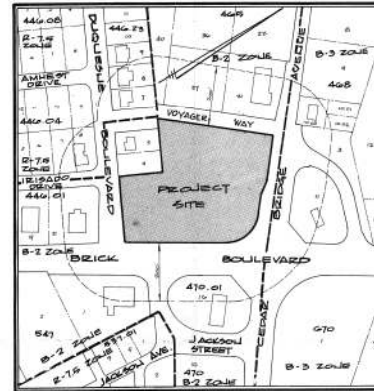


MINOR SITE PLAN FOR RIVIERA PLAZA BLOCK 446.05 LOT 3

GENERAL NOTES

1. PROPERTY BEING KNOWN AS LOT 3 BLOCK 446.05 AS SHOWN ON TAX MAP SUBSET NUMBER 3A-03 OF THE TOWNSHIP OF BRICK, OCEAN COUNTY, NEW JERSEY.
2. AREA OF LOT CONTAINS 4.012 ACRES.
3. ERECTION OF CLOSURES WEST OF EASEMENTS 1142000.
4. ALL UTILITIES AS SHOWN ARE EXISTING.
5. ERODED OWNER:
SMITH & SONS REALTY CO., L.P.
550 BRICK BOULEVARD
BRICK, NEW JERSEY 08723
MOLITE SMITH CONTAINS 73.33% OF CO.
6. ELEVATION BASED ON U.S.V.D. DATUM.
7. BOUNDARY INFORMATION AS SHOWN AS PER SURVEY OF PROPERTY PERFORMED BY LINDSTROM & DIESSEN DATED 9/24/1992.
8. ALL FIRE LANCES, FIRE ZONES AND FIRE DRILLS AND ALL STEELING SHALL BE IN ACCORDANCE WITH TOWNSHIP ORDINANCE 102-71.
9. LOT WILL CONTAIN 167 PARKING SPACES.
10. LIGHTING AND LANDSCAPING AS PERFORMED BY LANDSCAPING AND ENVIRONMENTAL SERVICES, INC. ELMWOOD PARK, NEW JERSEY.
11. LOCATION OF EXISTING UTILITIES IS APPROXIMATE. LOCATION OF EXISTING UTILITIES AS PER OWNER.
12. IMPROVEMENTS ALONG BRICK BOULEVARD, OCEANBOULE BOULEVARD AND CEDAR BRIDGE AVENUE AS PER THE QUALITY OF DESIGN PREPARED BY BOULEVARD & KENNEY, INC. LINDSEYTON, N.J.
COUNTY FILE NO. 00-000-115.
13. THE ENTIRE PARKING LOT SHALL BE OVERLAYED WITH 2" FABRIC SURFACE COURSE.



KEY MAP

SCALE: 1" = 200'

B-2 ZONE (GENERAL BUSINESS ZONE)

	REQUIRED	PROPOSED BUILDING NR 1	EXISTING BUILDING NR 2	EXISTING BUILDING NR 3
COVERAGE LOT AREA	20,000 SQ. FT.	174,769 SQ. FT.	174,769 SQ. FT.	174,769 SQ. FT.
LOT WIDTH	120'	450'	450'	450'
LOT DEPTH	120'	254'	254'	254'
FRONT YARD SETBACK	50'	42'/44'	27.34'/300'	30.00'/44.51'
REAR YARD SETBACK	50'	N/A	N/A	N/A
SIDE YARD SETBACK	10'	N/A	N/A	N/A
MAX. LOT COVERAGE	30%	25%	25%	25%
MAX. STORIES (FT.)	2 (55')	10FT	10FT	10FT
MAX. FLOOR AREA	1,000 SQ. FT.	3,140 SQ. FT.	3,200 SQ. FT.	30,460 SQ. FT.

TOTAL LOT COVERAGE = 21%

* UNUSABLE EQUIPPED

PARKING REQUIREMENTS

Parking for uses approved by Abridged Site Plan at October 2, 1994 Planning Board Executive Session:	Remaining Units Proposed:
Boston Market	18.50 spaces
Riviera Realty	10.66 spaces
Cutting Don	22.00 spaces
Chinese Buffet	49.00 spaces
Paper Store	40.00 spaces
Golf Store	19.75 spaces
Woodworkers Store	12.62 spaces
	172.53 spaces

*Total Spaces Required: (198.63) = 199 spaces
*Total Spaces Existing: 187 spaces
*Variance required for parking deficiency of 12 spaces when building is fully occupied.

