

1641-95

MAY 26 1995



CONSTRUCTION PERMIT APPLICATION

Applicant Completes Sections I, II, III (optional), IV, VI and VII

1. Proposed Work-site at: 550 Brick Blvd

2. Name of Owner in Fee: Lake Riviera Co LP Tel. ()
Address 550 Brick Blvd Bricktown NJ 08723
street municipality zip code

3. Ownership in Fee: Public ☒ Private _____

4. Principal Contractor: Central Jersey sign Tel. (908) 922-9884
Address 3420 Rt 66 Neptune NJ 07753

License No. OR, if new home, Builder Reg. No. _____ Exp. Date _____

Federal Emp. No. 222-048-657 Social Security No. _____

5. Architect or Engineer _____ Tel. () _____
Address _____

6. Responsible Person
in Charge of Work Gil Horowitz Tel. (908) 922-9884

		Specs	Update
1. Building	\$ 96 -		
2. Electrical			
3. Plumbing			
4. Fire Protection			
5. Elevator Devices			
6. Subtotal	\$ 96 -		
7. Less 20% for State Plan Review	10 -		
8. Subtotal	\$		
9. DCA Training Fee	2 -		
10. Subtotal	\$		
11. Cert. of Occupancy	20		
12. Other <i>ZPA</i>	15 -		
13. TOTAL	\$ 159 141		

1. Number of Stories _____	
2. Height of Structure _____	ft.
3. Area—Largest Floor _____	sq. ft.
4. New Building Area _____	sq. ft.
5. Volume of New Structure _____	cu. ft.
6. Construction Classification _____	
7. Total Land Area Disturbed _____	sq. ft.
8. Flood Hazard Zone _____	
9. Base Flood Elevation _____	ft.
10. Wetlands yes _____	sq. ft.
no _____	
11. Max. Live Load _____	
12. Max. Occupancy Load _____	

1. ☒ Minor work
(single trade)
2. ☐ Small Job (\$5,000
and no prior approvals)
3. ☐ New Building
4. ☐ Addition
5. ☐ Alteration
6. ☐ Fire Protection
7. ☐ Plumbing
8. ☐ Electrical
9. ☐ Elevator Devices
10. ☐ Asbestos Abatement
11. ☐ Demolition

TOTAL COSTS

Est. Cost

2502.⁰⁰

[illegible]

A. RESIDENTIAL

- ☐ Hotels (R-1)
- ☐ Multi-Family (R-2)
- ☐ Two-Family (R-3) BOCA
- ☐ Two-Family (R-4) CABO
- ☐ One-Family (R-3) BOCA
- ☐ One-Family (R-4) CABO

No of dwelling units:

Before Construction _____

After Construction _____

Net gain or loss _____

1. State Specific Use: *Rivera Plaza*
2. Use Group: *3*

1. ☐ Elevators/Escalators/Lifts/
Dumbwaiters/Moving Walks

2. ☐ High Pressure Boilers

3. ☐ Pressure Vessels

4. ☐ Refrigeration Systems

5. ☐ Cross-Connections/Backflow
Preventers

6. ☐ Hazardous Uses/Places of Assembly

7. ☐ Sprinklers

8. ☐ Smoke Control Systems in Open Wells

9. ☐ Underground Storage Tanks

LDS BR 10206574

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. () I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. () I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.vii:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. () I further certify that I will perform or supervise the following work:

C.1. () Building C.2. () Fire Protection

I further certify that I will perform the following work:

C.3. () Electrical C.4. () Plumbing

D. () I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION

(to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:32-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

(☒) Check if contractor.

