the need for separate side and end making assembly even easier.

Available in 48" and 52" Sidewalls

Com-Pac II™ Oval Support System

Superior Engineering to maximize your pool. No other manufacturer can provide with the spacesaving features of the Com-Pac™ II.

Zinc Clad™ 11000

With Hot Dipped Galvanizing and numerous protective coatings for protective corrosion resistance.

Rugged Resin Components

Provide durability and longevity.

Sizes

Available in:

Round 12', 16', 18', 21', 24', 28'

Oval 20'X12', 24'X12', 32'X12', 24'x16', 28'X16', 32'X16'

Brochure

[Download the Summerville Brochure](#)

Warranty

[Download the Summerville Warranty](#)

BELOW-GRADE POOL INSTALLATION INSTRUCTIONS

BECAUSE THIS TYPE OF INSTALLATION IS PERMANENT AND MORE DIFFICULT THAN AN ABOVE-GROUND INSTALLATION, USE OF THESE INSTRUCTIONS IS LIMITED TO PROFESSIONAL INSTALLERS WITH THE REQUISITE SKILLS. *Hill Industries is in no way affiliated with any professional installer, and assumes no responsibility for installation errors.* Check with your local building department to see if any permits are required before beginning installation. These instructions cover preparation for installation without decking, concrete decking, or redwood decking on 48", 52" and 54" tall pools. **Carefully read all instructions before starting installation.** Failure to follow these instructions will void the pool warranty. If you are unsure about any aspect of the installation process, consult with Hill's Customer Service Department before beginning.

COVING INSTALLATION: PREFORMED FOAM COVING IS NOT RECOMMENDED FOR THIS TYPE OF POOL INSTALLATION. IF THE WATER TABLE AROUND THE POOL RISES, IT CAN CAUSE THE FOAM COVING TO RELEASE AND RISE UP THE POOL WALL. AN EARTH COVE MADE FROM SCREENED DAMP EARTH IS RECOMMENDED. USE SCREENED DAMP EARTH TO FORM THE COVE AROUND THE INSIDE BASE OF THE POOL WALL. SHAPE AND COMPACT FIRMLY. REFER TO ASSEMBLY GUIDE INSTRUCTIONS FOR PROPER COVE DIMENSIONS.

THE HIGH WATER TABLE AROUND THE POOL CAN ALSO CAUSE THE LINER TO FLOAT UP FROM THE POOL BOTTOM AS THE WATER TABLE RISES. NORMALLY WHEN THE WATER TABLE RECEDES THE LINER WILL GO BACK DOWN AND WILL MOST LIKELY HAVE A FEW WRINKLES. TO ELIMINATE THIS ISSUE, THE POOL WATER LEVEL MUST BE HIGHER THAN THE SURROUNDING WATER TABLE. THIS CAN BE ACCOMPLISHED BY MAKING SURE THE POOL WATER LEVEL IS AS HIGH AS POSSIBLE DURING THE RAINY SEASON. BY BEING AWARE AND KEEPING THE POOL WATER LEVEL UP, YOU CAN KEEP THE LINER IN THE PROPER POSITION.

Preparations for concrete deck or installation without decking both require backfilling (see instructions for PREPARATION FOR INSTALLATION WITHOUT DECKING OR CONCRETE DECK, FIG.S 1 & 2). Redwood deck preparation requires a sloping over-dig without backfilling if your soil characteristics allow this type of installation (see instructions in PREPARATION FOR REDWOOD DECK FIG. 3).

To avoid runoff from traveling to the pool wall and decking, the pool site should be located at the highest elevation in the yard with the surrounding landscape sloping away from the pool.

The typical plumbing installation shown in Fig. 4 is provided for reference only, and may not represent a plumbing solution for all pool sites and/or equipment. Equipment that may require special plumbing considerations are pool lights, fountains, and chlorinators. Always consult accessory owner's manuals before plumbing the pool.

EXCAVATION

1. The perimeter excavation is sized according to the actual pool size, plus a 18 inch over-dig all around the pool. Locate the ground preparation dimensions pertaining to the clearance borders for your size pool found in the large fold out assembly guide packed with the pool parts. Excavate the pool area following those dimensions. If you decide to excavate an optional deep swim area, follow the instructions also found in that same assembly guide.

2. The depth of the excavation will vary depending on the height of the pool desired deck type. Use the dimensions shown in Fig.s 1, 2, or 3 to calculate the excavation depth for your pool height and deck choice.

3. After completing the excavation, the pool frame and wall must be installed according to instructions in the assembly guide packaged with your pool parts.

SKIMMER AND RETURN FITTING INSTALLATION

Skimmer and return fitting installation must be completed prior to filling the pool with water and backfilling with slurry mix. DURING LINER AND SKIMMER INSTALLATION, DO NOT CUT OUT THE SKIMMER OPENING. If your skimmer is supplied with u-gaskets, discard the skimmer u-gasket and instead use the separate flat skimmer gaskets method, one gasket inside the wall, and one outside (available from your Doughboy dealer). It's recommended that you use a silicone lubricant on both sides of the two skimmer gaskets. **Do not remove the liner bordered within the skimmer faceplate at this time.**

Install the return fitting and gasket. Trim the liner from the return opening and install the winterizing/shutoff disk provided with your skimmer. Double check the skimmer and return and make sure there are no leaks before backfilling with slurry.

PLUMBING

To avoid possible hose collapse, you must hard plumb with PVC pipe and fittings from the skimmer and return fittings to your filtration equipment (see Fig. 4). If you use flexible PVC pipe, be sure that it is not kinked before covering with soil or backfill slurry. Install a check valve in the suction line between the pump and filter to prevent losing pump prime. Locate the check valve as close to the pump elevation as possible, and where it is accessible for maintenance.

FILL POOL

Fill the pool with water to within 1" to 2" of top of pool wall. **This procedure is absolutely necessary in order to resist the pressure exerted on the wall by the backfill slurry. Failure to fill the pool completely with water prior to backfilling could cause pool wall collapse.**

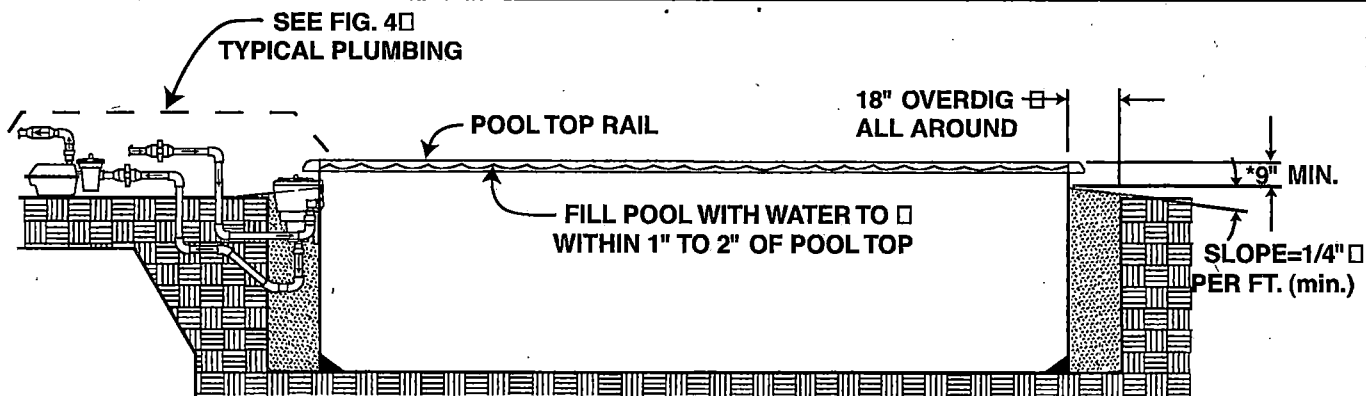


FIG. 1 - PREPARATION FOR CONCRETE OR PAVER BLOCK DECK INSTALLATION

*Minimum grade to top rail distance must be maintained to allow for liner replacement.