ADJACENT ZONES:

	B-2 ZONE	B-3 ZONE
LOT AREA	12,000 SQ. FT.	2 ACRES
LOT WIDTH	75'	200'
LOT DEPTH	160'	75'
FRONT YARD SETBACK	50'	50'
REAR YARD SETBACK	10'	50'
MAX. LOT COVERAGE	30%	30%
MAX. STORIES (FT.)	2 1/2 (35')	N/A (15')
MAX. FLOOR AREA	N/A	5,000 SQ. FT.

LINDSTROM & DIESSEN ASSOCIATES, P.C.

321 MANTOLOKING ROAD

BRICK, NEW JERSEY 08723

PREPARED BY

SITUATED IN:

TOWNSHIP OF BRICK

OCEAN COUNTY

NEW JERSEY

PROPERTY OWNERS WITHIN 200 FEET

Block	Sec	Property Address	Owner Name & Mailing Address
446.01	21	530 BRICK BLVD.	LA CO-MURDER HO. COOP-1502N PILLARY 200 N. 4TH ST. W. TRAKO KANSAS CITY, MO. 64101-1445
446.04	18	514 DUQUESNE BLVD.	MORGAN & BERNSTEIN REALTY ASSOC. 214 DUQUESNE BLVD BRICK TOWN, N.J. 08723
446.04	5	520 DUQUESNE BLVD.	LANDSCAPE, DAVID & FAREN 720 DUQUESNE BLVD. BRICK TOWN, NJ 08723
446.01	5	DUQUESNE BLVD.	LATE RIVIERA CO. L.P. 150 BRICK BLVD. BRICK, NJ 08723
446.01	5	515 DUQUESNE BLVD.	POPOVICH, ARTURO & CERALD 514 BRICK AVE. LINDEN, NJ 07036
446.23	7	523 DUQUESNE BLVD.	VARNO, RICHARD D. 523 DUQUESNE BLVD. BRICK TOWN, N.J. 08723
446.23	8	527 DUQUESNE BLVD.	METZ, WILLIAM A. & CHRISTINE 527 DUQUESNE BLVD. BRICK, NJ 08723
446.23	9	531 DUQUESNE BLVD.	POULAR, GEORGE & CAROLINE H. 531 DUQUESNE BLVD. BRICK TOWN, N.J. 08723
446	22	1035 CEDAR BRIDGE AVE	CHANE, ROBERT E. 724 BRICK RD. BRICK, NJ 08723
446	37	VOTAGER WAY	KLEINSTEIN, ALLAN & LISA 214 BRICK ROAD BRICK TOWN, NJ 08723
446	45	449 AURORA PL.	KLEINSTEIN, ALLAN & LISA 419 STONEY PT. ROAD BRICK TOWN, NJ 08723
446	10	CEDAR BRIDGE AVE.	BRICK PLAZA INC. APICAL REALTY 4800 HANOVER LA ROUTE 500 BETHESDA, MD 20814
446	10	CEDAR BRIDGE AVE.	EXCON CORPORATION P.O. BOX 51 HOUSTON, TEXAS 77001
446	22	CEDAR BRIDGE AVE	BRICK PLAZA, INC. APICAL REALTY 4800 HANOVER LA ROUTE 500 BETHESDA, MD 20814
446	11	400 BRICK BLVD.	EXCON CORPORATION P.O. BOX 51 HOUSTON, TEXAS 77001
470.01	15	105 BRICK BLVD	W.L. ASSOCIATES PO BOX 605 BRICK, NJ 08723
547	1	545 BRICK BLVD	COLLECTIVE FEDERAL SAVINGS BANK 545 BRICK BLVD BRICK, NJ 08723
471	2	BRICK BLVD.	EXCON CORPORATION P.O. BOX 51 HOUSTON, TX 77001

OWNER & APPLICANT
SMITH & SONS REALTY CO. L.P.
550 BRICK BOULEVARD
BRICK, NEW JERSEY

Riviera Plaza
446.05 / 3

APPROVED FOR FILING BY THE BRICK TOWNSHIP PLANNING BOARD.