Agent Name Central Jersey Sign Ad

Address 3420 Rt 66

Neptune NJ 07753

Telephone (908) 522-9884

Signature Gilbert Morvinty Date _____

OFFICE DATE RECEIVED: _____

VIII. PRIOR APPROVALS CHECKLIST (office use only)	LOCAL APPROVAL		COUNTY APPROVAL		REGIONAL APPROVAL		STATE APPROVAL		COMMENTS
	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	
☐ Zoning Officer									IMPORTANT A.H.B.T. - EXEMPT
☐ Planning Board									
☐ Zoning Board									
☐ Sewer Authority									
☐ Water Authority									
☐ Fire Department									
☐ Police Department									
☐ Health Department									
☐ Soil Conservation									
☐ N.J. Dept. of Community Affairs									
☐ N.J. Department of Transportation									
☐ N.J. Dept. of Environmental Protection									
☐ Utility Dig No.									
☐									
☐									

IX. SUBCODES AND SPECIAL REGULATIONS APPLICABLE (office use only—optional)

Name of Code & Edition	Name of Code & Edition	Other
Building _____	Energy _____	
Electrical _____	Barrier Free _____	
Plumbing _____	Flood Hazard _____	
Fire Protection _____	As Built Elevation Cert. _____	
Mechanical _____	Other _____	

X. CERTIFICATES ISSUED (office use only)

	DATE ISSUED	DATE EXPIRED	DATE REISSUED	DATE EXPIRED
☐ Temporary Certificate of Occupancy	No. _____	_____	_____	_____
☐ Temporary Certificate of Compliance	No. _____	_____	_____	_____
☐ Continued Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Compliance	No. _____	_____	_____	_____
☐ Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Approval	No. _____	_____	_____	_____



CONSTRUCTION PERMIT

Date Issued

Control #

Permit #

6-27-95

1641-95

IDENTIFICATION Block 446.05 Lot 3Work Site Location 550 BRICK BLVDContractor CENTRAL JERSEYOwner in Fee LAKE RIVIERA CO LPAddress 550 BRICK BLVDBRICK AVE

Tele. ()

Address BLOCK 00.00

Tele. () 00.00

Lic. No. or Bldrs. Reg. No. Exp. Date 00.00

Federal Emp. No. BUILDING 96.00

or Social Security No. PLUMBING 10.00

is hereby granted permission to perform the following work:

☒ BUILDING ☐ PLUMBING ☒ OTHER ZONING☐ ELECTRICAL ☐ FIRE PROTECTION☐ ELEVATOR DEVICES

DESCRIPTION OF WORK:

SIGN

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 2500 -

U.C.C. Form F-170C

CONSTRUCTION OFFICIAL

PAYMENTS (Office Use Only)	
Building <u>910 -</u>	ZONING AT 15.00
Plumbing <u>0 / 0</u>	20.00
Electrical <u>TOTAL</u>	143.00
Fire Protection <u>CHECK</u>	120.00
Other <u>DIR 10 CASH</u>	15.00
Other <u>CHANGE</u>	0.00
DCA (Training) Fee <u>2 - 00150003</u>	13.46
Cert. of Occ. <u>70 -</u>	
Other <u>ZONING 15 -</u>	
Total <u>143 -</u>	
Check No. <u>128</u>	
Cash <u>+ 15 - CASH</u>	
Collected By: <u>lar</u>	



**BUILDING
SUBCODE
TECHNICAL SECTION**



Date Received
Date Issued
Control #
Permit #

6-27-95
164195

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION, WHEN CHANGING

CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 164195 Lot 3

Work Site Location 1550 Birch Blvd

Owner in Fee 1550 Birch Blvd

Address 1550 Birch Blvd

Tele. () 222 6884

Contractor 1550 Birch Blvd

Address 1550 Birch Blvd

Tele. () 222 6884

Lic. No. or Bids. Reg. No. 222-2041-851

Federal Emp. No. 222-2041-851 or Social Security No. 222-2041-851

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)	Initial
			Type:	Failure	Approval
☐ No Plans Req.			Footings		
☒ All			Foundation		
☐ Footing			Slab		
☐ Foundation			Frame		
☐ Frame			Insulation		
☐ Other			Finishes:		
Joint Plan Review Required:			Energy		
☐ Elec. ☐ Plumb. ☐ Fire			Mechanical		
SUBCODE APPROVAL			TCO		
☐ CO ☐ CCO ☐ CA			Other		
Date:			Final		
Approved By:					

B. BUILDING CHARACTERISTICS

Use Group	Present	Proposed	Est. Cost of Bldg. Work:
Constr. Class			1. New Bldg. \$
No. of Stories			2. Alteration \$
Height of Structure			3. Total (1+2) \$
Area—Largest Floor			
New Bldg. Area/All Floors			
Volume of New Structure			
Total Land Area Disturbed			

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature Robert H. Smith

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Level 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 189

TOWNSHIP OF BRICK

ZONING PERMIT

Date of Issue: May 31, 1995

1995 Z 0800

Block 446.05

Lot 3

Zone B-2, G.B.