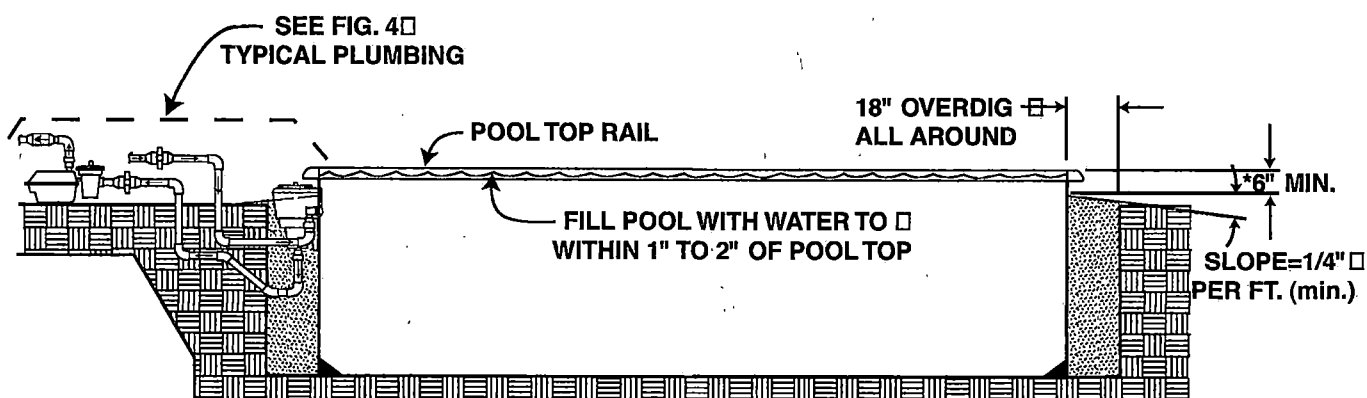


FIG. 2 - PREPARATION FOR INSTALLATION WITHOUT DECKING

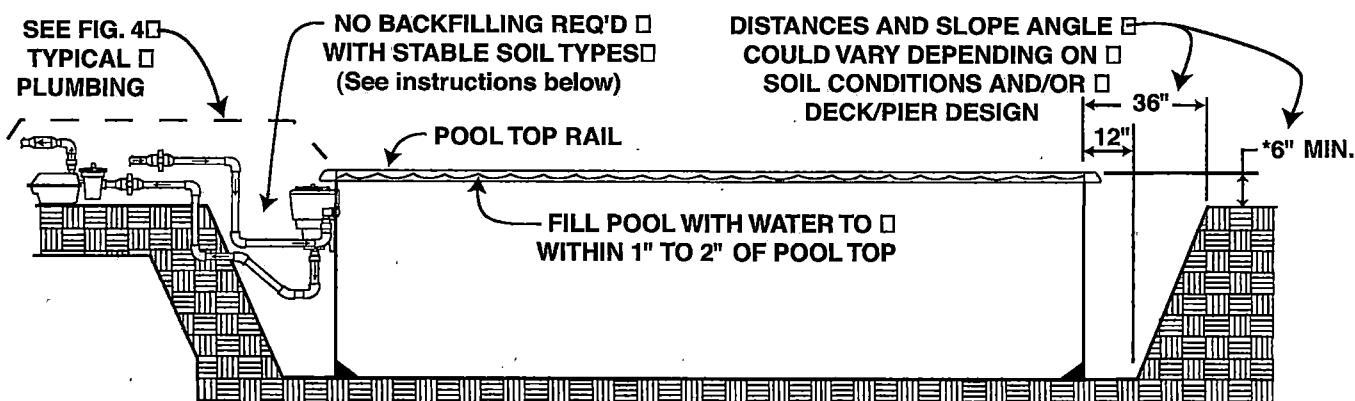


FIG. 3 - PREPARATION FOR REDWOOD DECK INSTALLATION

*Minimum grade to top rail distance must be maintained to allow for liner replacement.

Slope over-dig away from pool to allow access for installation of concrete deck piers and supports. In cases where soil is composed of heavy clay, or impedes adequate drainage, installation of an automatic sump pump is recommended. **CAUTION:** This type of installation is suitable only if the surrounding soil is firm enough to resist cave-in and/or excessive erosion. If there is any doubt about adequate soil stability, backfill with a slurry mix as shown in PREPARATION FOR INSTALLATION WITHOUT DECKING OR INSTALLATION FOR CONCRETE OR PAVER BLOCK DECK and install redwood decking over the slurry backfill.