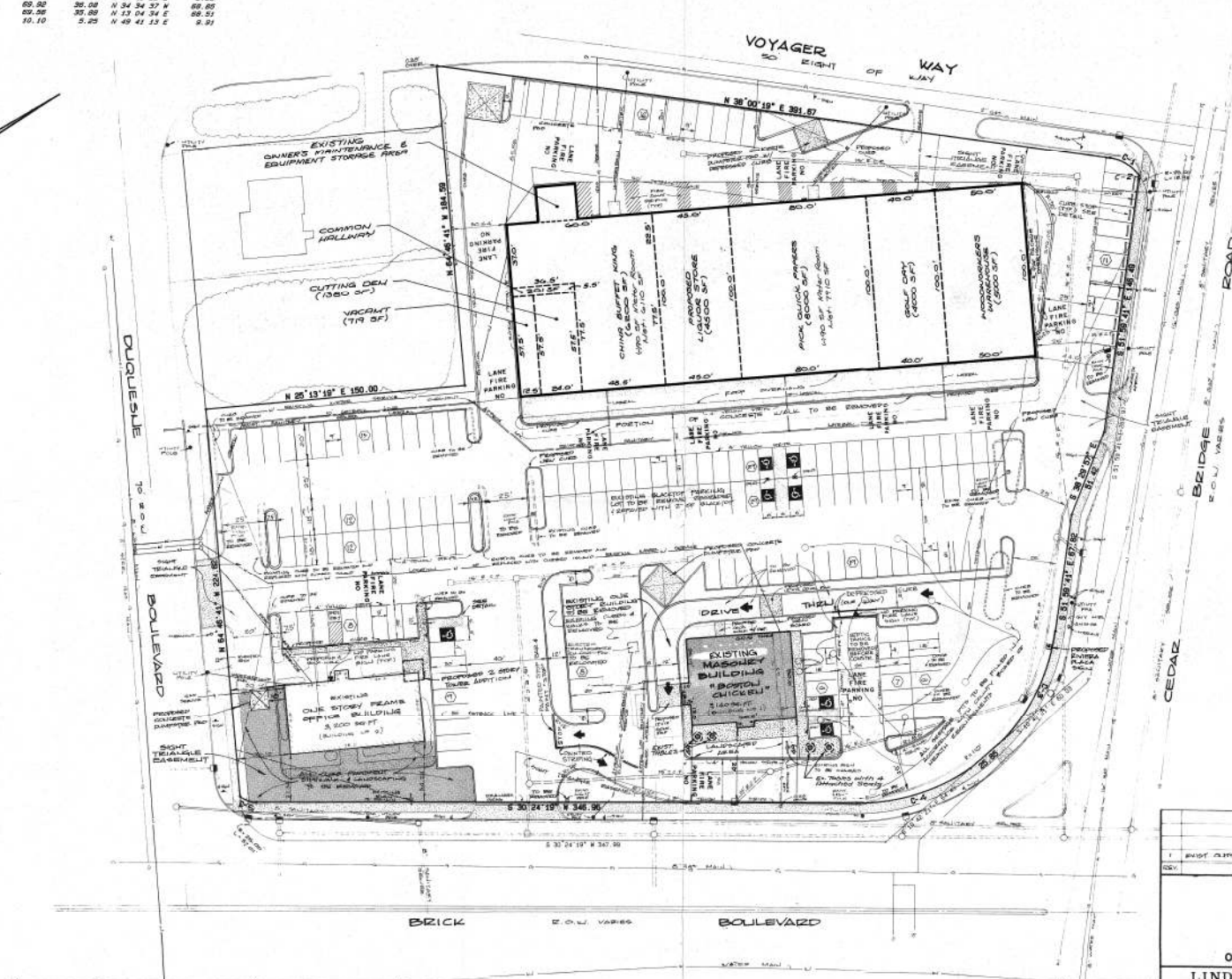
1/24/97
1/10/97

THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
DATE 9/27/94
DIRECTOR OF ENGINEERING

SHEET NO. 1 OF 2

Job No. 90036

Curve No.	Radius	Delta	Length	Tangent	Chord
1	25.00	045 36 53	20.34	10.77	S 81 18 46 N
2	15.00	055 36 29	2.25	1.13	S 47 41 29 E
3	115.00	034 50 09	69.92	35.08	N 34 34 37 N
4	115.00	034 50 09	69.92	35.08	N 13 04 34 E
5	15.00	038 33 48	10.10	5.05	N 49 41 13 E



THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.
James M. S. Sideroti 9/27/94
 VARIOUS SIDEROTI, P.E.
 DIRECTOR OF ENGINEERING