Property Address: 550 Brick Boulevard

Owner: Lake Riviera Co.

(Phone):

Applicant: Central Jersey Sign

(Phone): 922-9884

Use: Riviera Plaza

Proposed Construction (if any): 12' by 8' pylon sign; 96 square feet.

Conditions: Major site plan approved by Planning Board.

Resolution No. R-39-94 approved June 8, 1994.

Case No. PB-2105-PSP-V/FSP-3/94.

Please note that Building Permits, as well as Zoning Permits, must be obtained prior to any construction.

This permit shall be null, void and of no effect if any of the facts contained in the application upon the basis of which this permit was granted are false or untrue in any material respect. This permit shall expire one (1) year after the date of issuance if the use or substantial construction has not been commenced.


Sean Kinnevy

Land Use Officer

☒ EXEMPT 6/26/95
☐ PRELIMINARY _____
☐ TEMPORARY _____
☐ FINAL _____

CERTIFICATE OF COMPLIANCE

NAME: _____ DATE: 6/26/95

ADDRESS: 550 Brick Blvd

PROPERTY LOCATION: _____

ACCOUNT NO: _____ BLOCK 44.16.05 LOT 3

INCLUSIONARY DEVELOPMENT

☐ Affordable Fee Required \$500.00 Date _____
Down Payment _____ Date _____
Balance _____ Date _____
Pd. in Full _____ Date _____
☐ Market Rate No Fee Required _____ Date _____

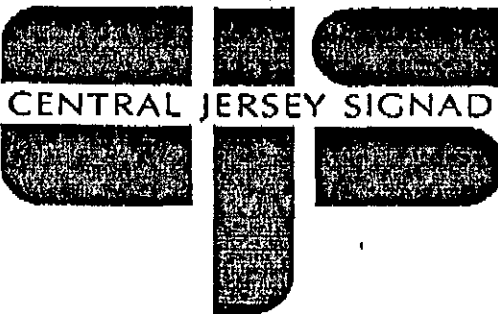
MANDATORY DEVELOPER FEES

☐ Residential is .005%
☐ Commercial is .01%

Estimated Fee : _____ Date: _____
Down Payment : _____ Date: _____
Final Fee : _____ Date: _____
(Less down payment)
Balance : _____ Date: _____
Pd. in Full : _____ Date: _____

I hereby certify that the above applicant has complied with all rules and regulations of the Office of Affordable Housing and has paid all required fees and charges.


CAROL A. WOLFE
AFFORDABLE HOUSING ADMINISTRATOR



Phone: (908) 922-9884
Fax: (908) 922-2736

RECEIVED
JUN 5 REC'D
ENGINEERING

FAX TRANSMITTAL

TO: Mr Sean Kinney
Zoning Officer
Brick Township

DATE: 6/2/95

NO. OF PAGES INCLUDING COVER
SHEET

FROM: Richard Slavin

RE: Sign Permit
Riviera Plaza Shopping Center

Confirming our conversation and in accordance with our submitted permit
application and the approved resolution by the Brick Town Planning Board,
the proposed sign for the Riviera Plaza will be a double faced nylon and
will be installed in the grass area between the sidewalk and the curb of
the parking lot.

We trust this is the desired information and meets with your approval.

Thank you for your attention and assistance.

