

plb. in
main folder 3A

STORE NO

Page 1

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JUL 24 1989

DIV. OF INSPECTION



CONSTRUCTION PERMIT APPLICATION

TOWNSHIP OF BRICK
MARSHALLS

I. IDENTIFICATION

1. Proposed Work at: Route 70 & Chambers Bridge Rd.
2. Owner Name: Landthrop Enterprises, Inc. Tel. (201) 773-4000
Address 174 Passaic Street, Garfield, NJ 07026
3. Principal Contractor: Vornado, Inc. Tel. (201) 773-4000
Address 174 Passaic Street, Garfield, NJ 07026
- Lic. No. or Builder Reg. No. _____ Federal Emp. No. _____
4. Architect or Engineer: O'Brien & Associates Tel. (201) 263-0058
Address 300 Interpace Parkway, Parsippany, NJ 07054
5. Responsible Person in Charge of Work: Richard J. Wise Tel. (201) 773-4000

II. PROPOSED WORK

A. TYPE OF WORK

1. ☐ Minor Work (Single Trade)
2. ☐ Small Job (\$5,000 and no Prior Approvals)
Complete only II.B., III and IV.A. and Page 2
3. ☐ New Building
4. ☐ Addition
5. ☐ Alteration
6. ☐ Repair, Replacement
7. ☐ Demolition
8. ☐ Other: c/o fit-up

B. CATEGORIES OF WORK

- | Permit/Category | Estimated |
|--|-----------|
| 1. ☒ Building/Structural | \$ _____ |
| 2. ☐ Plumbing | _____ |
| 3. ☐ Electrical | _____ |
| 4. ☒ Fire Protection | _____ |
| 5. ☐ Other _____ | _____ |
| 6. ☐ Other _____ | _____ |
| TOTAL COST <u>\$130,000</u> | |

C. DO YOU WANT:

1. ☐ Partial Releases 2. ☐ Prototype Processing

D. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

1. ☐ Elevators/Dumbwaiters
2. ☐ High-Pressure Boilers
3. ☐ Refrigeration Systems
4. ☐ Pressure Vessels
5. ☐ Hazardous Uses/Places of Assembly
6. ☐ Cross-connections/Backflow Preventors
7. ☒ Sprinklers
8. ☐ Smoke Control Systems in Open Wells

III. DESCRIPTION OF BUILDING USE (USE GROUPS)

A. RESIDENTIAL

1. ☐ Hotels (R-1)
2. ☐ Multi-Family (R-2)
HMD Reg. No.: _____
3. ☐ Two Family (R-3b)
4. ☐ One-Family (R-3a)

If new construction, enter no. of dwelling units _____

If other than new construction, enter no. of dwelling units: _____

Before Construction: _____
After Construction: _____
Net Gain (or loss): _____

B. NON-RESIDENTIAL

5. ☐ Theatres with Stage (A-1-A)
6. ☐ Movie Theatres (A-1-B)
7. ☐ Night Clubs (A-2)
8. ☐ Restaurants, Libraries, Museums (A-3)
9. ☐ Religious Assembly (A-4)
10. ☐ Outdoor Assembly (A-5)
11. ☐ Business (B)
12. ☐ Educational (E)
13. ☐ Moderate-Hazard Factory (F-1)
14. ☐ Low-Hazard Factory (F-2)
15. ☐ High-Hazard (H)

16. ☐ Institutional Detention Center (I-1)
17. ☐ Hospitals, Infirmarys (I-2)
18. ☐ Group Homes (I-3)
19. ☒ Mercantile (M)
20. ☐ Moderate-Hazard Warehouse (S-1)
21. ☐ Low-Hazard Warehouse (S-2)
22. ☐ Temporary, Misc. (U)
23. ☐ Other _____

State Specific Use: _____

If Change in Use Group, Indicate Former: _____

IV. BUILDING CHARACTERISTICS

A. OWNERSHIP

1. ☒ Private (Individual, Corp., Non-profit Inst., Etc.)
2. ☐ Public (State, County or Local Govt.)

B. HEATING FUEL

- | Principal | Secondary | Type |
|--|--------------------------|--------------------------|
| 3. ☒ | ☐ | Gas |
| 4. ☐ | ☐ | Oil |
| 5. ☐ | ☐ | Electric |
| 6. ☐ | ☐ | Solid (Wood, Coal, Etc.) |
| 7. ☐ | ☐ | Propane |
| 8. ☐ | ☐ | Solar |
| 9. ☐ | ☐ | Other _____ |

C. TYPE OF SEWAGE DISPOSAL

10. ☒ Public or Private Company
11. ☐ Private (Septic Tank, Etc.)

D. TYPE OF WATER SUPPLY

12. ☒ Public or Private Company
13. ☐ Private (Well, Etc.)

E. BUILDING CHARACTERISTICS

14. No. of Stories _____
15. Height of Structure _____ Ft.
16. Area—Largest Floor _____ Sq. Ft.
17. Bldg. Area—All Fls. _____ Sq. Ft.
18. Volume of Structure _____ Cu. Ft.
19. Total Land Area Disturbed _____ Sq. Ft.

LDS BR 10110211

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION

I hereby certify that I am the owner of the property listed on Page 1. This dwelling is to be occupied by myself and is not to be used for any purpose, other than single family residential use.

- A. ☐ I further certify that I prepared the plans submitted. This statement is made in accordance with the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)vii.
- B. ☐ I further certify that I will perform the work below.
 B1. ☐ Building B2. ☐ Electrical B3. ☐ Plumbing
- C. ☐ I further certify that a new home will be constructed on this property, for my use and occupancy. I attest that all design, construction, plumbing, or electrical work will be done by me or by subcontractors under my supervision, in accordance with all applicable laws; and further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.A.C. 46:3B-1 et. seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.
- D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

SIGNATURE _____ DATE _____

II. AGENT SECTION

I hereby certify that the work is authorized by the owner of record and I have been authorized by the owner to make this application as his agent.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☐ Check if contractor.

AGENT NAME DEK WISE FOR VORNADO INC TEL. (201) 773-4000

ADDRESS 174 RABBIT ST. GARFIELD, NJ 07026

SIGNATURE *[Signature]*

PRIOR APPROVALS CHECKLIST

[illegible]

SUBCODES AND SPECIAL REGULATIONS APPLICABLE:

☐ One and Two Family Dwellings	☐ Mechanical	☐ Flood Hazard
☐ Building	☐ Energy	☐ As Built Elevation Certification
☐ Electrical	☐ Barrier Free	☐ Other

TOWNSHIP OF BRICK



CERTIFICATE

CERT. NO. 5115
 DATE ISSUED 11-6-89
 Block 701 Lot 7, 8, 15 & 16
 Subdivision _____

IDENTIFICATION

Owner Landthrop Ent. Agent Vornado Inc
 Address 174 Passaic St. Address _____
Garfield, N.J.
 Tel. (____) _____ Tel. (____) _____
 Work Site Address "Marshalls" Lic. No. _____
Rt 70 & Chambers Bridge Rd Federal Emp. No. _____

PAYMENTS

Fees Remitted \$ _____
☐ Check No. _____
☐ Cash _____
☐ Other _____
 Collected By: _____
 Date: _____

CERTIFICATE OF OCCUPANCY/APPROVAL

- A. ☐ CERTIFICATE OF OCCUPANCY ☐ CERTIFICATE OF APPROVAL

This serves notice that said building, structure, or equipment has been constructed or installed in accordance with the New Jersey Uniform Construction Code, and is approved for use and/or occupancy.

- B. ☐ CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

- C. ☒ TEMPORARY CERTIFICATE OF OCCUPANCY

If this is a Temporary Certificate of Occupancy the following conditions must be met no later than December, 6, 89 or the owner will be subject to a fine or order to vacate:

TCO extended to December 31, 1989

30 Days until Dec. 6, 1989 pending finalon entire site.
 extended 10 days to Dec. 16, 1989

D. DESCRIPTION OF WORK:

Commercial Alteration & C/A

(Fit-up

USE GROUP M FIRE GRADING 3 1/2 hours
 MAXIMUM LIVE LOAD _____ MAXIMUM OCCUPANCY LOAD _____
 SPECIFIC USE Alteration

FINAL COST OF CONSTRUCTION: \$ 130,000.

Arthur J. Cierzo
 CONSTRUCTION OFFICIAL



CONSTRUCTION PERMIT

Date Issued 8-2-89
Control #
Permit # 5115

IDENTIFICATION Block 701 Lot 7-8-15-16
Work Site Location Rt. 70 & Chambersbridge Pl. Contractor Vonnado, Inc.
Owner in Fee Landthrop Ent. Inc. Address _____
Address 174 Pacific St Springfield, NJ Tele. () _____
Tele. () _____ Lic. No. or Bldrs. Reg. No. _____ Exp. Date _____ 0.00
Federal Emp. No. 701K #
or Social Security No. LOT 0.00

is hereby granted permission to perform the following work:

☒ BUILDING ☐ PLUMBING ☐ OTHER _____
☐ ELECTRICAL ☒ FIRE PROTECTION

DESCRIPTION OF WORK:

Comm. alter. & c/p (MARSHALL'S)

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 130,000.