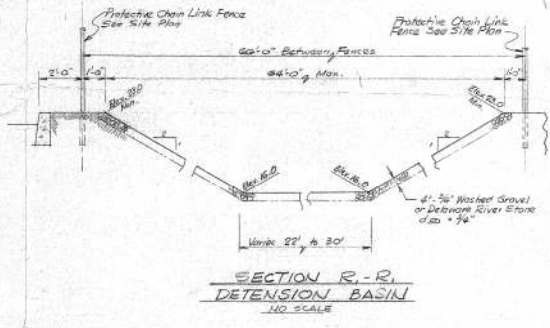
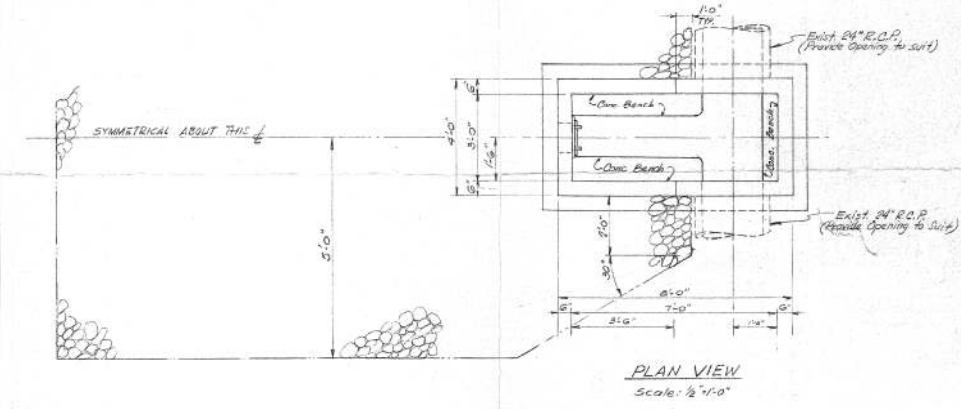
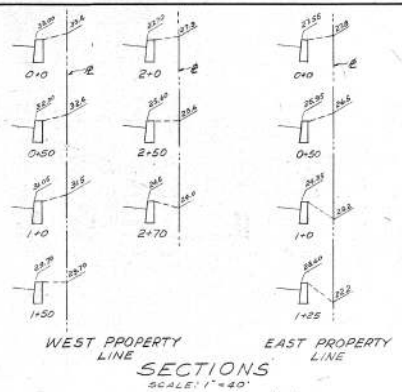
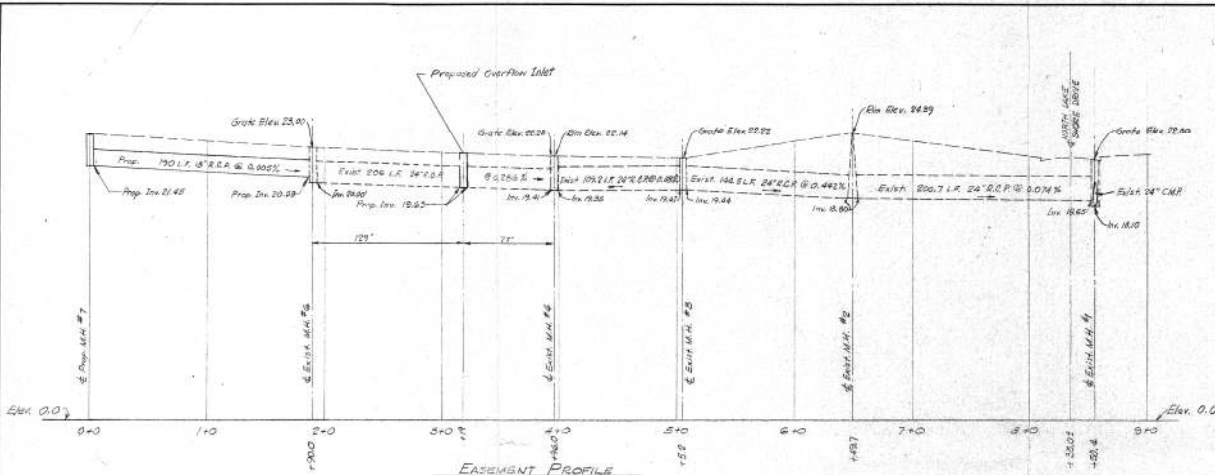
APPROVED FOR FILING BY THE BRICK TOWNSHIP PLANNING BOARD.