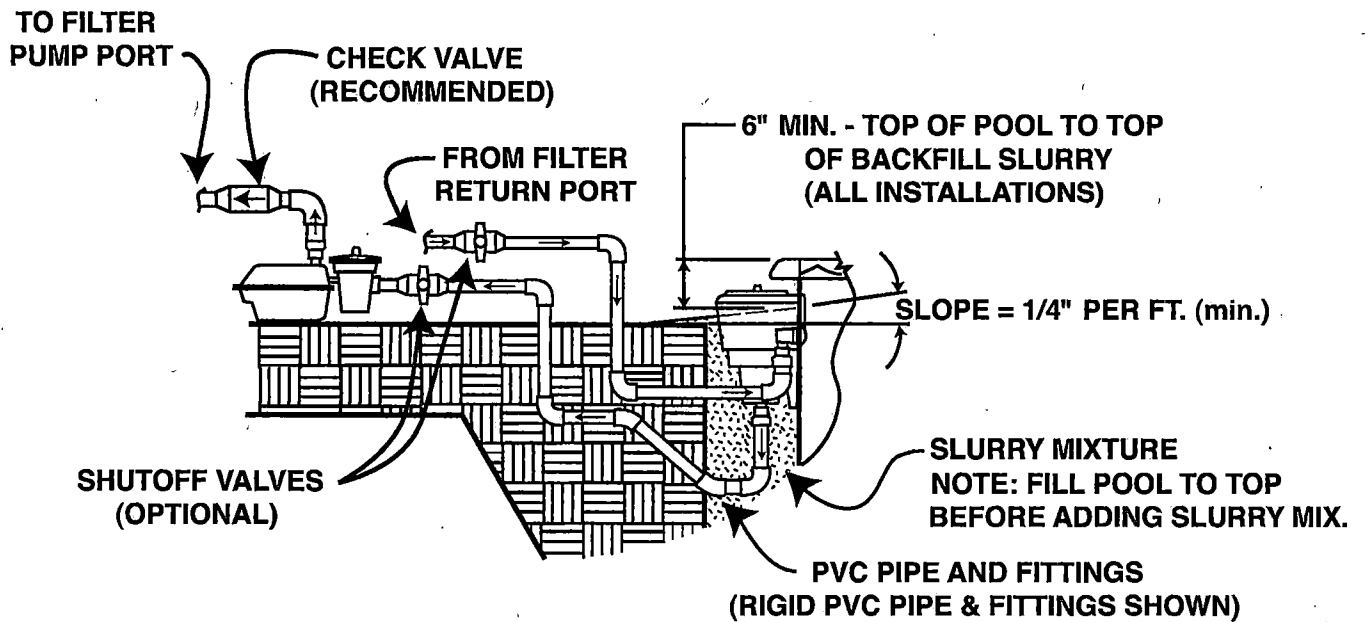
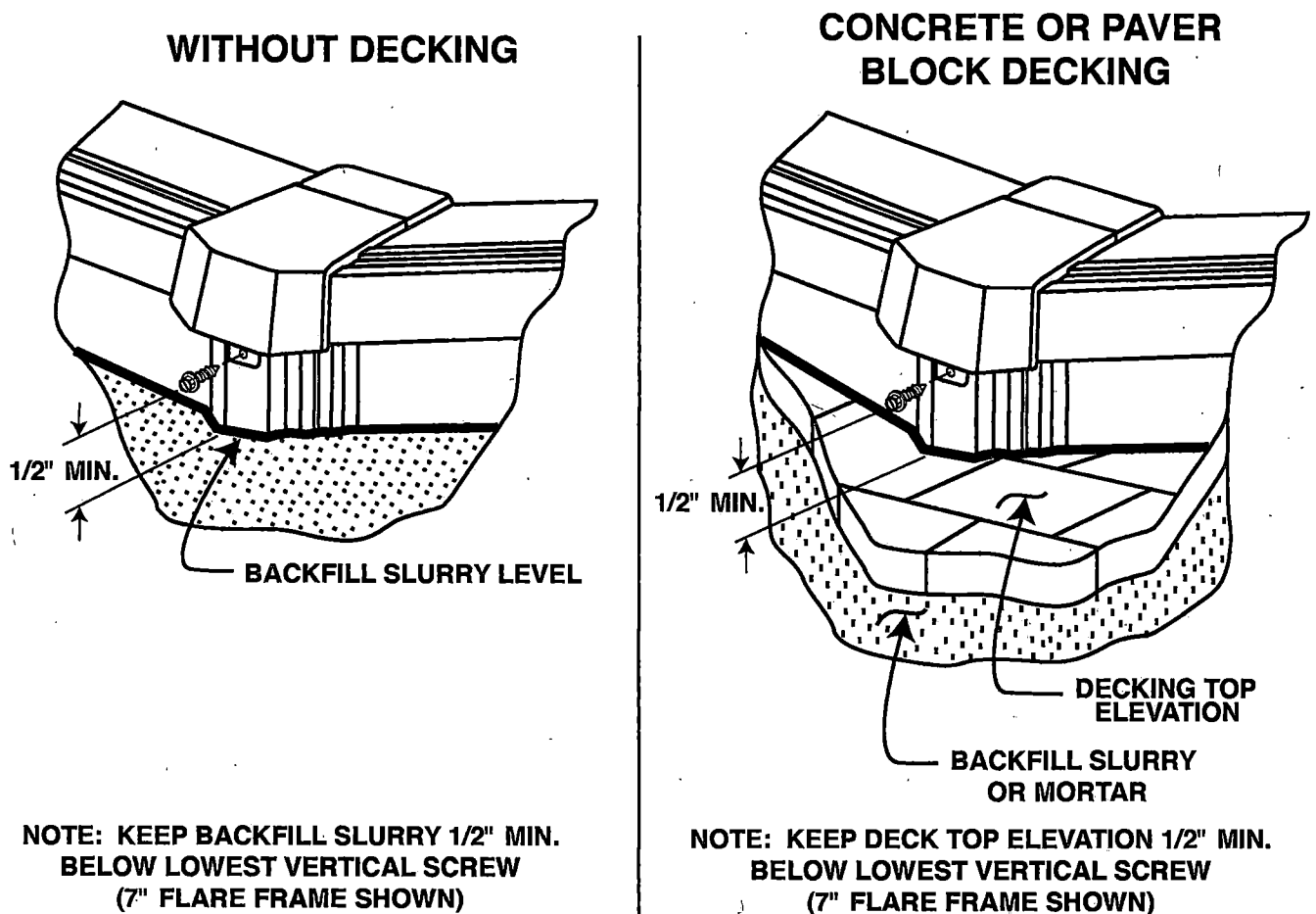


FIG. 4 - TYPICAL PLUMBING INSTALLATION

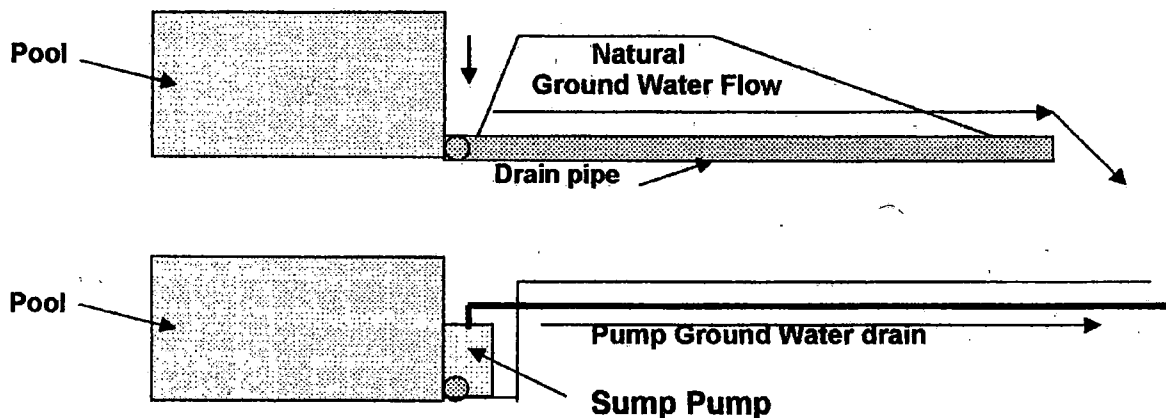
FIG. 5 - DECK ELEVATION



DRAINAGE

Ground water can be a serious problem for your pool if not allowed to drain properly. There are a number of ways to do this. It is recommended to install a perforated drainage pipe around the outside of the pool at the base. Run the pipe to an area away from the pool that will allow any ground water pressure to be naturally released away from the pool. If you can not drain naturally use an automatic sump pump that will drain into a storm drain or a downward grade away from the pool. The sump pump is an important component if there is no natural runoff.

To begin drain installation, create a base of about 2 inches of Pea gravel. Then set drainage pipe on Pea gravel. The pipe should be covered with a paper or cloth designed to allow water through but keep soil from clogging pipe. After setting the pipe and drainage cloth onto the Pea gravel then cover with Pea gravel approximately 2 to 4 inches then set the slurry mix.



FORMS

It is recommended that you build forms around the skimmer and any above-ground pool lighting accessories prior to backfilling. An air space left around the skimmer and accessories will provide the easiest access for maintenance or plumbing repairs. If soil is composed of heavy clay, or a type that impedes adequate drainage, installation of an automatic sump pump at the bottom of the formed area is recommended. The pump will drain runoff and/or overflow water from the formed area away from the outside pool wall.