A. J. Cenzo
CONSTRUCTION OFFICIAL

PAYMENTS (Office Use Only)		
BUILDING		2602.45
FIRE		40.00
PLAN REV		284.25
D.C.A.		240.21
C / O		426.37
TOTAL		3793.28
CHECK		3793.28
CHANGE		0.00
Cert. of Occ.		
Other	08/02/89 NO. 5 0021A005	16:01

Total _____
Check No. _____
Cash _____
Collected By: _____

"Marshalls"



CERTIFICATE

Date Issued 5-7-90
Control #
Permit # 5115

IDENTIFICATION

Block 701 Lot 7, 8, 15, 16
Work Site Location Rt. 70 & Chambersbridge Rd.
Owner in Fee Landthrop Enterprises, Inc.
Address 174 Passaic St.
Garfield, NJ
Tele. ()
Contractor Vornado, Inc.
Address
Tele. ()
Lic. No. or Bldgs. Reg. No.
Federal Emp. No.
or Social Security No.

Home Warranty No. none
Use Group M 3 1/2 hours
Maximum Live Load
Description of Work/Use:

Retail sales - Ladies clothing

Type of Warranty Plan: [] State [] Private
Construction Classification
Maximum Occupancy Load

CERTIFICATE OF OCCUPANCY/APPROVAL

☒ CERTIFICATE OF OCCUPANCY

This serves notice that said building, structure, or equipment has been constructed or installed in accordance with the New Jersey Uniform Construction Code, and is approved for use and/or occupancy.

☐ CERTIFICATE OF APPROVAL

☐ CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ TEMPORARY CERTIFICATE OF OCCUPANCY

If this is a Temporary Certificate of Occupancy the following conditions must be met no later than , 19 or the owner will be subject to a fine or order to vacate:

CONSTRUCTION OFFICIAL

Arthur J. Corrado

Fee \$
Paid [] Check No.
Collected by:

TOWNSHIP OF BRICK



BUILDING SUBCODE TECHNICAL SECTION



PERMIT NO. 5115
 DATE ISSUED 8-22-89
 REVISION DATE _____
 Block 701 Lot 7.8.15&16
 Subdivision _____

A. IDENTIFICATION

APPLICANT — *Complete unshaded areas only* When changing contractors, notify this office

Owner Landthrop Enterprises, Inc. Contractor Vornado, Inc.
 Address 174 Passaic Street Address 174 Passaic Street
Garfield, NJ 07026 Garfield, NJ 07026
 Tel. (201) 773-4000 Tel. (201) 773-4000
 Work Site Address Route 70 & Chambers Lic. No. _____
Bridge Rd. Federal Emp. No. _____

CERTIFICATION IN LIEU OF OATH:
(Complete for Minor Work and Small Job Only)
 I hereby certify that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his agent.

AGENT SIGNATURE

B. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Give detail description including materials used, dimensions, etc.

*Handball Courts
 Tennis Pick-up
 & Netball Portables*

TYPE OF WORK:

- ☐ New Building
☐ Addition
☐ Alteration/Renovation
☐ Roofing
☐ Siding
☐ Other _____
☐ Demolition
☐ Miscellaneous
☐ Fence
☐ Sign
☐ Pool
☐ Elevator
☐ Other 400,310 Cu Ft

Fee Basis

Fee

SUBTOTAL

Minimum Building Fee (if applicable)
 Total Building Fee
 (Greater of Minimum or Subtotal)

C. BUILDING CHARACTERISTICS

USE GROUP: M1 Present _____ Proposed _____

No. of Stories 1 Total Building Area—All Floors 24,000 Sq. Ft.
 Height of Structure 22 Ft. Volume of Structure _____ Cu. Ft.
 Area—Largest Floor 26,000 Sq. Ft. Total Land Area Disturbed _____ Sq. Ft.
 Estimated Cost of Building Work: \$ _____

D. COMMENTS

☐ Partial Releases ☐ Prototype Processing



Date Received
Date Issued
Control #
Permit #

2-26-90
183-90

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 701 Lot 7, 8, 15 Etc
Work Site Location CALLER TR.
275 70 & CHAMBERS BRIDGE
Owner in Fee CRDOR
Address 209 GALEL AVE
ALBUQUERQUE, NM
Tele. (505) 549-3911
Contractor PROTECTING SQUARE CO
419 E ETC ST
Address UNMOUNTED, ALY
Tele. (914) 623-2258
Lic. No. or Bldgs. Reg. No. 13-3402716 or Social Security No. _____
Federal Emp. No. _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)	Failure	Failure	Approval	Initial
☐ No Plans Req.			Type:					
☒ All	<u>2-13-90</u>	<u>10/10/90</u>	Footings					
☐ Footing			Foundation					
☐ Foundation			Slab					
☐ Frame			Frame					
☐ Other			Insulation					
Joint Plan Review Required:			Finishes:					
☐ Elec. ☐ Plumb. ☐ Fire			Energy					
SUBCODE APPROVAL			Mechanical					
☐ CO ☐ CCO ☐ TCA			TCO					
Date: <u>11/13/92</u>			Other					
Approved By: <u>RLC</u>			Final					

B. BUILDING CHARACTERISTICS

Use Group Present _____ Proposed _____
Constr. Class Present _____ Proposed _____
No. of Stories _____
Height of Structure _____ Ft.
Area—Largest Floor _____ Sq. Ft.
Total Bldg. Area/All Floors _____ Sq. Ft.
Volume of Structure _____ Cu. Ft.
Total Land Area Disturbed _____ Sq. Ft.

Est. Cost of Bldg. Work:

1. New Bldg. \$ _____
2. Alteration \$ _____
3. Total (1+2) \$ 20,000

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature _____

D. TECHNICAL SITE DATA
DESCRIPTION OF WORK

Sign

TYPE OF WORK:

- ☐ New Building
- ☐ Addition
- ☐ Alteration
- ☐ Roofing
- ☐ Siding
- ☐ Other _____
- ☒ Demolition
- ☒ Miscellaneous
- ☐ Fence _____ Height _____
- ☒ Sign 184 Sq. Ft. ETCH.
- ☐ Pool
- ☐ Elevator
- ☐ Asbestos Abatement
- ☐ Other _____

(Office Use Only)
FEE

Paid ☐ Check # _____	Administrative Surcharge \$ _____
Collected by: _____	Minimum Fee \$ _____
	TOTAL FEE \$ _____



Date Received 2/16/90
Date Issued
Control #
Permit # 148-90

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 701 Lot 7-8-15-16
Work Site Location Rt 70 + Chambers Bridge Rd
(Shaprite-Calder Mall) Bricktown
Owner in Fee Beauty Barn
Address 1050 Sherman Ave.
Elizabeth, N.J.
Tele. (201) Yates Sign Co.
Contractor 1809 RT 33
Address Neptune, N.J.
Tele. (201) 988 6161
Lic. No. of Bldrs. Reg. No.
Federal Emp. No. or Social Security No.

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of, repaired and am authorized to make this application.
Signature James J. Anderson

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK
building Individual internally lit
36" channel letters, flush mounted
with remote transformers behind wall
2 signs 84 sq ft each.

(Office Use Only)

FEE

\$

\$

\$

\$

\$

\$

\$

\$

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TYPE OF WORK:

[] New Building

[] Addition

[] Alteration

[] Roofing

[] Siding

[] Other

[] Demolition

[] Miscellaneous

[] Fence

[] Sign

[] Pool

[] Elevator

[] Asbestos Abatement

[] Other

[] Other

Administrative Surcharge

Minimum Fee

TOTAL FEE

\$

\$

\$

\$

\$

\$

\$

\$

JOB SUMMARY (Office Use Only)

PLAN REVIEW

Date

Initial

Dates (Month/Day)

[] No Plans Req.

[X] All 2-13-90

[] Footing

[] Foundation

[] Frame

[] Other

Joint Plan Review Required:

[] Elec. [] Plumb. [] Fire

SUBCODE APPROVAL

[] CO [] CCO [] CA

Date: 11/13/90

Approved By: [Signature]

Final

Failure

Failure

Approval

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

Initial

B. BUILDING CHARACTERISTICS

Use Group Present Proposed
Constr. Class Present Proposed
No. of Stories 2
Height of Structure 20
Area—Largest Floor 2100
Total Bldg. Area/All Floors
Volume of Structure
Total Land Area Disturbed

Est. Cost of Bldg. Work: \$4500

1. New Bldg. \$

2. Alteration \$

3. Total (1+2) \$



FIRE SUBCODE TECHNICAL SECTION



PERMIT NO. 5115
DATE ISSUED 8-2-89
REVISION DATE _____
Block 701 Lot 7, 8, 15 & 16
Subdivision _____

A. IDENTIFICATION

APPLICANT — Complete unshaded areas only

When changing contractors, notify this office

Owner Landthrop Enterprises, Inc.
Address 174 Passaic Street
Garfield, NJ 07026
Tel. (201) 773-4000
Work Site Address Route 70 & Chambers
Bridge Rd.