BRICK TOWNSHIP PLANNING BOARD
PRELIMINARY AND FINAL SITE PLAN APPROVAL
WITH VARIANCES AND DESIGN WAIVERS

RESOLUTION: R-39-94

Page -1-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

WHEREAS, Smith & Sons Realty Co., L.P., having a mailing address of 550 Brick Boulevard, Brick, NJ 08723, has applied to the Brick Township Planning Board for preliminary and final site plan approval with variances and design waivers pursuant to N.J.S.A. 40:55D-46, 50, 51 & 60; and

WHEREAS, proof of service as required by law upon appropriate property owners and governmental bodies has been furnished and determined to be in proper order; and

WHEREAS, a public hearing was held on May 25, 1994 in the municipal building, at which time testimony and exhibits were presented on behalf of the applicant and all interested parties having been heard; and

WHEREAS, the Board makes the following factual findings and findings of law:

1. This property is designated as Lot 3, Block 446.05 on the Municipal Tax Map.
2. The property is located in the B-2 General Business zone.
3. This site is commonly known as Riviera Plaza. The proposed construction at the site will consist of the demolition

1. 2
Smith/Sons
Realty
L.P.
Tzsumm
Lundy
Blade
Eng 2
Zoning
BFS
STC.

RESOLUTION: R-39-94

Page -2-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

of the existing Perkins Pancake House and construction of a new masonry building for Boston Chicken (Building No. 1), realignment of the majority of the parking spaces within the parking lot, and a facelift of the remaining two structures, Buildings 2 and 3. Additionally, the site is proposed to receive landscaping throughout the parking area and a two-story tower addition is to be added adjacent to the northwest corner of Building No. 2.

4. Lynch, Giuliano & Associates prepared a report to the Board dated April 7, 1994. The Board hereby adopts the findings in that report and incorporates that document in this Resolution by reference.

5. Michael P. Fowler, Municipal Planner, prepared a report to the Board dated April 22, 1994. The Board hereby adopts the findings in that report and incorporates that document in this Resolution by reference.

6. The following variances have been applied for:

<u>Item</u>	<u>Required</u>	<u>Provided</u>
Front yard setback (Building No. 1)	50 feet	42 feet
Front yard setback (Building No. 2)	50 feet	27.34/30.61 feet
Front yard setback (Building No. 3)	50 feet	20.88/44.5 feet
Minimum side yard setback (Building No. 3)	50 feet	30.54 feet

RESOLUTION: R-39-94

Page -3-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

Setback of accessory building (solid waste storage area)	50 feet	0 feet
Location of solid waste storage area within a front yard	Not permitted	Solid waste storage area located in the front yard on Duquesne Boulevard
Minimum setback of sign designating Riviera Plaza (Cedar Bridge Road)	10 feet	0 feet
Maximum sign area	50 sq. ft.	96 sq. ft.
Minimum setback of parking facilities in proximity to a street right of way	20 feet	0 feet
Minimum parking stall size	10' x 20'	9' x 18'
Maximum driveway width without an island	28 feet	46' (Brick Blvd.) 28' + (Cedar Bridge Rd.) 42' (Voyager Way) 39' (Duquesne Blvd.)
Buffer adjacent to residential zone	60 feet	0 feet

7. The following design waivers have been applied for:

<u>Item</u>	<u>Required</u>	<u>Provided</u>
Installation of sidewalks along Voyager Way	Yes	No

8. The Board notes that the applicant proposes extensive site improvements, and has made provisions for planting and buffering to upgrade the site.

RESOLUTION: R-39-94

Page -4-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

9. The Board finds the proposed variances are reasonable and should be granted because:

(a) The existing Perkins Pancake House is being demolished, and a new masonry building for Boston Chicken (Building No. 1) is proposed. Building No. 1 cannot be setback further than 42 feet without causing substantial reduction in the parking area. Based upon the fact that the former building in this area intruded into the front yard setback, and the intrusion of the proposed building is minimal, the Board finds that the location of this building is reasonable. Further, the Board finds that it is preferable to intrude into the front yard setback area on this site rather than reduce parking facilities.

(b) The violation of the minimum front yard setback relating to Buildings 2 and 3 and the violation of the minimum side yard setback relating to Building 3 are existing conditions. Also, the violation of the setback area of the accessory building (solid waste storage area) is an existing condition.