CAUTION: Backfilling directly against the skimmer body will make it harder to access any future plumbing leaks or blockage. The installer should advise the pool owner of same and make sure the owner understands that Doughboy is in no way responsible for expenses related to locating or repairing leaks, cutting, chipping, and/or removing decking or backfill material.

If after consultation with the pool owner, a decision is made to backfill directly against the skimmer body, keep the slurry a minimum of 5" below the top rail so that the skimmer body's top section can be removed for maintenance or repair or purchase an In-ground skimmer extension kit from your local dealer.

BACKFILL SLURRY PREPARATION

VERY IMPORTANT PLEASE READ CAREFULLY:

The installation of the slurry mix is a very critical step in the installation of a below grade pool. It is important to follow the instructions and review the illustrations noting that the slurry mix **MUST** be mixed thoroughly having **NO LOOSE** material against the pool wall. Also when toping off the slurry, make sure you go to the proper height and slope the slurry away from the pool. **THIS IS VERY IMPORTANT INFORMATION.**

1. Mix concrete and plaster sand (dry) and add water to produce a slurry that will harden to a compressive strength of 300-400 PSI.

The objective is to have the cavity area filled with a hardened mixture that can withstand outside ground forces during liner replacement, but can be broken away and removed if pool or plumbing repairs are necessary. There are two methods for preparing the slurry mix as follows:

METHOD 1: Prepare a dry mixture of Portland cement and plaster sand at a ratio of 325 lbs of cement per ton (2000 lbs) of dry mixture. Backfill the 18 inch wide cavity with 3 ft. of the dry mixture and jet with water to produce a slurry. Either apply several consecutive layers of dry mix and jet each layer with water, or fill the cavity with dry mix and use PVC pipe inserted into the mix at varied levels and locations to jet the mixture with water.

METHOD 2: Prepare a dry mixture of Portland cement, and plaster sand mixed with water to produce a dry slurry with a 3" slump (consult local concrete company for the slump) at a ratio of 325 lbs of cement per ton (2000 lbs) of dry mixture. Use a commercial cement pump to spread the slurry in the cavity if possible. Work around the pool, evenly applying the mixture in layers. **To avoid indenting the pool wall, be extremely careful not to direct the force of the slurry stream against the wall.** NOTE: Consult with your local concrete company to make sure their pumper can work with a mixture of this consistency.

IMPORTANT CAUTION: Regardless of the method of slurry preparation and application you use, **you must monitor the pool wall closely during the entire backfilling process to verify that the pool wall does not indent.** If a indent appears, stop backfilling immediately and have someone enter the pool to push out the indent. If you are unable to remove the indent, relieve pressure against the wall by removing backfill slurry from the affected area, and push out the indent. Carefully refill the area with slurry. **Continue to monitor the pool wall until the slurry mix is well set.**

2. To eliminate the possibility of pool wall corrosion, pool overflow and runoff water must be directed away from the wall.

Finish the setting slurry to a **1/4" per foot minimum slope** away from the pool wall as shown.

3. After the slurry mixture is completely set, lower the water level to the upper line on the skimmer faceplate and cut away the liner in the skimmer opening. Remove the winterizing/shutoff disk and install the directional eyeball.

DECKING MATERIALS

Typical decking materials include concrete, paver blocks, and redwood. Before backfilling and plumbing the pool, be sure to give careful consideration to design and construction factors related to integrating the decking with the pool.

Provisions must be made to allow the pool liner to be replaced when needed. To replace the liner; pool top rails, vertical end caps, plastic coping, and

stabilizer rails must be removed. **Concrete or paver block decking top elevations must be kept at a height 1/2" minimum below the lowest screw at the top of the vertical (see Fig. 5).** When installing redwood decking, it is strongly recommended that the deck design allows partial deck disassembly to permit access for liner replacement.

IMPORTANT CAUTION: Accumulations of loose material between the backfill slurry and pool wall can eventually push the wall inward. If extra material is added between the slurry and decking material to elevate the deck to the desired height, only use a mortar mix that will set up solidly.

HOMEOWNER'S POOL CERTIFICATION

BARRIER REQUIREMENTS:

Outdoor private swimming pool: An outdoor private swimming pool includes an in-ground, above-ground or on-ground pool, hot tub or spa, and shall comply with the following:

1. The top of the barrier shall be at least 48 inches above finished ground level measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between finished ground level and the barrier shall be 2 inches measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above finished ground level, such as an above-ground pool, the barrier shall be at finished ground level, such as the pool structure, or shall be mounted on top of the pool structure. Where the barrier is mounted on the pool structure, the opening between the top surface of the pool frame and the bottom of the barrier shall not allow passage of a 4 inch diameter sphere.
2. Openings in the barrier shall not allow passage of a 4 inch diameter sphere.
3. Solid barriers shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1 3/4 inches in width. Decorative cutouts shall not exceed 1 3/4 inches in width.
5. The maximum opening formed by a chain link fence shall be no more than 1 3/4 inches. However, larger opening may be used when slats fastened at top and bottom which reduce the openings to no more than 1 3/4 inches.
6. There shall be a clear zone of not less than 36" between the exterior of the barrier and any permanent structures or equipment such as pumps, filters, and heaters that can be used to climb the barrier.
7. Access gates shall comply with the requirements of items 1 through 6, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outwards away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches from the bottom of the gate: (a) the release mechanism shall be located on the pool side of the gate at least 3 inches below the top of the gate and; (b) the gate and barrier shall not have an opening greater than 1/2 inch within 18 inches of the release mechanism.
8. Where the pool or spa area abuts the edge of a body of water the required barriers shall extend to and beyond the water's edge not less than 18". A barrier is not required between the body of water and the pool or spa.

BLOCK: 1170.06 LOT: 1 ADDRESS: 151 John St Brick NJ 08724

In accordance with the NJAC 5:23-2.23, NO POOL SHALL BE USED IN WHOLE OR IN PART UNTIL A CERTIFICATE OF APPROVAL HAS BEEN ISSUED BY THE CONSTRUCTION OFFICIAL.

I certify that I am the owner of the above referenced pool being built. I further certify that the pool will not be used in whole or in part until a permanent fence is installed and a Certificate of Approval has been issued by the Construction Official.

I have read the fence requirements listed above and understand them.

Valerie Stutesman
Owner's Signature

Valerie Stutesman
Print Name

Sworn and subscribed to before me on this 23 day of April 2021

Betty L. Baptista
Notary Signature
BETTY L. BAPTISTA
NOTARY PUBLIC OF NEW JERSEY
Comm. # 2445532

Barrier Exceptions: Spas or hot tubs with a lock cover which complies with ASTM F 1346, as listed in 2015 ISPC Section 305, shall be exempt from the provisions of this appendix.