Contractor Vornado, Inc.
Address 174 Passaic Street
Garfield, NJ 07026
Tel. (201) 773-4000
Lic. No. _____
Federal Emp. No. _____

CERTIFICATION IN LIEU OF OATH:

(Complete for Minor Work and
Small Job Only)

I hereby certify that the proposed work
is authorized by the owner of record
and I have been authorized by the
owner to make this application as his
agent.

AGENT SIGNATURE

B. TECHNICAL SITE DATA

B1. SPRINKLERS

TYPE: ☐ Wet ☐ Dry ☐ Other _____
Area Sprinkled: ☐ Full ☐ Partial (Specify in comments)
No. of Heads: _____ No. of Spare Heads: _____
☐ Valves Supervised — Method: _____ Size: _____
Water Supply — Source: _____
FD Connection Location: _____
Estimated Cost of Work: \$ _____

FEE

B2. SPECIAL SUPPRESSION SYSTEMS

TYPE: ☐ Dry Chemical ☐ CO₂
☐ Halon ☐ Foam
☐ Other _____
Manual Pull: ☐ Yes ☐ No
Locations: _____

B3. ALARM

TYPE: ☐ Manual ☐ Automatic
Supervision Type: ☐ Local ☐ Central
☐ Proprietary ☐ Remote Location
Estimated Cost of Work: \$ _____

FEE

B4. STAND PIPES

Pipe Size: _____ Pump Size: _____
Water Source: _____ Size: _____
FD Connection Location: _____
Hose Station: ☐ Yes ☐ No
Estimated Cost of Work: \$ _____

B5. OTHER

Hand Signs - the signs are already there / the other signs

Subtotal

Estimated Cost of Work: \$ _____
See Vornado Permit already filed

Minimum Fire Protection Fee (If Applicable)
Total Fire Protection Fee (Greater of Minimum
or Subtotal)

\$ 40

C. FIRE PROTECTION CHARACTERISTICS

USE GROUP M Present _____ Proposed _____
Heating Systems — Location: _____
Type: ☒ Gas ☐ Oil ☐ Electrical ☐ Solar ☐ Other _____
Fuel Storage Tank — Location: _____ Fuel Type: _____ Capacity: _____
Total Estimated Cost of Fire Protection Work: \$ _____

D. COMMENTS

☐ Partial Releases ☒ Prototype Processing

PLAN REVIEW AND INSPECTION - FIRE

DATE

JOB CONDITION/COMMENTS

10/23/89 ① Reinspect Sprinkler Co. Certification ok
 Marshall Boxes must be removed from Rooms'
 no space. Racks must be installed as per
 Plans & Bld cleaned up. will make re-
 inspection on 10/24/89

10/24/89 Racks ~~to~~ Laid out as to Plans Smoke detectors
 working ① Found water Pory. Bell missing
 on Sprinkler Sp. and ~~it~~ take not
 in place, Can't issue C.O. But up to
 Construction officers. if Stock can be Brought
 in only.

Work Completed in Store

11-3-89 Re Insp. Store Complies with Fire Code. Re Insp.
 Penalties, \$400.00, etc

JOB SUMMARY

- ☐ No Plans Required
☐ Plan Review Approved

Date: 8/2/89

Approved By: *[Signature]*

INSPECTIONS FINAL

☒ CO ☐ CCO ☐ CA

Date: 11-3-89

Inspected By: *[Signature]*

INSPECTIONS

Type

Failure Date

Approval Date

- ☒ Fire Suppression Test
☒ Fire Alarm Test
☒ Smoke Test
☒ TCO
☐ Other *[Handl.]*
☐ Other
☐ Other
☐ Other

10/24/89
~~11-3-89~~

9-28-89
 11-3-89
 11-3-89
 11-3-89

MUNICIPALITY Brick



CUT-IN-CARD

1720

LOCATION Rt. 70 & Chambers Bridge UTILITY CO -

Marshalls #4 BLK 701 LOT 7,8,8,2,5,16

OWNER Land Thorp OCCUPANT -

"Installation in the above premises has been inspected and is in accordance with N.E.C, utility and DCA requirements."

☐ FINAL ☒ TEMPORARY

This approval void after 30 days

SERVICE X

RANGE X WATER HEATER X

AIR COND X

ELECT HEAT X

MISC -

COMMENTS 30 day temporary, in stock store only

DATE 8/10/20 PERMIT # 6907 INSPECTOR W E B

Insp. Lic# 4153

**Vornado**
properties

October 23, 1989

Mr. Arthur Cierzo
Building Department
Township of Brick
Ocean County, New Jersey
401 Chambers Bridge Road
Brick, NJ 08723

Re: Marshalls
650 Route 70
Brick, NJ 08723

Dear Mr. Cierzo:

Confirming our conversation of this date, Marshalls wants to stock their store and have assured us that they will do this with employees only and will not open for business until a ~~final~~ certificate of occupancy is issued by your office.

Very truly yours,

VORNADO PROPERTIES



James J. Fallon
Director of Design & Construction

JCF/jp

PROJECT MANUAL
FOR
MARSHALLS

STORE NO. 358
BRICKTOWN, NEW JERSEY

PROJECT NUMBER: 89033
JULY 14, 1989

PROJECT MANUAL
FOR MARSHALLS
STORE NO. 358
BRICKTOWN, NEW JERSEY
PROJECT NO. 89033

LANDLORD: John Kundrat
VORNADO
174 Passaic Street
Garfield, New Jersey 07026
(201) 773-4000

TENANT: Dave Sarre
MARSHALLS
200 Brickstone Square
Andover, Ma. 01810
(508) 474-7029

ARCHITECT: John E. O'Brien
O'BRIEN & ASSOCIATES
300 Interpace Parkway
Parsippany, New Jersey 07054
(201) 263-0058

ELEC. ENG: Pushpavati Amin
AMIN ENGINEERING
1031 Route 202
Somerville, New Jersey 08876
(201) 526-5419

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FOR MARSHALLS
STORE NO. 358
BRICKTOWN, NEW JERSEY

PROJECT NO. 89033
JULY 14, 1989

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The following specifications are included in the contract and supplement information in "Marshalls Design & Construction Manual" dated July 14, 1989.

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SECTION 00020 INVITATION TO BID

O'BRIEN & ASSOCIATES
300 Interpace Parkway
Parsippany, New Jersey 07054

MARSHALLS
STORE NO. 358
BRICKTOWN, NEW JERSEY
PROJECT NO. 89033

You are invited to bid on a General Contract for Tenant fit up work, including complete interior finishes.

Bids will be received until 2:00 p.m. on the 4th day of August, 1989 at the office of the Tenant, Marshalls, 200 Brickstone Square, Andover, Massachusetts 01810, ATTN: Dave Sarre, Real Estate Dept. Bids received after this time will not be accepted. Bids will be opened privately and results of bidding will be issued only to bona fide bidders.

Drawings and Specifications may be examined at the Architect's office.

Copies of the Drawings and Specifications will be sent to the Bidders by the Architect. Five sets of documents will be issued only to prime contract bidders. Additional sets can be obtained at the Contractor's expense.

The Tenant reserves the right to waive irregularities and to reject any and all Bids.

Bidders may not withdraw their bid within 90 days of the bid opening.

END OF SECTION

SECTION 00100 - INSTRUCTIONS TO BIDDERS

PART 1 - GENERAL

1.01 PROJECT IDENTIFICATION

- A. Project Location:
Marshalls
Store No. 358
Bricktown, New Jersey
- B. Tenant:
Marshalls
200 Brickstone Square
Andover, Massachusetts 01810
(508) 474-7029
- C. Architect:
O'Brien & Associates
300 Interpace Parkway
Parsippany, New Jersey 07054
(201) 263-0058

1.02 PURPOSE

- A. To be considered, Bids must be made in accordance with these Instructions to Bidders.

1.03 DOCUMENTS

- A. Bona fide prime bidders may obtain sets of Pricing Package Drawings and Specifications from the Architect.

1.04 EXAMINATION

- A. Bidders shall carefully examine the documents and the existing building and construction site to obtain first hand knowledge of existing conditions. Contractors will not be given extra payments for conditions which can be determined by examining the site and documents.

- B. All Bidders will be responsible for reviewing the Tenant's Standard "Agreement for Construction" and the plans and specifications for work to be done by others. Submission of bids from the General Contractor, acknowledges that such Bidder has reviewed the Agreement for Construction, the existing building and construction site, and has included in the total Guaranteed Maximum Amount, all costs which are necessary to complete the construction.