John F. Diessner 1-24-97
 SECRETARY
Charles E. Lindstrom 1/10/97
 CHAIRMAN
John F. Diessner 1/10/97
 ENGINEER

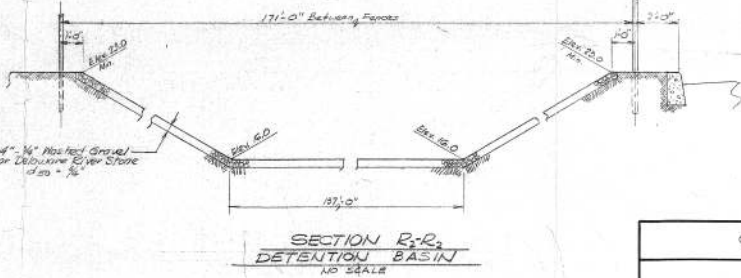
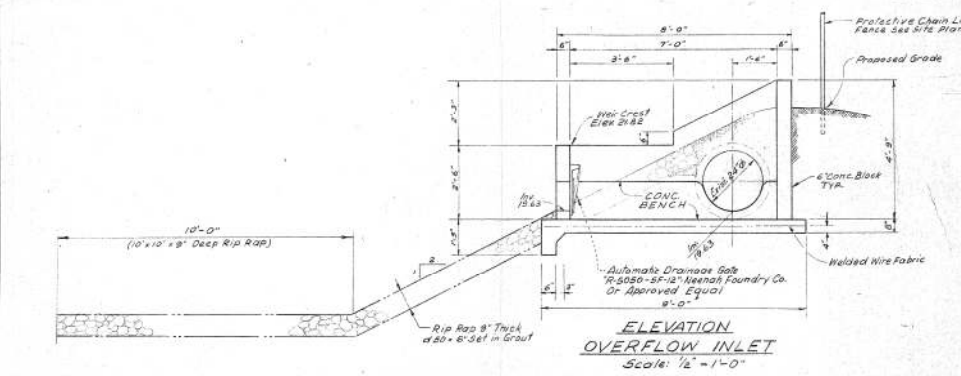
1. EXIST. LOT 3, BLOCK 446.05, P.O. RESOLUTION NO. 2-01-96		2. DATE
DESCRIPTION		
MINOR SITE PLAN FOR LOT 3, BLOCK 446.05 TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY		
LINDSTROM & DIESSNER ASSOCIATES, P.C. ENGINEERS, SURVEYORS & PLANNERS 231 WASHINGTON AVE. BRICK, NEW JERSEY 08701		
JOHN F. DIESSNER PROFESSIONAL LAND SURVEYOR, N.J. LIC. NO. 21396 PROFESSIONAL PLANNER, N.J. LIC. NO. 4342	CHARLES E. LINDSTROM PROFESSIONAL ENGINEER, N.J. LIC. NO. 2753 PROFESSIONAL PLANNER, N.J. LIC. NO. 2753	DATE 9/27/94
SCALE 1" = 50'	SHEET NO. 2 OF 2	90036



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- TYPICAL PLANTING BED IN BUFFER ZONE**
- Eastern White Pine (*Pinus Strobus*)
(5 to 4 foot high at planting)
 - Lanceleaf Privet (*Ligustrum Vulgare Nanum*)
(18 to 16" high at planting)
 - Hetz Juniper (*Juniperus Chinensis Hetzii*)
(12 to 18" high at planting)



OWNER & APPLICANT: BRICK OFFICE PARK ASSOCIATES 585 HUNTER DRIVE BRICK TOWNSHIP, NEW JERSEY 08723	
DETAIL SHEET	
TAX LOT 3 BLOCK 446	
BRICK TOWNSHIP, OCEAN COUNTY, NEW JERSEY	
ERNST, ERNST & LISSENDEN ENGINEERS & SURVEYORS, Toms River, N. J.	
DATE: 11/1/82	DRAWN BY: J. J. LISSENDEN
CHECKED BY: J. J. LISSENDEN	DATE: 11/1/82
DRAWING NO. C-104	

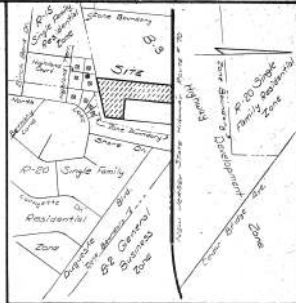
NO.	DATE	REVISION	BY

LANDSCAPING BY AREA
All New Plant Locations to be Established at Time of Installation