ENGINEERING PERMIT APPLICATION

RECEIVING CLERK _____

PERMIT # _____

BLOCK 1170.06 LOT 1 ADDRESS 151 John St**IDENTIFICATION:**

1. WORK SITE ADDRESS 151 John St
2. APPLICANT Valerie Stutesman
3. NAME OF OWNER IN FEE Valerie Stutesman
ADDRESS 151 John St Brick NJ 08724
PHONE 732-475-7688 EMAIL vjoy01@aol.com
4. PRINCIPAL CONTRACTOR Kiki Pool Installations LLC
ADDRESS 12 Adam Blvd So Amboy NJ 08879
PHONE 732-727-3733 EMAIL Kikipools@gmail.com
5. ARCHITECT OR ENGINEER MCH Engineering Inc
ADDRESS 1010 Commons Way Bldg G
PHONE 732-509-3592 EMAIL mg
6. RESPONSIBLE PERSON FOR WORK Homeowner
ADDRESS _____
PHONE _____ EMAIL _____

FEE SUMMARY:

APPLICATION FEE	\$ _____
REVIEW FEE	\$ _____
INSPECTION FEE	\$ _____
OTHER	\$ _____
BOND(S)	\$ _____
TOTAL	\$ _____

SPECIAL CONDITIONS:

OCEAN COUNTY SOILS _____

DRAINAGE EASEMENTS _____

UTILITY EASEMENTS _____

CONSERVATION EASEMENTS _____

FEMA REQUIREMENTS _____

D.E.P. PERMITS _____

BOARD APPROVAL: ☐ PB ☐ ZB

APPLICATION NUMBER _____

APPROVED DATE _____

PROJECT DESCRIPTION:

- | | | |
|--|--|--|
| ☐ GRADING/CLEARING | ☐ ROAD OPENING | ☐ SOIL REMOVAL / FILL |
| ☐ RETAINING WALL | ☒ POOL | ☐ BULKHEAD / DOCK |
| ☐ TREE REMOVAL | ☐ COMMERCIAL SITE MAINTENANCE | ☐ DWELLING |
| ☐ DESCRIPTION _____ | | |

ENGINEERING REVIEW:

DATE RECEIVED _____ DATE REJECTED _____ DATE APPROVED _____ INITIALS _____

PowerLine *XP* III

Swimming Pool Pump (Black color model)

UL Models w/GFCI

0-3496-200 (1 HP), 0-3497-200 (1-1/2 HP)

NEC Models

0-3496-206 (1 HP), 0-3497-206 (1-1/2 HP)

Owner's Guide



PREPARATION

IMPORTANT SAFETY INSTRUCTIONS

FOR ALL MODELS:

When installing and using this electrical equipment, basic safety precautions should always be followed, including the following:

1. **READ AND FOLLOW ALL INSTRUCTIONS.**
2. **WARNING:** To reduce the risk of injury, do not permit children to use this product unless they are closely supervised at all times.
3. **WARNING:** Risk of electric shock. Connect only to a grounding type receptacle protected by a Ground Fault Interrupter (GFCI).
(For storable pool pumps) This product is provided with a ground-fault circuit-interrupter. If replacement of the plug or cord is needed, use only identical replacement parts.
(For all permanently installed units) Connect only to a branch circuit protected by a ground-fault circuit-interrupter (GFCI).
Contact a qualified electrician if you cannot verify that the receptacle is protected by a GFCI.
4. Do not bury cord. Locate cord to minimize abuse from lawn mowers, hedge trimmers, and other equipment.
5. **WARNING:** To reduce the risk of electric shock, replace damaged cord immediately.
6. **WARNING:** To reduce the risk of electric shock, do not use an extension cord to connect unit to the electrical supply; provide a properly located outlet.

FOR UL MODELS: (25 Ft. cord)

7. **CAUTION:** This pump is for use with storable pools only. Do not use with permanently installed pools. A storable pool is constructed so it may be readily disassembled for storage and reassembled to its original integrity. A permanently installed pool is constructed in or on the ground or in a building such that it cannot be readily disassembled for storage.
(For storable pools) The unit is provided with a ground-fault circuit-interrupter (GFCI). To test the GFCI, push the test button. The GFCI should interrupt power. Push the reset button. Power should be restored. If the GFCI fails to operate in this manner, the GFCI is defective. If the GFCI interrupts power to the pump without the test button being pushed, a ground current is flowing, indicating the possibility of an electric shock. Do not use the pump. Disconnect the pump and have the problem corrected by a qualified service representative before using.

FOR NEC/UL MODELS ONLY: (3 Ft. cord)

8. **CAUTION:** This pump is for use with permanently installed pools and may also be used with hot tubs and spas if so marked. Do not use with storable pools. A permanently installed pool is constructed in or on the ground or in a building such that it cannot be readily disassembled for storage. A storable pool is constructed so that it may be readily disassembled for storage and reassembled to its original integrity.

FOR ALL MODELS:

9. SAVE THESE INSTRUCTIONS.

ELECTRICAL SOURCE

FOR UL MODELS: (25 Ft. cord)

Your pump is supplied with a 25 foot, 3-wire electrical cord and a 3-pronged plug. The pump is double insulated and grounded. The pump electrical cord must be connected to a grounded, 3-wire, 115 VAC electrical receptacle.

The pump should be connected to a receptacle on a dedicated circuit protected by a 20 AMP circuit breaker. **DO NOT** use a grounding adaptor.

The receptacle must be protected by a Ground Fault Circuit Interrupter (GFCI) in accordance with Article 680-31 of the National Electrical Code (NEC), (Section 68-204 of the Canadian Electrical Code (CSA) and local codes or ordinances. For runs greater than 25 feet, consult your local licensed electrical contractor.

FOR NEC/UL MODELS ONLY: (25 Ft. cord)

Your pump is supplied with a 3-foot, 3-wire electrical cord and a 3-prong flanged, twist-lock plug.

The pump electrical cord must be connected to a single twist lock, grounding type receptacle that is located a minimum of 6 feet from the inside pool wall.

A qualified electrical contractor must install this receptacle in accordance with Article 680-6 of the National Electrical Code (NEC). A Ground Fault Interrupter (GFCI) must be used. An ON/OFF Switch must be installed at the receptacle.

Use a Hubbell No. 2310 Receptacle, 20 AMP 125 Volt A.C. or an equivalent receptacle that meets NEMA Configuration L5-20R.

This pump is double insulated and grounded. Dead metal parts are not in contact with pool water.

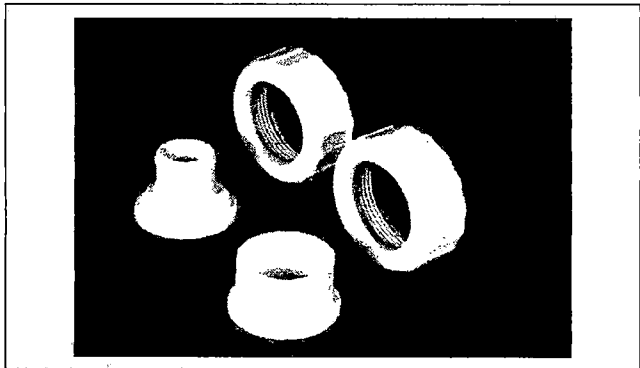
CAUTION

1. **DO NOT** install the pump on a deck, it could fall into the water, causing severe electrical shock. Do not install on any surface at, above, or slightly below the top rail of the pool.
2. **DO NOT** allow children or adults to climb, sit, or stand on the pump unit. They could easily fall. Position the filter and pump approximately 6 feet from the pool wall so they may not be used as steps by children.
3. Always keep the water level in your pool between the water level markers on the skimmer face plate. If the pump is run with water level too low, the pump seal may overheat and cause permanent damage to the pump.
4. Your Powerline pump must sit in it's pump base, on a patio block, or on any firm surface that slightly elevates the pump off the ground. This keeps water away from the motor and prevents the vents of the Power Pak from becoming blocked, which could cause the motor to overheat.