1.05 QUESTIONS

A. Submit all questions about the Drawings and Project Manuals to the Architect, in writing. Replies will be issued to all prime bidders of record as Addenda to the Drawings and Project Manuals and will become part of the Contract. The Architect and Owner will not be responsible for oral clarification. Questions received less than eight hours before the bid opening cannot be answered.

1.06 BASIS OF BID

A. No segregated Bids or assignments will be considered. Bids are solicited.

1.07 PREPARATION OF BIDS

A. Bids shall be made on unaltered Bid Forms included in the Project Manual. Fill in all blank spaces and submit two copies. Bids shall be signed with name typed below signature. Where bidder is a corporation, Bids must be signed with the legal name of the corporation followed by the name of the State of incorporation and the legal signature of an officer authorized to bind the corporation to a contract.

1.08 SUBCONTRACTORS

A. The Tenant requests the Contractor to submit a list of all major subcontractors for his consideration during the review of bids.

1.09 SUBMITTAL

A. Submit Bid in an opaque, sealed envelope. Identify the envelope with: (1) project name, (2) name of bidder. Submit Bids in accord with the Invitation to Bid.

1.10 MODIFICATION AND WITHDRAWAL

A. Bids may not be modified after submittal. Bidders may withdraw Bids at any time before bid opening, but may not resubmit them. No Bid may be withdrawn or modified after the bid opening except where the award of Contract has been delayed for sixty (60) days.

1.11 DISQUALIFICATION

A. The Tenant reserves the right to disqualify any Bids, before or after opening.

1.12 GOVERNING LAWS AND REGULATIONS NON DISCRIMINATORY PRACTICES

A. Contracts for work under the bid will obligate the contractor and subcontractors not to discriminate in employment practices, and to conform to all applicable laws or codes governing the construction of the work.

1.13 OPENING

A. Bids will be opened as announced in the Invitation to Bid.

1.14 EXECUTION OF CONTRACT

A. The Tenant reserves the right to accept any Bid, and to reject any and all Bids, or to negotiate Contract Terms with the various Bidders, when such is deemed by the Tenant to be in his best interest.

B. Notwithstanding any delay in the preparation and execution of the formal Contract Agreement, each Bidder shall be prepared, upon written notice of bid acceptance, to commence work within five (5) days following receipt of official written order of the Tenant to proceed, or on date stipulated in such order.

C. The accepted Bidder shall assist and cooperate with the Tenant in preparing the formal Contract Agreement, and within seven (7) days following its presentation shall execute same and return it to the Tenant.

END OF SECTION



30 HARVARD MILL SQUARE • BOX 1000-34 • WAKEFIELD, MA 01880 • (617) 935-8200

BID FORM AND SCHEDULE OF VALUES

LOCATION

We hereby submit our bid in accordance with the Invitation to Bid to enter into an agreement with Marshall's to supply all labor, materials, and equipment necessary to complete the construction of the Marshall's store as per the following Schedule of Values for the lump sum price of:

\$ _____
figures words

STORE # _____ GENERAL CONTRACTOR _____

LOCATION _____

COMPLETION DATE _____

SCHEDULE OF VALUES

ITEM	AMOUNT
1 General Conditions	
1A Supervision	
2 Demolition	
3 Concrete	
4 Masonry	
5 Misc. Metals	
6 Carpentry	
7 Moisture Protection	
8 Wood Doors	

BID FORM AND SCHEDULE OF VALUES

ITEM	AMOUNT
8A Hollow Metal Doors & Frames	
8B Finish Hardware	
8C Glass & Glazing	
8D Storefront	
8E Automatic Doors	
9 Drywall	
9A Acoustical Ceilings	
9B Resilient Flooring	
9C Painting	
9D Ceramic Tile	
10 Special Doors	
10A Toilet Partitions & Accessories	
15 Plumbing	
15A Fire Protection	
15B Mechanical	

BID FORM AND SCHEDULE OF VALUES

ITEM	AMOUNT
16 Electrical	
17 Installation of Marshalls Fixtures	
18 Other	
Sub Total	
G.C. Overhead & Profit	
Grand Total	

Signed: _____

Title: _____

Company: _____

Date: _____

SECTION 00310 - BID FORM

MARSHALLS
STORE NO.358
Bricktown, New Jersey

Bid of _____
(Name) (Date)

(Address)

To: Marshalls
200 Brickstone Square
Andover, Massachusetts 01810

The undersigned, having carefully examined the Bidding Documents for Marshalls, dated July 14, 1989 and being familiar with all the conditions relating to the proposed construction, and having received Addendums No. _____, and having included their provisions in my bid, hereby proposes to furnish all labor, material, services, and equipment required for or incidental to the construction of the project in accordance with the Bidding Documents and within the time set forth herein for a stipulated sum of

_____ Dollars \$ _____
including the Contractor's fee.

In submitting this proposal, it is understood that this proposal may not be altered or withdrawn for a period of 90 days and that the Tenant reserves the right to reject any and all proposals.

The undersigned agrees to commence work on a date to be specified by a written "Notice to Proceed" and to complete all work in 56 consecutive calendar days from that date.

The undersigned further agrees that if additions to the work are authorized and no unit price has been previously agreed to, the following percentages which includes all miscellaneous costs such as General Conditions, supervision, insurance, bonds, etc. will be used to determine the Contractor's fee for each change.

For work done by the General Contractor:
Actual cost Plus 10 %
For work done by the subcontractor:
Actual cost Plus 10 %

(By)

(Title)

(Telephone)

Seal- (If Bid by Corporation)

Notarized By:

Expiration Date:

ALTERNATES:

The undersigned agrees to perform all work required to complete the following alternates if accepted as specified substitutes for the amounts listed below. See Section 01100-2.

END OF SECTION

AGREEMENT FOR CONSTRUCTION
OF A MARSHALLS STORE

Location BRICKTOWN, NEW JERSEY

STIPULATED SUM

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MARSHALLS, INC.

AGREEMENT

Stipulated Sum

AGREEMENT, made this _____ day of _____ 19____,
by and between _____ (hereinafter
called "MARSHALLS") 30 Harvard Mill Square, Wakefield, MA 01880,
and _____ (hereinafter called
"Contractor").

Whereas MARSHALLS is a tenant at _____
and has initiated a project for construction of a Marshalls store
and requires the performance of the Work hereafter described, and
the Contractor is ready, willing and able to perform said Work.

Now, therefore, the parties agree as hereinafter set forth:

ARTICLE 1

THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, the
Invitation to Bid, the Instructions to Bidders, the Conditions of
the Contract (General and Supplementary), the Drawings, the
Specifications, and all Addenda issued prior to execution of this
agreement. These form the Contract, and all are as fully a part
of the Contract as if attached to this Agreement. The Contract
Documents are listed in Article 7.

ARTICLE 2

OUTLINE OF AGREEMENT

The Contractor agrees at his own cost and expense, and in
consideration of the promises, agreements and payments by MAR-
SHALLS herein specified, to furnish all labor, materials, equip-
ment, supplies, tools and other items necessary to complete the
Work, in strict conformance with the Contract Documents. The
Work is shown on the Contract Drawings and described in the
Specifications. The Work is generally described as:
Tenant finish-out of an exist'g shell, complete with new electrical and interior
finishes as required for construction of a Marshalls store.

ARTICLE 3
TIME OF COMMENCEMENT AND COMPLETION

The Contractor shall commence the Work as specified in the Notice to Proceed from MARSHALLS, and shall complete the same by _____, unless the contract time is extended as provided in the Contract Documents. Time is of the essence of this Agreement.

ARTICLE 4
CONTRACT SUM

Provided that the Contractor shall strictly perform all of its obligations under the Contract Documents, and subject only to additions and deductions as provided in the Contract Documents, MARSHALLS shall pay to the Contractor the sum of _____ Dollars (\$_____) (hereinafter referred to as the "Contract Sum").

ARTICLE 5
PROGRESS PAYMENTS

MARSHALLS shall make payments on account of the Contract Sum as follows:

Not later than the 5th day of each calendar month, the Contractor shall submit to MARSHALLS, on the Application for Payment Form provided, a duly certified statement based upon the approved Schedule of Values, of the Work which has been completed from the commencement of the Work up to and including the last day of the previous month, together with such supporting data as may be required by MARSHALLS.

Not later than twenty (20) days after receipt of the Contractor's certified application, if found in good order, MARSHALLS shall make payment to Contractor of ninety percent (90%) of the portion of the Contract Sum properly allocable to labor and materials and equipment incorporated in the Work, or suitably stored at the site, for the period covered by the Contractor's application for payment, less the aggregate of previous payments made by MARSHALLS.

Payments in total or in part may be withheld on account of (1) defective work not remedied, (2) claims filed, (3) failure of the Contractor to make payments properly to Subcontractors or for labor, materials, or equipment, (4) damage to MARSHALLS or another contractor, or (5) persistent failure to carry out the Work in accordance with the Contract Documents.