(c) The location of parking spaces within 20 feet of a right of way is an existing condition.

(d) The Board finds that the provision of 9' x 18' parking stalls is adequate, and that this parking space dimension is a requirement of the New Jersey Department of Environmental Protection and Energy under CAFRA review.

RESOLUTION: R-39-94

Page -5-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

(e) Notwithstanding that the driveways exceed 28 feet in width along Brick Boulevard, Duquesne Boulevard and Voyager Way, the Board finds that adequate provisions have been made for access to the site.

(f) The intrusion into the required setback area of the signs designating Riviera Plaza and the sign along Brick Boulevard are existing conditions. Accordingly, the Board determines it is reasonable to allow the signs to remain in their current location.

(g) The Board finds that the proposed sign having an area of 100 square feet is reasonable and necessary to identify the site. Accordingly, the Board finds it is appropriate to grant relief from the 50 square foot maximum sign area provision.

(h) The Board finds that this development proposal constitutes a substantial upgrading of Riviera Plaza, which will improve this site and favorably reflect on neighboring properties.

10. The Board determines that the requested design waiver relating to the installation of sidewalks along Voyager Way is reasonable and should be granted because there are no sidewalks in this neighborhood. Accordingly, the imposition of this requirement is unnecessary.

11. The applicant has complied with the requirements of the site plan ordinance and the overall development plan for this

RESOLUTION: R-39-94

Page -6-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

property is consistent with the intent and purpose of the municipal development ordinance. Accordingly, the Board finds that the relief requested can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the Township zoning ordinance or master plan.

NOW, THEREFORE, BE IT RESOLVED, by the Brick Township Planning Board on this 8th day of June, 1994, that this application be approved subject to the following conditions:

1. The applicant shall comply with all standard Planning Board conditions for site plan approval as set forth on Attachment "A".
2. The applicant shall comply with all representations and agreements made by the applicant or its representatives during the presentation of this case.
3. The applicant shall comply with all terms and conditions proposed in the report of Lynch, Giuliano & Associates dated April 7, 1994.
4. The applicant shall comply with all terms and conditions proposed in the report of Michael P. Fowler dated April 22, 1994.
5. The applicant shall comply with all terms and conditions proposed in the report of the Bureau of Fire Safety dated March 24, 1994.

RESOLUTION: R-39-94

Page -7-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

6. A new facade shall be installed on Building No. 3. The facade on the side of Cedar Bridge Road shall have an overhang of less than one foot.

7. The entry to the site from Brick Boulevard shall be revised, and be subject to the review and approval of the Planning Board Engineer.

8. The landscaping plan shall be revised and be subject to the review and approval of the Planning Board Engineer.

9. The solid waste dumpster at the southwest corner of the site shall be relocated in an easterly direction and the parking area shall be shifted five feet to the north. This relocation is required to provide screening surrounding the dumpster. All sides of the dumpster, except the opening, shall be screened by the planting of arborvitae, which shall be four to six feet tall and planted on four foot centers.

The solid waste dumpster at the entrance on Voyager way shall be screened on the two sides visible from Voyager Way with the planting of arborvitae. The plants shall be four to six feet tall and planted on four foot centers.

The solid waste dumpster servicing Building No. 1 (Boston Chicken) shall be screened on all sides, except the opening, by the planting of arborvitae having a height of four to six feet and being planted on four foot centers.

RESOLUTION: R-39-94

Page -8-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

The solid waste dumpster servicing Building No. 2 shall be screened on all sides, except the opening, by the planting of arborvitae having a height of four to six feet and being planted on four foot centers.

10. The planting areas in front of Buildings 1 and 2 shall be serviced with an underground irrigation system.

11. A planting area shall be provided on the north side of Building 3, facing Cedar Bridge Road. The revised landscaping plan shall be subject to the review and approval of the Planning Board Engineer.

12. Based upon the testimony and current and proposed use of the buildings, no loading zones are required. In the event the nature of the business uses on the site are changed, the Board reserves the right to require the applicant to establish loading zones.