SUCTION AND DISCHARGE CONNECTIONS

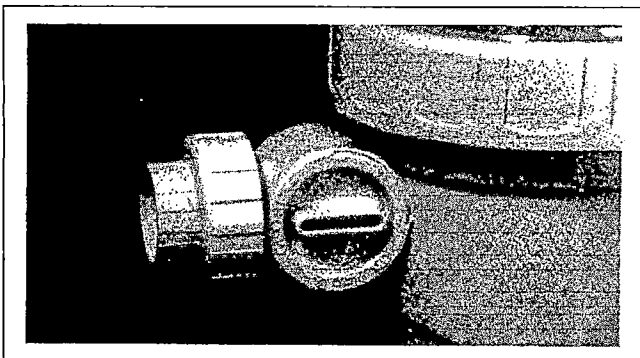
Your Powerline pump is provided with two union socket connections for hard plumbing to 1-1/2" PVC pipe or flex pipe and two union hose adaptors for connecting to 1-1/2" inside diameter hose. Install o-ring into groove on end of the body outlets, then position either the union socket or hose adaptor and secure in place with the union nut.

NOTE: Use ABS to PVC solvent cement when using the union socket connections for hard plumbing installations. Refer to the solvent manufacturer's instructions for preparations of socket and pipe end and solvent welding of the joints.

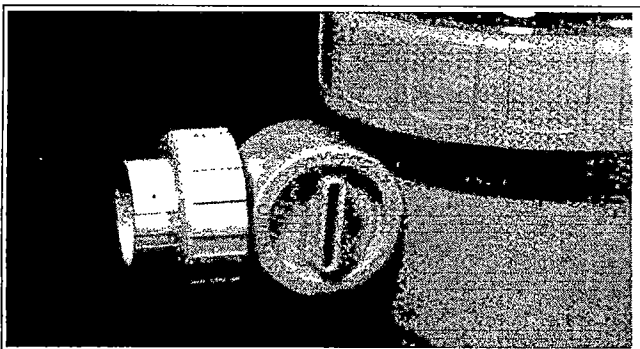


SHUT-OFF VALVE

Your Powerline pump features a shut-off valve in the pump suction inlet. This feature allows you to shut off the flow from the skimmer when removing strainer basket for cleaning or servicing the pump.



Rotate valve knob counter-clockwise until it stops (open position) for normal pumping operation.



Rotate valve knob clockwise until it stops (closed position) when cleaning out the strainer basket or servicing the pump.

MAINTENANCE

Make sure the pump is disconnected from the electrical source before attempting any maintenance work.

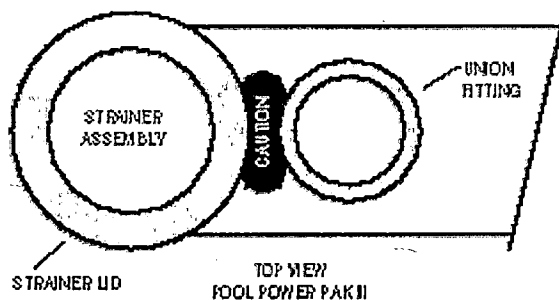
LUBRICATION

Periodically lubricate the O-Ring under the strainer cover with a NON-PETROLEUM lubricant recommended for A.B.S. and Lexan plastics. Consult your pool dealer for lubricant selections.

If you have any questions or require assistance, contact your Doughboy pool dealer.

CAUTION

Fingers can become wedged where Strainer Lid and Union Fitting intersect. Please use caution when removing the Strainer Lid.



SERVICING SAFETY TIPS

- A. **ALWAYS TURN "OFF"** the main power switch and the Ground Fault Circuit Interrupter (GFCI) breaker switch so power is completely off before servicing your unit.
- B. **ALWAYS BE SURE THE GROUND UNDER YOUR FEET AND YOUR BODY IS DRY** before you touch electrical equipment. Failure to heed this warning may cause personal injury due to severe electrical shock.
- C. **ALWAYS** have a qualified electrician service your system if electrical problems occur. This system is UL listed and must be serviced by a qualified electrician to insure that the electrical integrity is maintained. Failure to do so may cause personal injury due to severe electrical shock and may void the listing and warranty.
- D. **ALWAYS** have a qualified electrician install a Ground Fault Circuit Interrupter (GFCI) breaker at the electrical service or supply panel. Follow GFCI manufacturer's operating instructions for testing. Failure to do so may cause personal injury due to severe electrical shock.

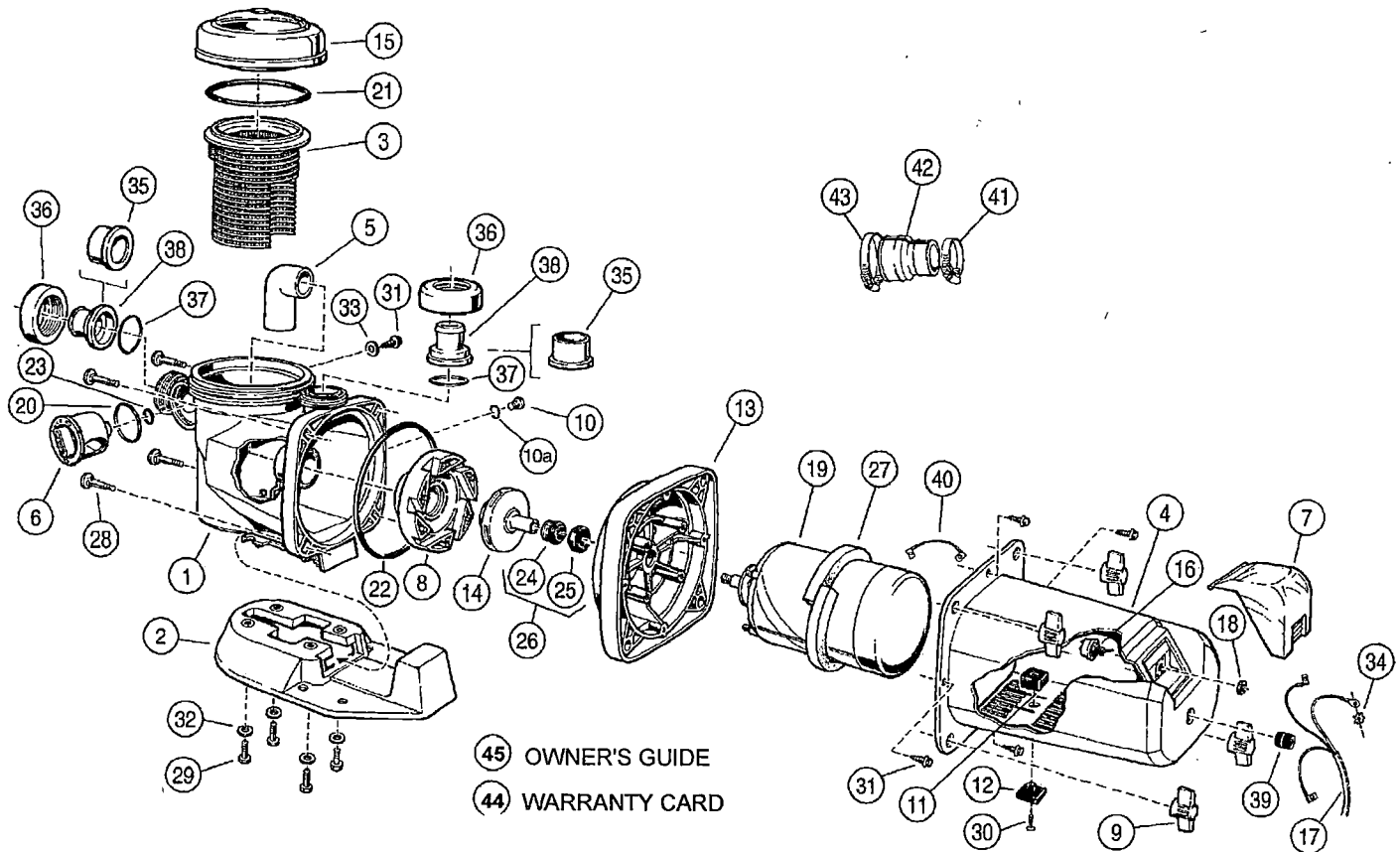
CAUTION: To reduce the risk of electrical shock, connect only to grounding type receptacles. A Ground Fault Circuit Interrupter (GFCI) must be provided in accordance with local codes or ordinances.