ARTICLE 6
FINAL PAYMENT

When all of the Work required under this Agreement has been completed and the Contract fully performed, the final payment, constituting the entire balance of the Contract Sum, will be paid by MARSHALLS to the Contractor, provided, however, that before such final payment is made, the following requirements shall be satisfied:

- A. There shall be no outstanding claims against the Contractor on the project filed with MARSHALLS;
- B. The Contractor shall have paid all of his obligations covering labor, materials or equipment and, at MARSHALLS request, shall have furnished receipted bills covering all such labor and materials.
- C. The Contractor shall have submitted to MARSHALLS a complete release by himself and each subcontractor, the value of whose work is in excess of \$5000, of liens arising out of performance of the Contract Work, or a bond satisfactory to MARSHALLS indemnifying it against any liens. Any such release of lien shall reflect the total amount of the particular contract involved.
- D. The Contractor shall have furnished all data (e.g. catalog cuts, samples, reports) called for by the Contract Documents, to MARSHALLS.

If any lien remains unsatisfied after all payments are made, the Contractor shall refund to MARSHALLS all monies the latter may be compelled to pay in discharging such lien, including all costs and reasonable attorney's fees.

The making of final payment shall constitute a waiver of all claims by MARSHALLS except those arising from (1) unsettled liens, (2) faulty or defective Work appearing after completion, (3) failure to comply with the requirements of the Contract Documents, or (4) terms of any special guarantees specified in the Contract Documents. The acceptance of final payment shall constitute a waiver of all claims by the Contractor other than those previously made in writing still unsettled.

ARTICLE 7
ENUMERATION OF CONTRACT DOCUMENTS

The Contract Documents, which constitute the entire agreement between MARSHALLS and the Contractor, are the following:

July 14, 1989 "Marshalls Design & Construction Manual" (By Marshalls)
July 14, 1989 Project Manual for Marshalls Store No. 358, Bricktown, N.J.
(By O'Brien & Associates)
July 14, 1989 Drawings: Architectural; AO, A1, A2, A3, A4.1, A4.2
Electrical; E1, E2, E3, E4

GENERAL CONDITIONS

ARTICLE 8
INTENT OF CONTRACT DOCUMENTS

The intent of the Contract Documents is to include everything necessary for the proper, orderly execution and completion of the Work. The Contract Documents are complementary and anything that is required by one is as binding as if called for by all. Work or materials described in words which have a well-known technical or trade meaning shall be interpreted in accordance with such meaning.

It is understood and agreed that the written terms and provisions of the Contract Documents represent the entire and integrated agreement between the parties and supersede all prior negotiations or agreements, either oral or written.

By executing the Contract, the Contractor declares that he carefully examined the Contract Documents for the Work; that he has personally inspected the site, and that he has satisfied himself as to the quantities of material, equipment, and conditions of work involved.

The Work comprises the completed construction required by the Contract Documents and includes all labor necessary for such construction and all materials and equipment to be incorporated therein.

ARTICLE 9
THE CONTRACTOR

The Contractor shall perform the Work under this contract as an independent Contractor and neither he nor his subcontractors shall be considered an agent of MARSHALLS.

The Contractor shall supervise and direct the Work using his best skill and attention and he shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

Unless otherwise waived by supplemental conditions specifically provided in the Contract Documents, the Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and whether or not incorporated or to be incorporated in the Work.

Along with the execution of the Agreement, the Contractor shall submit to Marshalls a progress schedule and the Insurance Requirements required and acknowledges that the progress schedule is to conform to the starting and completion dates as set by Marshalls. The Schedule of Values will be the basis for the progress schedule compilation of trade items.

The Contractor shall at all times enforce strict discipline and good order among his employees and shall not employ on the Work any unfit person or anyone not skilled in the task assigned to him. The Contractor shall be responsible to MARSHALLS for the acts and omissions of his employees, subcontractors and their agents and employees, and other persons performing any of the work under a contract with the Contractor.

The Contractor shall give all notices and comply with all laws, ordinances, rules, regulation, or any public authority bearing on the performance of the Work. MARSHALLS shall not be responsible for Contractor's compliance with any laws, rules or regulations.

The Contractor shall review, approve and submit to Marshalls for approval of all Shop Drawings, Product Data and Samples required by the Contract Documents. The Work shall be in accordance with approved submittals.

All materials and equipment incorporated in the Work shall be new and of good quality, free from all faults and defects and in accordance with Contract Documents. All Work not conforming to these requirements may be considered defective.

Contractor shall pay all sales, consumer, use and other similar taxes required to be paid by him under applicable law, and shall secure and pay all permits and all other governmental fees, licenses and inspections necessary for the proper execution and completion of the Work.

The Contractor shall pay all license fees and royalties and shall defend all suits or claims for infringement of any patent rights and shall hold MARSHALLS and its representatives harmless from all claims, damages, losses and expenses arising and of any infringement of patent rights incident to performance of the work.

The Contractor at all times shall keep the premises free from accumulation of waste materials or rubbish caused by his operations. At the completion of the Work, he shall remove all waste materials and rubbish from and about the Project as well as his tools, construction equipment, machinery and surplus materials and shall leave the site clean and ready for use by MARSHALLS.

The Contractor hereby indemnifies and shall defend and hold harmless MARSHALLS, its agents and employees, from and against all claims, damages, losses and expenses, including but not limited to attorney's fees arising out of or resulting from the performance of the Work, caused in whole or in part by any negligent act or omission of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder. In any and all claims against MARSHALLS or any of its agents or employees by any employee of the Contractor, any Subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this paragraph shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Contractor or any Subcontractor under workers' or workmen's compensation acts, disability benefit acts or other employee benefit acts.

The Contractor will be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the WORK. He will take all necessary precautions for the safety of, and will provide the necessary protection to prevent damage, injury or loss to all employees on the WORK and other persons who may be affected thereby, all the WORK and all materials or equipment to be incorporated therein, whether in storage on or off the site, and other property at the site or adjacent thereto.

ARTICLE 10 MARSHALLS

Wherever used in this Contract, MARSHALLS shall include its authorized representatives.

MARSHALLS shall furnish all surveys and plans describing the physical characteristics, the legal limitations and utility locations at the site of the Work when and as available.

Unless otherwise provided for in the Contract Documents, MARSHALLS shall secure and pay for necessary approvals, easements, assessments and charges required for the construction, use or occupancy of permanent structures or permanent changes in existing facilities.

If the Work is defective or the Contractor fails to supply sufficient workmen or suitable materials, MARSHALLS, by a written order, may order the Contractor to stop the Work, or any portion thereof, until the cause for such order has been eliminated; however, this right of MARSHALLS to stop the Work shall not give rise to any duty on the part of MARSHALLS to exercise this right for the benefit of the Contractor or any other person or entity.

If the Contractor fails within seven days after receipt of written notice from MARSHALLS to commence and continue correction of such defective work expeditiously, MARSHALLS may, without prejudice to any other remedy he may have, correct and remedy such deficiencies. In such case, all direct and indirect costs of MARSHALLS in correcting such deficiencies, including compensation for the additional professional service required, shall be charged to the Contractor and an appropriate change order issued. If the payments then or thereafter due the Contractor are not sufficient to cover such amount, the Contractor shall pay the difference to MARSHALLS.

MARSHALLS may perform work related to the Project with his own forces, and to award other direct contracts in connection with other portions of the Project or other work on the site under these or similar conditions of the Contract.

The Contractor shall afford MARSHALLS and separate contractors reasonable opportunity for the introduction and storage of their materials and equipment and the execution of their work, and shall properly connect and coordinate his Work with theirs.

ARTICLE 11 SUBCONTRACTORS

A Subcontractor is any individual, firm or corporation who has a direct contract with the Contractor or with any other Subcontractor to perform any of the Work at the site.

The Contractor, as soon as practicable after the award of the Contract, shall furnish to MARSHALLS in writing the names of Subcontractors for each of the principal portions of the Work. A Subcontractor so named to whom MARSHALLS does not object in writing prior to award, will be deemed acceptable. Contracts between the Contractor and the Subcontractor shall (1) require each Subcontractor, to the extent of the Work to be performed by the Subcontractor, to be bound to the Contractor by the terms of the Contract Documents, and to assume toward the Contractor all the obligations and responsibilities which the Contractor, by these Documents, assumes towards MARSHALLS and (2) allow the Subcontractor the benefit of all rights, remedies and redress afforded to the Contractor by these Contracts Documents. Contractor shall be fully responsible for all acts of his Subcontractors or anyone employed by them.