Area	Materials & Methods
(A)	1. Clear off all weeds & undergrowth 2. Apply fertilizer & lawn seed 3. Apply mulch
(B)	1. Save all existing Holly Trees (10" Tree 5' @ 1 over) 2. Apply fertilizer & lawn seed 3. Apply mulch
(C)	1. Apply mulch 2. Apply fertilizer & lawn seed 3. Apply mulch
(D)	1. Save all existing Holly Trees (10" Tree 5' @ 1 over) 2. Apply fertilizer & lawn seed 3. Apply mulch
(E)	1. Save all existing Holly Trees (10" Tree 5' @ 1 over) 2. Apply fertilizer & lawn seed 3. Apply mulch

LEGEND

Existing Monument	Existing Contours
Existing Elevation (Pavement)	Existing Sanitary Sewer System
Existing Storm Sewer System	Existing Single 400 W/S Light
Existing Double 400 W/S Light	Proposed Storm Sewer System
Proposed Contours	Proposed Sanitary Sewer System
Proposed Single 400 W/S Light	Proposed Double 400 W/S Light (Lighting Detail)
Proposed Double 400 W/S Light (Lighting Detail)	Call Out - See Section 10.1



LOCATION MAP
SCALE IN FEET
RECEIVED
APR 15 1977
BRICK TOWNSHIP PLANNING BOARD

- NOTES:**
- Area of Site Plan Contains 3.8 Acres
 - Front of Tax Lot 3 Block 446 in accordance with Map Entitled "Minor Subdivision Map of Tax Lots 3 & 4 Block 446 Brick Township N.J."
 - Tax Map Sheet 34
 - Property located in B-3 Highway Development Zone
Minimum Area - 2 Acres
Minimum Lot Width - 200 Feet
Minimum Lot Depth - 200 Feet
Minimum Setbacks
Front Yard - 15 Feet
Side Yard - 30 Feet
Rear Yard - 35 Feet
 - Grading Requirements
Grass Cover Area - 48,000 sq. ft.
Asphalt - 300 sq. ft.
Paved - 160 spaces
Unpaved - 259 spaces
 - All Parking Spaces to be Marked with 4" wide Redwood White Lines
 - Concrete Curbs shall be Provided for all Parking Spaces adjacent to Building
 - Property Survey of Entire Tract by Ernst, Ernst & Lissenden, Engineers & Surveyors, Town of Brick, New Jersey "Survey Map of Tax Lot 3 & 4 Block 446 Brick Township N.J." Dated Oct. 2, 1975 Block Map Entitled "Survey Map of Tax Lot 3 & 4 Block 446 Brick Township N.J." Dated Feb. 10, 1976
 - Lighting:
2 - 400 W/S - 200' - 200' - 200' (2-400 W/S)
3 - 400 W/S - 200' - 200' - 200' (1-400 W/S)
(See Legend for Lighting Detail)
 - Branch Mark: G.C.S. Mon 801 Elev. + 35.18
 - Elevations shown at curb line are gutter elevations. Use 1.5" gutter overflows to obtain top of curb elevations (U.S.C. 16.3. Defm)
 - Proposed Building to be Connected to Public Sewer. If Public Sewer is not available at Time of Construction, Building will be Connected to Temporary On-Site Disposal System