CAUTION: To reduce the risk of electrical shock, use only Original Equipment Manufactured (OEM) replacement parts when servicing.

EXPLODED VIEW

UL Models: 0-3496-200 (1 HP), 0-3497-200 (1-1/2 HP) w/GFCI

NEC Models: 0-3496-206 (1 HP), 0-3497-206 (1-1/2 HP)



ITEM	P/N	QTY	DESCRIPTION	ITEM	P/N	QTY	DESCRIPTION
1	1121-2038	1	Strainer Housing w/Suction Tube	20	308-1227	1	O-Ring - 2.609 I.D.
2	1121-1980	1	Pump Base	21	308-1228	1	O-Ring - 6.975 I.D.
3	340-1988	1	Strainer Basket	22	308-1229	1	O-Ring - 8.475 I.D.
4	340-2590	1	Motor Housing	23	308-1009	1	O-Ring - .487 I.D.
5	—	1	Elbow Suction Tube (Part of 1121-2038)	24	308-1202	1	3/4" Shaft Seal
6	340-2591	1	Valve Shut-off Knob	25	308-1231	1	3/4" Pump Seal Seat
7	340-2004	1	Timer Cover	26	1121-1495	1	3/4" Pump Seal Set
8	340-1991	1	Diffuser	27	310-1054	1	Foam Baffle
9	340-2585	4	Strainer Knob	28	330-1239	4	3/8-16 x 2-1/2" Carriage Bolt
10	1121-2008	1	1/4" Pipe Plug w/o-ring	29	330-1219	4	5/16-18 x 1" Bolt
10a	308-1011	1	Pipe plug O-ring	30	330-1240	1	#10-24 x 1" Screw
11	1121-1497	1	Motor Housing Bumper - Top	31	330-1241	5	#10 x 5/8" Screw
12	340-2054	1	Motor Housing Bumper - Bottom	32	327-1020	4	5/16" Flat Washer
13	1107-2482	1	Backplate	33	327-1063	1	#10 Flat Washer
14	1107-1513	1	Impeller Assembly - 1 H.P.	34	327-1036	1	#8 Ext. Tooth Lockwasher
	1107-1514	1	Impeller Assembly - 1-1/2 H.P.	35	340-2485	2	Union Socket
15	1107-2483	1	Strainer Lid Assembly	36	340-2484	2	Union Nut
16	303-1109	1	Switch (UL/CSA)	37	308-1241	2	O-Ring - 1.984 I.D.
17	1100-1696	1	Power Cord - 25' GFCI	38	340-2502	2	Union Hose Adaptor
	1100-1115	1	Power Cord - UL/NEC	39	303-1715	1	Strain Relief Bushing
	340-2607	1	Strainer cover wrench (not shown)	40	1100-1400	1	Jumper Wire (UL/CSA)
18	303-1110	1	Knurled Ring Nut (UL/CSA)	41	387-1023	1	#28 Band Clamp
19	300-1091	1	Motor - 1 H.P.	42	348-1036	1	Hard Plumb Adaptor
	300-1092	1	Motor - 1-1/2 H.P.	43	387-1024	1	#36 Band Clamp
				44	—	1	Warranty Card
				45	365-2074	1	Owner's Guide

Note: Items 41, 42 & 43 are for hard plumbing 1-1/2" PVC pipe or flex pipe to the skimmer bottom.



Change of Design: Doughboy Recreational expressly reserves the right to change or modify the design and construction of any product in due course of our manufacturing procedures, without incurring any obligation or liability to furnish or install such changes or modifications on products previously or subsequently sold.

DOUGHBOY RECREATIONAL • 315 North Sebastian St. • West Helena, AR 72390

Visit our website at: www.doughboy-pools.com

CA-20

S141EZ105A

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NOT AN
ELECTRICIAN'S
OR PLUMBER'S
LICENSE

State Of New Jersey
New Jersey Office of the Attorney General
Division of Consumer Affairs