ARTICLE 12
INSURANCE

The Contractor shall purchase and maintain such insurance as will protect him from claims set forth below which may arise out of or result from the Contractor's execution of the WORK, and Contractor's other obligations under the Contract Documents, whether such execution be by himself or by any Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts any of them may be liable:

Claims under workmen's compensation, disability benefit and other similar employee benefit acts;

Claims for damages because of bodily injury, occupational sickness or disease, or death of his employees;

Claims for damages because of bodily injury, sickness or disease, or death of any person other than his employees;

Claims for damages insured by usual personal injury liability coverage which are sustained (1) by any person as a result of an offense directly or indirectly related to the employment of such person by the Contractor, or (2) by any other persons; and

Claims for damages because of injury to or destruction of tangible property, including loss of use resulting therefrom.

Certificates of Insurance acceptable to MARSHALLS shall be filed with MARSHALLS prior to commencement of the Work. These Certificates shall contain a provision that coverages afforded under the policies will not be cancelled unless at least thirty (30) days prior written notice has been given to MARSHALLS.

The Contractor shall procure and maintain, at his own expense, during the contract time, liability insurance as herein-after specified;

CONTRACTOR'S LIABILITY INSURANCE

- A. The Contractor shall furnish certificates evidencing the following coverage and minimum limits of liability:

<u>Type of Insurance</u>	<u>Limits of Liability</u>
Workmen's Compensation Employers Liability	Statutory \$100,000
Public Liability and Contractual Liability:	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 aggregate
Independent Contractors (contingent liability):	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 aggregate
Automobile Liability:	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 per aggregate
Product Liability, including Completed Operations:	Same limits as Public Liability to be kept in force one year after <u>acceptance of work</u> by the Owner and Architect or throughout guarantee period, whichever is longer.

- B. Liability insurance should be extended to include the so-called "Broad Form Property Damage endorsement".
- C. The insurance as outlined and described above must be written by a Company licensed to do business in the State in which the work is located and by a Company acceptable to the Owner.

- D. Evidence of the above coverage, represented by Certificate of Insurance issued by the insurance carrier, must be furnished to Marshalls prior to the Contractor's starting work. Certificates of Insurance shall state that Marshalls will be notified in writing thirty (30) days prior to cancellation, material change or renewal of the insurance.
- E. Insurance similar to that required of the Contractor shall be provided by or in behalf of all Subcontractors to cover their operations performed under this agreement. The Contractor shall be held responsible for any modification in these insurance requirements as they apply to the Subcontractors.
- F. The Contractor shall maintain and pay for such insurance as will protect him, Marshalls Architects and Engineers against losses and claims noted above. Certificates of Insurance shall so state and list the names of all parties, with necessary riders where required.
- G. Please issue Certificate of Insurance to Marshalls, Inc., 30 Harvard Mill Square, Wakefield, MA 01880 Attn: Barbara McKenzie.

The Contractor shall procure and maintain, at his own expense, during the contract time, in accordance with the provisions of the laws of the state in which the Work is performed, Workmen's Compensation Insurance, including occupational disease provisions, for all of his employees at the site of the Project, and in case any work is sublet, the Contractor shall require such Subcontractor similarly to provide Workmen's Compensation Insurance, including occupational disease provisions for all the latter's employees unless such employees are covered by the protection afforded by the Contractor. In case any class of employees engaged in hazardous work under this contract at the site of the Project is not protected under Workmen's Compensation statute, the Contractor shall provide, and shall cause each Subcontractor to provide, adequate and suitable insurance for the protection of his employees not otherwise protected.

Unless specifically authorized by MARSHALLS, the amount of such insurance shall not be less than the Contract Sum. The policy shall cover not less than the losses due to fire, explosion, hail, lightning, vandalism, malicious mischief, wind collapse, riot, aircraft, and smoke during the contract time, and until the WORK is accepted by MARSHALLS. The policy shall name as the insured the Contractor and MARSHALLS.

All of the insurance described above must be written by a company licensed to do business in the State in which the Work is performed, and which is acceptable to MARSHALLS.

The Contractor shall also purchase and maintain insurance covering Product Liability, including Completed Operations with the same minimum limits of coverage as specified above for General Public Liability and Property Damage Insurance. Contractor shall maintain such Product Liability insurance in force for one (1) year after acceptance of the Work by MARSHALLS, or throughout the guarantee period, whichever is longer. Contractor shall furnish to MARSHALLS a separate Certificate of Insurance for such Product Liability coverage with an expiration date no earlier than the expiration of the guarantee period.

ARTICLE 13
PROTECTION OF WORK, PROPERTY AND PERSONS

The Contractor will be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with the Work. He will take all necessary precautions for the safety of, and will provide the necessary protection to prevent damage, injury or loss to all employees on the Work and other persons who may be affected thereby, all the Work and all materials or equipment to be incorporated therein, whether in storage on or off the site, and other property at the site or adjacent thereto.

The Contractor will comply with all applicable laws, ordinances, rules, regulations and orders of any public body having jurisdiction. He shall erect and maintain all necessary safeguards and protection. He will notify owners of adjacent utilities when prosecution of the Work may affect them. The Contractor will remedy all damage, injury or loss to any property caused, directly or indirectly, in whole or in part, by the Contractor, any Subcontractor or anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, except damage or loss attributable to the fault of the Contract Documents or to the acts or omissions of MARSHALLS or anyone employed by it or anyone for whose acts MARSHALLS may be liable, and not attributable, directly or indirectly, in whole or in part, to the fault or negligence of the Contractor.

In emergencies affecting the safety of persons or the Work or property at the site or adjacent thereto, the Contractor, without special instruction or authorization from MARSHALLS, shall act to prevent threatened damage, injury or loss. He will give MARSHALLS prompt written notice of any significant changes in the Work or deviations from the Contract Documents caused thereby.

ARTICLE 14
CHANGES IN THE WORK

MARSHALLS may at any time, or from time to time, order changes within the scope of the Work without invalidating the Agreement. Upon receipt of a Change Order, Contractor shall proceed with the Work involved. If such changes increase or decrease the amount due under the Contract Documents, or in the time required for performance of the Work, an equitable adjustment shall be made by a Change Order.

ARTICLE 15
CHANGES IN CONTRACT PRICE

The Contract Sum may be changed only by a Change Order. The value of any Work covered by a Change Order or of any claim for increase or decrease in the Contract Sum shall be determined by one or more of the following methods in the order of precedence listed below:

- (a) Unit prices previously approved.
- (b) An agreed lump sum.
- (c) The actual cost for labor, direct overhead, materials, supplies, equipment, and other services necessary to complete the Work. In addition there shall be added an amount to be agreed upon but not to exceed ten (10) percent of the actual cost of the Work to cover the cost of general overhead and profit.

ARTICLE 16
UNFORESEEN PHYSICAL CONDITIONS

Contractor shall promptly notify MARSHALLS in writing of any subsurface or latent physical conditions at the site or in an existing structure differing materially from those indicated in the Contract Documents, or of any unknown physical conditions below the surface of the ground in an existing structure of an unusual nature, differing materially from those ordinarily encountered and generally recognized as inherent in work of the character provided for in this Contract. MARSHALLS will investigate such conditions and if it finds that such conditions do in fact so differ, and could not reasonably have been anticipated by Contractor, the contract Sum shall be equitably adjusted by Change Order.

ARTICLE 17
TIME FOR COMPLETION

The date of beginning and the time for completion of the Work are essential conditions of the Contract Documents and the Work embraced shall be commenced on a date specified in the Notice to Proceed.

The Contractor will proceed with the Work at such rate of progress to insure full completion within the Contract Time.

It is expressly understood and agreed by and between the Contractor and MARSHALLS that the Contract Time for the completion of the Work described herein is a reasonable time, taking into consideration the average climatic and economic conditions and other factors prevailing in the locality of the Work.

If the Contractor is delayed at any time in the progress of the Work by any act or neglect of MARSHALLS, or by any employee of MARSHALLS, or by any separate contractor employed by MARSHALLS, or by changes ordered in the Work, or by causes other than normal, whether beyond the control and without the fault or negligence of the Contractor, including acts of God, acts of the public enemy, labor disputes, fire, unusual delay in transportation, unusually severe weather, or by delay authorized by MARSHALLS or by any other cause which MARSHALLS determines may justify the delay, then the Contract Time shall be extended by Change Order for such reasonable time as MARSHALLS and the Contractor may determine and come to an appropriate agreement.

Any claim for extension of time shall be made in writing to MARSHALLS not more than ten days after the commencement of the delay; otherwise it shall be considered waived. In the case of a continuing delay only one claim is necessary.

ARTICLE 18 CORRECTION OF WORK

The Contractor shall promptly without cost to MARSHALLS, remove from the premises all Work rejected by MARSHALLS for failure to comply with the Contract Documents, whether incorporated in the construction or not, and the Contractor shall promptly replace and re-execute the Work in accordance with the Contract Documents and without expense to MARSHALLS and shall bear the expense of making good all Work of other Contractors destroyed or damaged by such removal or replacement.

All removal and replacement Work shall be done at the Contractor's expense. If the Contractor does not take action to remove such rejected Work within ten (10) days after receipt of Written Notice, MARSHALLS may remove such Work and store the materials at the expense of the Contractor.