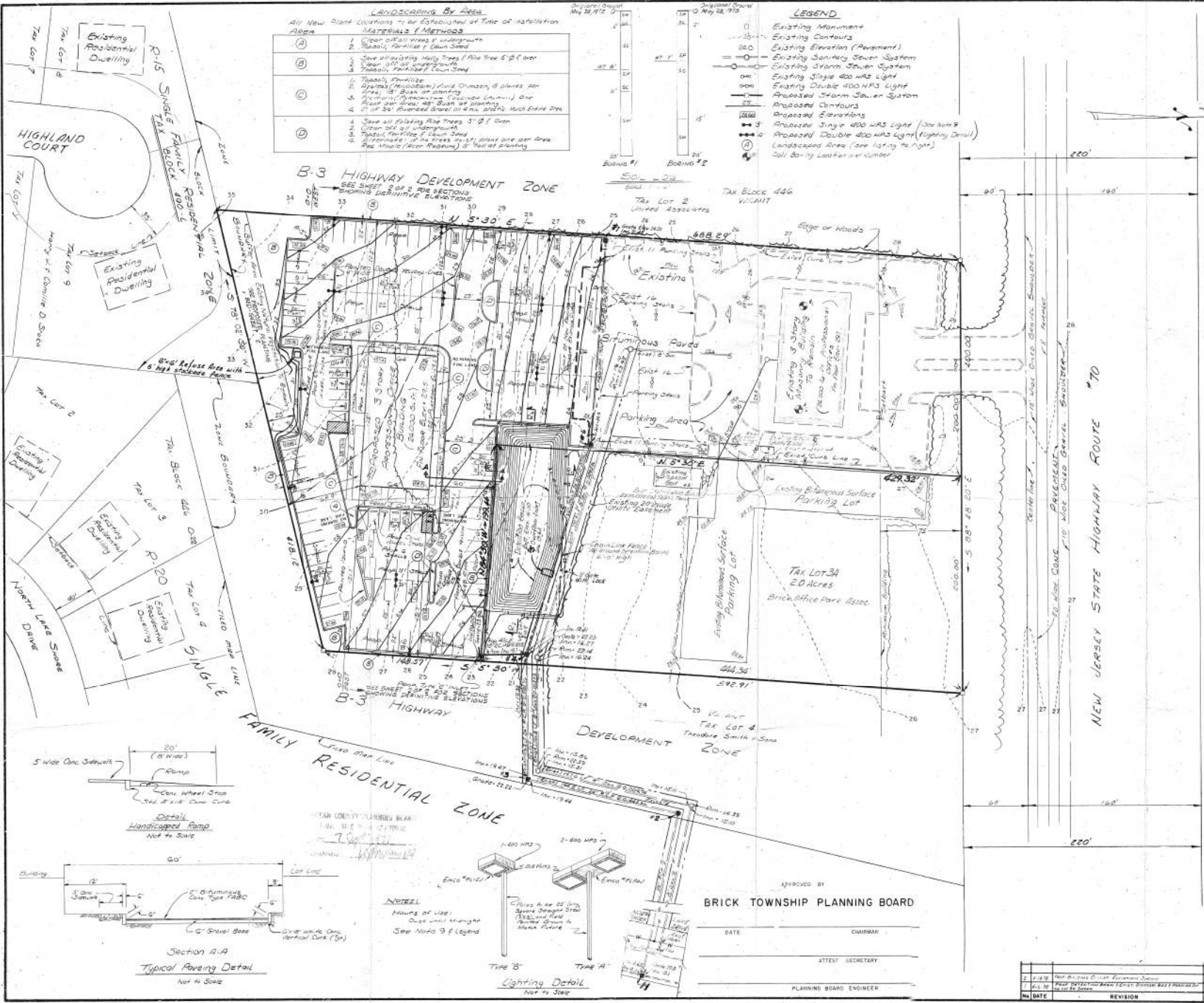
SCALE IN FEET
0 10 20 30 40 50 60 70 80 90 100

OWNER & APPLICANT: BRICK OFFICE PARK ASSOCIATES
500 TOWNE DRIVE, BRICK TOWNSHIP, NEW JERSEY 08723

SITE PLAN OF
TAX LOT 3 BLOCK 446
BRICK TOWNSHIP, OCEAN COUNTY, NEW JERSEY

ERNST, ERNST & LISSENDEN
ENGINEERS & SURVEYORS
52 MYERS STREET, TOWNE RIVER, N.J. 08753

DATE: July 20, 1977
SCALE: 1" = 40'
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DRAWING NUMBER: **C-104**