THIS IS TO CERTIFY THAT THE
Home Improvement Contractors

HAS REGISTERED

KIKI POOL INSTALLATION, LLC
Dimitar Donev
12 Adam Blvd.
South Amboy NJ 08879

FOR PRACTICE IN NEW JERSEY AS A(N): Home Improvement Contractor

01/28/2021 TO 03/31/2022

VALID

13VH05103600

LICENSE/REGISTRATION/CERTIFICATION #

Signature of Licensee/Registrant/Certificate Holder

DIRECTOR

New Jersey Office of the Attorney General
Division of Consumer Affairs

THIS IS TO CERTIFY THAT THE

Home Improvement Contractors

HAS REGISTERED

KIKI POOL INSTALLATION, LLC

Home Improvement Contractor

NOT AN ELECTRICIAN'S OR PLUMBER'S LICENSE

01/28/2021 TO 03/31/2022

VALID

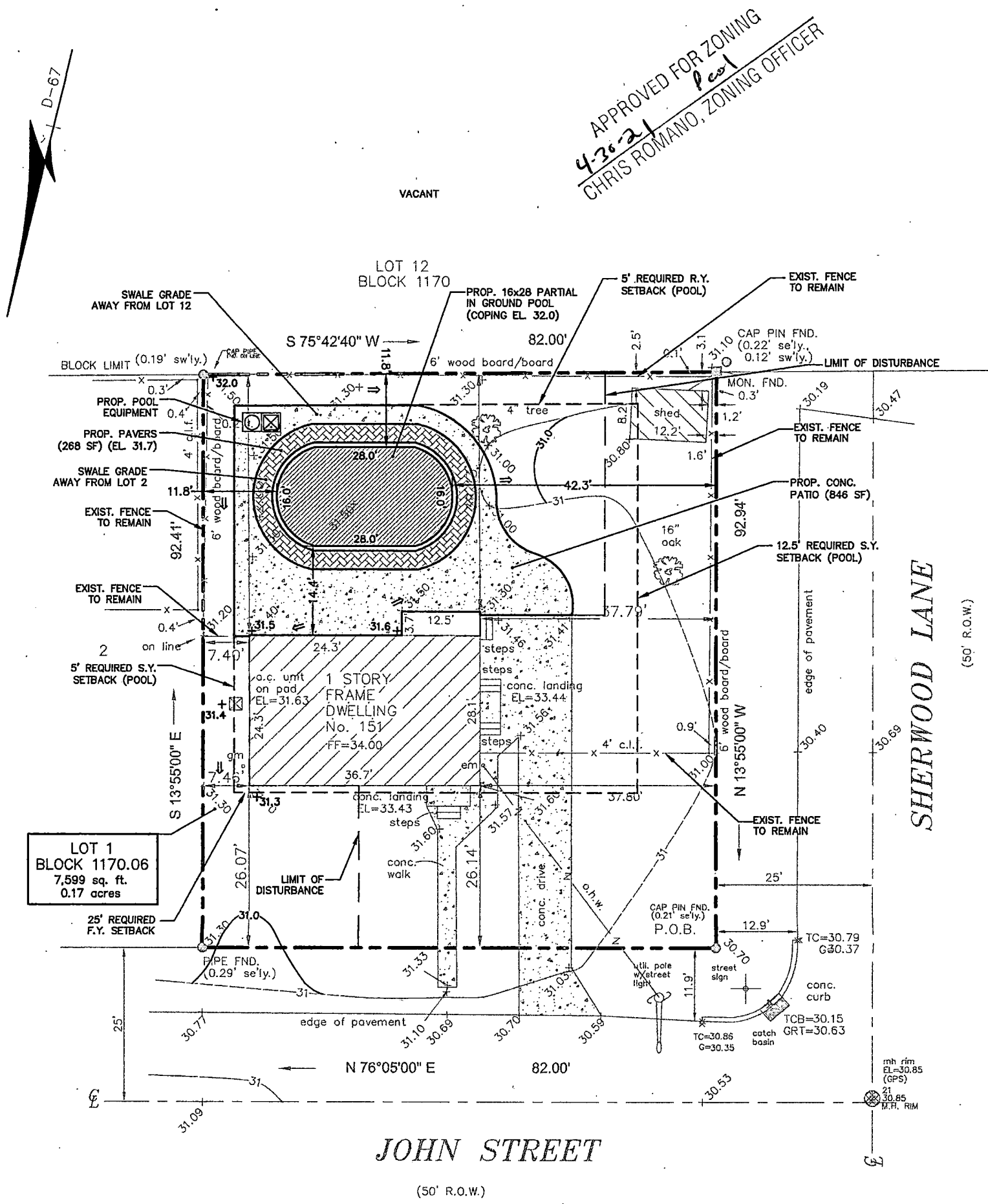
SIGNATURE

13VH05103600

LICENSE/REGISTRATION/CERTIFICATION #

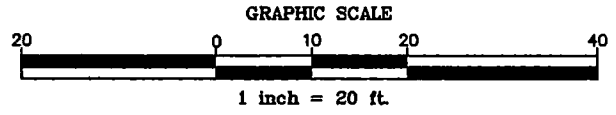
PLEASE DETACH HERE
IF YOUR LICENSE/REGISTRATION/
CERTIFICATE ID CARD IS LOST
PLEASE NOTIFY:
Home Improvement Contractors
P.O. Box 45016
Newark, NJ 07101

PLEASE DETACH HERE



APPROVED FOR ZONING
4-20-21
CHRIS ROMANO, ZONING OFFICER

- GENERAL NOTES:**
1. ALL ELEVATIONS REFERENCE AN NAVD 88
 2. EXISTING CONDITIONS AND ELEVATIONS BASED ON INFORMATION CONTAINED ON "SURVEY OF PROPERTY W/ TOPOGRAPHY" DATED 3/11/2021 PREPARED BY RONALD W. POST SURVEYING, INC. SEE ARCHITECTURAL AND/OR FOUNDATION PLANS FOR CONSTRUCTION DETAILS.
 3. ALL YARD AREAS NOT OCCUPIED BY HARD SURFACES SHALL CONSIST OF GRASS UNLESS NOTED OTHERWISE.
 4. EXISTING PATIO AND FENCE LOCATIONS BASED ON MEASUREMENTS AND PHOTOS TAKEN BY OUR OFFICE.
 5. FINAL POOL ELEVATION TO BE SET BY CONTRACTOR BASED ON CURRENT FIELD CONDITIONS.
 6. EXISTING UTILITIES ARE NOT AFFECTED BY THE PROPOSED IMPROVEMENTS.
 7. ALL CONCRETE USED SHALL BE 4500 PSI CLASS B
 8. A MINIMUM OF 2% PITCH SHALL BE PROVIDED AWAY FROM THE DWELLING
 9. ANY CURB, SIDEWALK, UTILITIES, ROADWAY, AND/OR PAVEMENT DAMAGED AS A RESULT OF THIS PROJECT WILL BE REPLACED AND APPROVED BY TOWNSHIP ENGINEER PRIOR TO ISSUANCE OF Cofo
 10. SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLIANT WITH THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE AND THE 2018 INTERNATIONAL BUILDING CODE. THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE WITH OUTWARD OPENING, SELF CLOSING, SELF LATCHING (DEVICE INSTALLED 54 INCHES ABOVE BOTTOM) PEDESTRIAN ACCESS GATES. THE REQUIRED BARRIER SHALL BE ERECTED AND IN PLACE PRIOR TO FILLING THE SWIMMING POOL.
 11. IT IS THE INTENT OF THIS PLAN THAT THE CONTRACTOR BE SOLELY RESPONSIBLE FOR IMPLEMENTING AND CONSTRUCTING POSITIVE DRAINAGE FEATURES THAT SAFELY AND EFFECTIVELY CONVEY STORM WATER RUNOFF AWAY FROM POOL AND OTHER STRUCTURES.
 12. CONTRACTOR TO NOTIFY OUR OFFICE OF ANY DEVIATIONS FROM THESE PLANS PRIOR TO PERFORMING ASSOCIATED WORK.
 13. ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF OFF-SITE AT AN APPROVED LOCATION



ZONING REQUIREMENTS FOR RESIDENTIAL ZONE - 9,000 SF (R-7.5)			
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (min.)	9,000 SF	7,599 SF*	NO CHANGE
LOT WIDTH (min.)	75'	82'	NO CHANGE
LOT DEPTH (min.)	90'	92.41	NO CHANGE
REAR SETBACK (min.) - POOL	5'	N/A	11.8'
SIDE SETBACK (min.) - POOL			
- SE SIDE YARD LINE	5'	N/A	8.8'
- NW SIDE YARD LINE ALONG SHERWOOD LN.	12.5'	N/A	42.3'

*EXISTING NON-CONFORMITY

MCH ENGINEERING, Inc
1010 COMMONS WAY, BLDG. G
Toms River, NJ 08755
(732) - 569-3592
CERTIFICATE OF AUTHORIZATION NO. 24GA28253500

**PLOT/GRADING PLAN
FOR POOL AT
151 JOHN STREET
LOT 1 IN BLOCK 1170.06
BRICK, OCEAN COUNTY, NJ**

MATTHEW C. HOCKENBURY
NJ PROFESSIONAL ENGINEER LIC. NO. 49637
DRWN. EKO CHKD. MCH 4/19/2021 JOB 21-141

SCALE: 1" - 20'	
REVISION	DATE