ARTICLE 19 SUSPENSION OF WORK, TERMINATION AND DELAY

MARSHALLS may suspend the Work or any portion thereof for a period of not more than sixty days or such further time as agreed upon by the Contractor, by written notice to the Contractor which notice shall fix the date on which Work will be resumed. The Contractor will resume the Work on the date so fixed. The Contractor will be allowed an increase in the Contract Sum or an extension of the Contract Time or both, directly attributable to any suspension.

If the Contractor is adjudged a bankrupt or insolvent, or if he makes a general assignment for the benefit of his creditors, or if a trustee or receiver is appointed for the Contractor or for any of his property, or if he files a petition to take advantage of any debtor's acts, or to reorganize under the bankruptcy or applicable laws, or if he repeatedly fails to supply sufficient skilled workmen or suitable materials or equipment, or if he repeatedly fails to make prompt payments to Subcontractors or for labor, materials or equipment, or if he disregards laws, ordinances, rules, regulations or orders of any public body having jurisdiction of the Work, or if he otherwise violates any provision of the Contract Documents, then MARSHALLS may, without prejudice to any other right or remedy and after giving the Contractor and his surety, if any, a minimum of ten (10) days from delivery of a written notice, terminate the services of the Contractor and take possession of the Project and of all materials, equipment, tools, construction equipment and machinery thereon owned by the Contractor, and finish the Work by whatever method he may deem expedient. In such case the Contractor shall not be entitled to receive any further payment until the Work is finished. If the unpaid balance of the Contract Sum exceeds the direct and indirect costs of completing the Project, including compensation for additional professional services, such excess shall be paid to the Contractor. If such costs exceed such unpaid balance, the Contractor will pay the difference to MARSHALLS. Such cost incurred by either party will be incorporated in a Change Order.

Where the Contractor's services have been so terminated by MARSHALLS, said termination shall not affect any right of MARSHALLS against the Contractor then existing or which may thereafter accrue. Any retention or payment of monies by MARSHALLS due the Contractor will not release the Contractor from compliance with the Contract Documents.

After ten (10) days from delivery of a written notice to the Contractor, MARSHALLS may, without cause and without prejudice to any other right or remedy, elect to abandon the Project and terminate the Contract. In such case, the Contractor shall be paid for all Work executed and any expense sustained plus reasonable profit.

If through no act or fault of the Contractor, the Work is suspended for a period of time of more than sixty (60) days by MARSHALLS or under an order of court or other public authority, or MARSHALLS fails to act on any request for payment within thirty (30) days after it is submitted, or fails to pay the Contractor substantially a sum agreed upon by both parties within thirty (30) days of its approval and presentation, then the Contractor may, after ten (10) days from delivery of a written notice to MARSHALLS, terminate the contract and recover from MARSHALLS payment for all Work executed and all expenses sustained. In addition and in lieu of terminating the Contract,

if MARSHALLS has failed to act on a request for payment or has failed to make any payment as aforesaid, the Contractor may upon ten (10) days written notice to MARSHALLS stop the Work until he has been paid all amounts then due, in which event and upon resumption of the Work, Change Orders shall be issued for adjusting the Contract Sum or extending the Contract Time or both to compensate for the costs and delays attributable to the stoppage of the Work.

If the performance of all or any portion of the Work is suspended, delayed or interrupted as a result of a failure of MARSHALLS to act within the time specified in the Contract Documents, or if no time is specified, within a reasonable time, an adjustment in the Contract Sum, or an extension of the Contract Time, or both, shall be made by Change Order to compensate the Contractor for the costs and delays necessarily caused by the failure of MARSHALLS.

ARTICLE 20 GUARANTY

The CONTRACTOR shall guarantee all materials and equipment furnished and Work performed for a period of one (1) year from the date of completion. The Contractor warrants and guarantees for a period of one (1) year from the date of substantial completion of the Work that is free from all defects due to faulty materials or workmanship and the CONTRACTOR shall promptly make such corrections as may be necessary by reason of such defects including the repairs of any damage to other parts of the Work resulting from such defects. MARSHALLS will give notice of observed defects with reasonable promptness. In the event that the Contractor should fail to make such repairs, defects, MARSHALLS may do so and charge the Contractor the cost thereby incurred. The Performance Bond (if one is required by the Contract Documents) shall remain in full force and effect through the guarantee period.

ARTICLE 21 DISPUTES AND REMEDIES

All claims or disputes between the Contractor and MARSHALLS, arising or relating to the Contract Documents or the breach thereof, shall be mutually resolved, if possible, through good faith mediation between the Contractor and MARSHALLS.

Any claim or dispute which is not disposed of by mutual agreement shall be decided in court and judgement upon the award rendered by the court shall control.

The Contractor will carry on the work and maintain progress of the Work during any court proceedings unless otherwise mutually agreed upon in writing. MARSHALLS agrees to pay for such work.

The Contract Documents shall be governed by the law of the place where the Project is located.

This Agreement entered into as the day and year first written above.

MARSHALLS

CONTRACTOR

John Ingram, Senior Vice President

Date: _____

Date: _____

SECTION 00800 - SUPPLEMENTARY CONDITIONS OF THE CONTRACT

PART 1 - GENERAL

1.01 SUPPLEMENT

A. The following supplements add to the "Agreement For Construction and General Conditions" as stated in the preceeding Section 00700 of the Project Manual.

ARTICLE 9 - THE CONTRACTOR

At Section 00700-4, add the following new sentences to the second paragraph of Article 9, The Contractor as follows:

The Contractor shall be responsible for the satisfactory and complete execution of the work described in the Contract Documents. The Contractor represents that he has carefully examined all drawings and specifications for the work to be performed; that he has made investigations essential to a full understanding of any difficulties which he may encounter, that he has the experience and necessary personnel, equipment, and material at his disposal to complete the work in such a manner that it will be watertight and weatherproof throughout.

Should the Contractor have any objection to the use of any material or method specified or details on the drawings, or, if for any reason whatsoever the Contractor is not willing to assume full responsibility for performance of materials and the watertightness of the construction, then he shall notify the Owner in writing before commencing the work to which objections are made. Unless such objections are substantiated and an adjustment made in writing, the Contractor shall then proceed with the work as called for in the specifications and detailed on the drawings.

END OF SECTION

SECTION 01100 - ALTERNATES

PART 1 - GENERAL

1.01 DEFINITIONS

A. Alternates are defined as alternate products, materials, equipment, installations or systems for the work, which may, at Owner's option and under terms established by Instructions to Bidders, be selected and recorded in the Contract (Owner-Contractor Agreement) to either supplement or displace corresponding basic requirements of Contract Documents.

B. Alternates may or may not substantially change scope and general character of the work; and must not be confused with "Allowances", "unit prices", "Change Orders", "Substitution", and other similar provisions.

1.02 GENERAL PROVISIONS

A. A "Schedule of Alternates" is included at end of this section. Each alternate is defined by abbreviated language, recognizing that drawings and specification sections document the requirements. Coordination of related work is required to ensure that work affected by each selected alternate is complete and properly interfaced with work of alternates.

1.03 NOTIFICATION

A. Immediately following award of Contract, prepare and distribute to each entity to be involved in performance of the work, a notification of status of each alternate. Indicate which alternates have been: 1) Accepted, 2) Rejected, and 3) Deferred for consideration at a later date as indicated. Include full description of negotiated modifications to alternates, if any.

PART 2 - PRODUCTS

Not Used.

PART 3 - EXECUTION

Not Used.

PART 4 - SCHEDULE OF ALTERNATES

4.01 ALTERNATE NO. 1: 2' X 4' CEILING & GRID:

- A. In lieu of the landlord providing the 2'X4' clg. & grid throughout the sales area, install new 2' X 4' clg. & grid as indicated on Dwgs. A2 & E1.

Add/Deduct \$ _____

ALTERNATE NO. 2: GENERAL LIGHTING:

- A. In lieu of the landlord providing the 2'X4' lay-in fixtures, emergency & exit lighting, provide new lay-in fixtures, emergency & exit lights as indicated on Dwgs. A2 & E1.

Add/Deduct \$ _____

ALTERNATE NO. 3: NEW STOREFRONT:

- A. In lieu of the landlord providing the storefront, vestibule and entrance doors, provide new storefront, vestibule and automatic doors as indicated on Dwgs..

Add/Deduct \$ _____

END OF SECTION

SECTION 01010 - SUMMARY OF WORK

PART 1 - GENERAL REQUIREMENTS

1.01 SCOPE

A. Provide all materials, labor, and work required to furnish a complete installation of Marshalls building including interior finishes as identified in contract documents listed as governing the work.

1.02 CODE COMPLIANCE

A. All materials and installation methods shall comply with local governing code requirements. It shall be the responsibility of the General Contractor and his suppliers and subcontractors to confirm that all materials and methods meet Code requirements before construction begins and advise the Tenant in writing of any changes required to meet Building Code requirements.