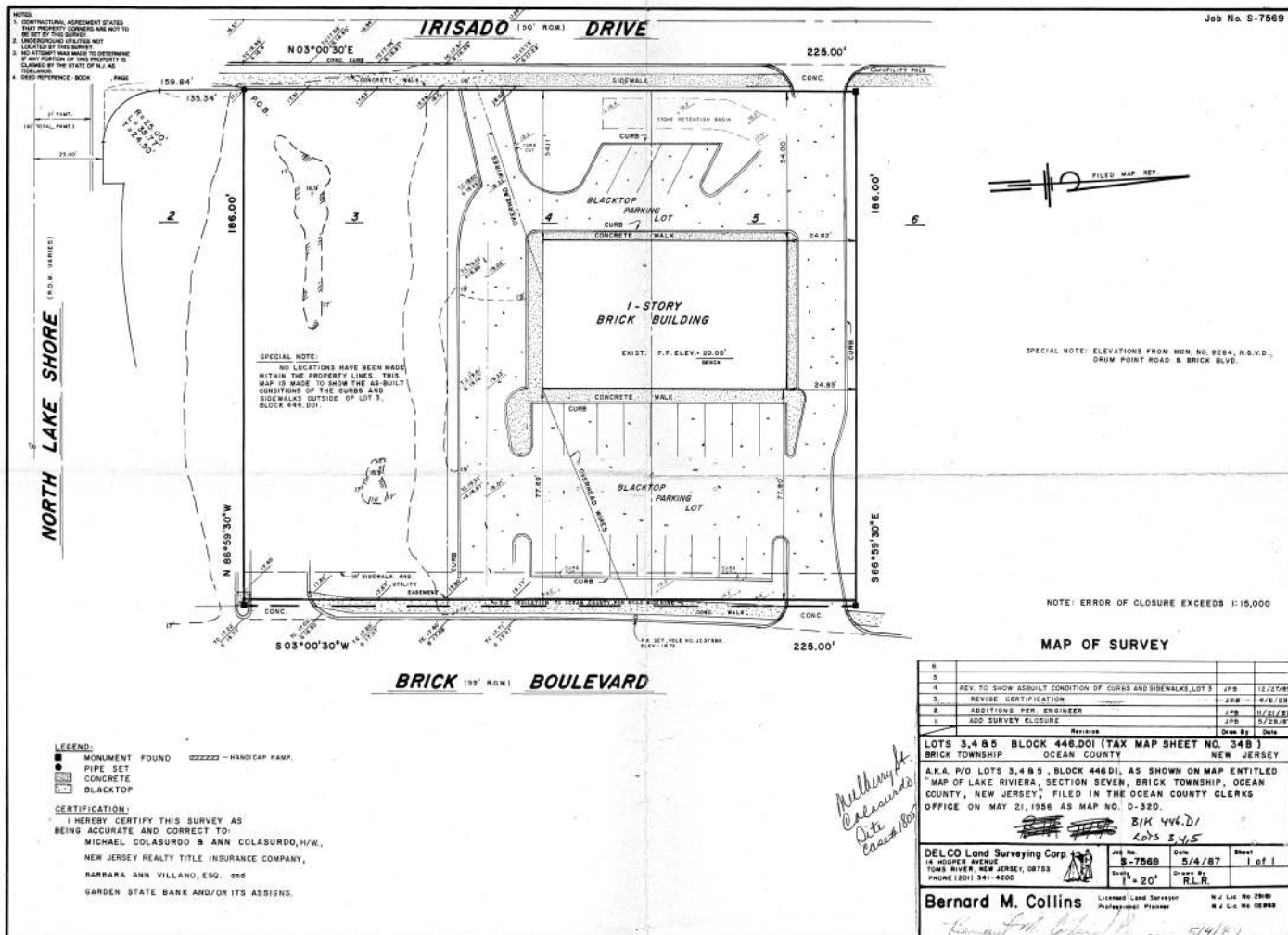
APPROVED BY: **BRICK TOWNSHIP PLANNING BOARD**

DATE: _____ CHAIRMAN: _____

ATTEST SECRETARY: _____

PLANNING BOARD ENGINEER: _____

DATE	REVISION	BY
7/20/77	1	ERNST, ERNST & LISSENDEN



Job No. S-7569

NOTES:

1. CONTRACTUAL AGREEMENT STATES THAT PROPERTY LINES ARE NOT TO BE LOCATED BY THE SURVEY.
2. UNDEVELOPED LOTS ARE NOT LOCATED BY THE SURVEY.
3. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF N.J. AS TO ADJACENT.
4. USED REFERENCE BOOK.

IRISADO DRIVE

BRICK BOULEVARD

LEGEND:

- MONUMENT FOUND
- PIPE SET
- CONCRETE
- BLACKTOP

CERTIFICATION:

I HEREBY CERTIFY THIS SURVEY AS BEING ACCURATE AND CORRECT TO:

MICHAEL COLASURDO & ANN COLASURDO, H/W.,
NEW JERSEY REALTY TITLE INSURANCE COMPANY,
BARBARA ANN VILLANO, ESQ., and
GARDEN STATE BANK AND/OR ITS ASSIGNS.

MAP OF SURVEY

NOTE: ERROR OF CLOSURE EXCEEDS 1:15,000

DELCO Land Surveying Corp.
44 WOODRIDGE AVENUE
TOWNS RIVER, NEW JERSEY, 07055
PHONE (609) 681-4400

Job No. S-7569
Date 5/4/87
Scale 1" = 20'

Sheet 1 of 1

Bernard M. Collins
Licensed Land Surveyor
Professional Planner

W.J. L.H. No. 2588
W.J. L.H. No. 02888