13. The sign identifying Building No. 1 (Boston Chicken) shall be conforming in height (25 feet) and be dimensioned at 10'7" x 6'7".

14. The landscaping plan shall be revised to designate low growth shrubs (creeping junipers or equivalent) along the south side of the site adjacent to the existing wood stockade fence. The revised landscaping plan shall be subject to the review and approval of the Planning Board Engineer.

RESOLUTION: R-39-94

Page -9-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

15. Curb stops shall be installed in front of the parking stalls facing Cedar Bridge Road.

16. The applicant shall comply with all provisions and pay all fees established under Article VB (Mandatory Development Fees) of Chapter 190 of the Code of the Township of Brick.

RESOLUTION: R-39-94

Page -10-

CASE NO. PB-2105-PSP-V/FSP-3/94

June 8, 1994

MOVED BY: Mrs. Barlo

SECONDED BY: Mrs. LaDuke

VOTING IN THE AFFIRMATIVE: Mr. Cierzo Councilwoman Fayad
Mr. Jordan Mrs. LaDuke Mrs. Barlo Mr. Digironimo

VOTING IN THE NEGATIVE:

INELIGIBLE TO VOTE:

DISQUALIFIED FROM VOTING: Mr. Heslin

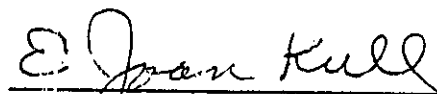
ABSTAINING:

ABSENT: Mr. Heidrick Mr. Scherer Mayor Scarpelli Mr. Sharkey

CERTIFICATION

I, E. JOAN KULL, Clerk of the Planning Board of the Township of Brick, County of Ocean, State of New Jersey, do hereby certify that the foregoing resolution was duly ADOPTED by the said Planning Board of the Township of Brick at a regular meeting held on the 8th day of June, 1994.

IN WITNESS WHEREOF, I have set my hand this 10th day of June, 1994.



E. JOAN KULL
Clerk of the Planning Board

ATTACHMENT "A"

BRICK TOWNSHIP PLANNING BOARD

STANDARD CONDITIONS FOR SITE PLAN APPROVAL

RESOLUTION: R-39-94

Page -11-

CASE NO: PB-2105-PSP-V/FSP-3/94 June 8, 1994

1. Applicant shall obtain certification by the Local Soil Conservation District of a plan for soil erosion and sediment control in accordance with N.J.S.A. 4:24-39 et seq., commonly known as the "Soil Erosion and Sediment Control Act."

2. All materials, methods of construction and details shall be in conformance with the current "Engineering Specifications and Construction Details" of the Township of Brick, which are on file in the office of the Township Engineer.

3. Applicant shall obtain all approvals required by any Federal, State, County or Municipal agency having regulatory jurisdiction of this development. Upon receipt of such approval(s), the applicant shall supply a copy of the permit(s) to the Board. In the event that any other agency requires a change in the plans approved by this Board, the applicant must reapply to the Brick Township Planning Board for approval of that change.

4. Applicant shall resubmit this entire proposal for re-approval should there be any deviation from the terms and

RESOLUTION: R-39-94

Page -12-

CASE NO. PB-2105-PSP-V/FSP-3/94 June 8, 1994

conditions of this Resolution or the documents submitted as part of this application, all of which are made a part hereof and shall be binding on the applicant.

5. Applicant shall provide a statement from the Brick Township Tax Collector that all taxes are paid in full as of the date of this Resolution and as of the date of the fulfillment of any condition(s) of this Resolution.

6. Prior to the issuance of a construction permit, the applicant shall furnish the Township Clerk with a cash bond and performance guarantee in an amount to be determined by the Township Engineer.

7. Applicant shall post an inspection fund with the Township Clerk in an amount to be determined by the Township Engineer.

8. No soil shall be removed from the site without the written approval of the Township Council.

9. The applicant shall comply with all provisions and pay all fees established under Article VB (Mandatory Development Fees) of Chapter 190 of the Code of the Township of Brick.