B. Comply with all applicable codes regarding demolition.

1.03 CONTRACTOR COORDINATION RESPONSIBILITIES

A. The Contractor shall furnish all materials and finishes on the interior of the store as required by the Contract Documents, and as shown on Contract Drawings.

B. The Contractor may not make any changes or substitutions in Contract Document requirements without written approval from Marshalls.

C. All shop drawings and samples must be reviewed and approved by Marshalls and the General Contractor shall be responsible for furnishing the shop drawings and samples needed early in order to allow time for Marshall's review so as not to delay the project.

D. The Contractor shall furnish samples for Marshall's approval of all finish materials inside the store.

1.04 PRODUCT MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS

A. It shall be the Contractor's responsibility to obtain and verify that all materials, products and workmanship are executed in complete accordance with each product manufacturer's recommendations and installation instructions.

1.05 CONTRACTOR COORDINATION WITH THE WORK OF OTHERS

A. General Contractor will schedule his work as required to coordinate with work being performed by the Tenant as listed in Marshalls design and construction manual.

1.06 CONTRACTOR USE OF PREMISES

A. Confine construction operations, materials and equipment storage, apparatus, temporary constructions, equipment, and other construction related activities to such limits and portions of the project site as designated by the Tenant or as indicated on the drawings.

B. Do not use adjacent properties, including private properties and that of public domain, for material and equipment storage or for construction operations without specific written approval of any and all authorities having full and proper jurisdiction.

1.07 PARTIAL OCCUPANCY

A. Tenant reserves the right of prior entry to completed and partially completed areas for performance of other work to be performed under other contracts.

1.08 DISPOSAL OF DEMOLITION DEBRIS

A. Remove all floor finishes, partitions, ceiling tiles, plumbing lines, mechanical systems, and all other miscellaneous items as required to prepare the existing building for new interior finishes.

B. All demolition debris becomes the property of the Contractor, whose responsibility it is to remove and dispose of all debris, complying with all governing authority regulations and codes with jurisdiction over this project.

PART 3 - CONCRETE

3.01 EXISTING FLOOR TRENCHING

A. Sawcut and remove existing concrete floor as required for all new under slab electrical ducts. (Do not cut off existing steel reinforcing but bend reinforcing to be reused again.)

B. Patch all floor excavations with concrete to match existing, keying the new concrete floor patch to the existing floor with steel reinforcing bars.

3.02 EXISTING CONCRETE FLOOR PATCHING

A. Fill and patch all holes in existing concrete floors with approved patching mortar specifically manufactured for this purpose.

3.03 EXISTING CONCRETE FLOOR LEVELING

A. Level all floors with an approved latex floor leveling compound specifically manufactured for this purpose and install per manufacturer's instructions.

B. Tolerances: Floors shall be leveled to a true plane within a tolerance of 1/8" in 10' as determined by a 10' straight edge placed anywhere on the slab in any direction.

C. Refer to Marshalls Design and Construction Manual.

PART 6 - WOOD

6.01 GENERAL

A. All wood blocking shall be fire retardant treated to be noncombustible, as required to meet Building Code requirements.

B. All wood blocking used at new roof opening curbs shall also be preservative treated.

PART 7 - THERMAL AND MOISTURE PROTECTION

7.01 NEW OPENINGS IN EXISTING ROOFING

A. The General Contractor shall be responsible to protect the existing roof from damage during construction activities so as to maintain the existing roof system in a watertight condition free from leaks.

B. The General Contractor shall examine the existing roof before commencing any work with the Tenant and notify the Tenant of any pre-existing roof damage or roof leak conditions on the existing building.

C. Commencement of the work by the General Contractor shall signify that the Contractor has examined the roof to determine it's existing condition and will be responsible and hold his subcontractors responsible for any subsequent damage to the roof due to construction activities.

D. Cut new openings in the roof as required for new

mechanical equipment or other openings.

E. Provide new roofing base flashing compatible with the existing roofing system.

1. Install new base flashing in complete accordance with the base flashing manufacturer's recommendations in a manner as to insure a watertight installation.

2. Use base flashing manufacturer's recommended (vertical grade) flashing cement to coat all base flashing.

3. Provide new 4" fiber cants at all new roof curb openings before installing new base flashing systems.

F. All work on the roof shall comply with the National Roofing Contractor's Association (NRCA) recommendations and details in the latest edition of "The NRCA Roofing & Waterproofing Manual".

7.02 METAL FLASHING

A. All work to comply with Sheet Metal and Air Conditioning Contractors National Association, Inc. (SMACNA) latest "Architectural Sheet Metal Manual" details and recommendations.

B. Provide galvanized sheet (minimum 26 gage) counterflashing at all new roof openings, of sufficient length to provide a minimum of 4" lapped protection over the new roofing base flashing system.

C. Installation: Coordinate the work with other work for the correct sequencing of items which make up the entire membrane or system of weatherproofing. It is required that the flashing and sheet metal work be permanently watertight.

D. Prime all sheet metal in contact with asphalt with a 15 mil thick bituminous coating.

PART 9 - FINISHES

9.01 INTERIOR FINISHES

A. Refer to Marshalls Design and Construction Manual, 6-1-88.

9.02 INTERIOR METAL FRAMING SYSTEM

A. The installation of all interior metal framing systems including metal stud walls, or suspended gypsum board

ceilings, shall be equivalent to standards and details as published by United States Gypsum Company.

B. Do not exceed stud manufacturer's recommended maximum span for stud size and gauge in all installations. Provide diagonal top of wall bracing at all walls and particularly at doors strike jambs.

END OF SECTION

Work will be uncovered to provide for inspection.

PART 2 - PRODUCTS

2.01 MATERIALS

A. For replacement of Work removed, comply with specifications for type of work to be done.

PART 3 - EXECUTION

3.01 INSPECTION

A. Inspect existing conditions of Work, including elements subject to movement or damage during cutting and patching.

B. After uncovering Work, inspect conditions affecting installation of new products.

3.02 PREPARATION

A. Prior to cutting, provide shoring, bracing, and support as required to maintain structural integrity of Project.

B. Provide protection for other portions of Project.

C. Provide protection from elements.

3.03 PERFORMANCE

A. Execute fitting and adjustment of products to provide finished installation to comply with specified tolerances, and finishes.

B. Execute cutting and demolition by methods which will prevent damage to other work, and will provide proper surfaces to receive installation of repairs and new Work.

C. Restore Work which has been cut or removed; install new products to provide completed Work in accord with requirements of Contract Documents.

D. Refinish entire surfaces as follows to provide an even finish.

1. Continuous surfaces: to nearest intersection or joint.

2. Assembly: entire surfaces of all sides.

END OF SECTION

01045-2

SECTION 01070 - ABBREVIATIONS AND REFERENCE STANDARDS

1.01 ORGANIZATION AND SOCIETY ABBREVIATIONS

A. Publications of organizations and societies are referred in Contract Documents by following abbreviated designations:

American Concrete Institute	ACI
American Institute of Steel Construction	AISC
American Iron and Steel Institute	AISI
American National Standards Institute	ANSI
American Plywood Association	APA
American Society for Testing and Materials	ASTM
American Society of Civil Engineers	ASCE
American Welding Society	AWS
American Wood Preserver's Association	AWPA
Anti-Friction Bearing Manufacturers Association, Inc.	AFBMA
Brick Institute of America	BIA
Building Officials and Code Administrators	BOCA
California Redwood Association	CRA
Concrete Reinforcing Steel Institute	CRSI
Factory Mutual	FM
Federal Specifications	FS
National Ready-Mix Cement Association	NRMCA
Portland Cement Association	PCA
Prestress Concrete Institute	PCI
Sheet Metal and Air Conditioning Contractors National Association, Inc.	SMACNA
Southern Pine Inspection Bureau	SIB
Standard Building Code	SBC
Steel Deck Institute	SDI
Steel Joist Institute	SJI
Steel Structures Painting Council	SSPC
Underwriters Laboratories	UL
Uniform Building Code	UBC

1.02 GENERAL SPECIFICATION ABBREVIATIONS

Cubic Foot	cu. ft.
Degree	deg.
Diameter	dia.
Feet or Foot	ft.
Inch	in.
Inside Diameter	i.d.
Miles Per Hour	mph
Millimeter	mm
Ounce	oz.

Outside Diameter	o.d.
Pound	lb.
Pounds per Cubic Foot	pcf
Pounds per Square Foot	psf
Pounds per Square Inch	psi
Square Foot	sq. ft.
Square Inch	sq. in.

1.03 GENERAL CONTRACT DRAWINGS ABBREVIATIONS

&	And
L	Angle
@	At
	Centerline
	Diameter or Round
#	Pound or Number
ACOUS.	Acoustical
A.D.	Area Drain
ADJ.	Adjustable
A.F.F.	Above Finish Floor
AGGR.	Aggregate
AL.	Aluminum
APPROX.	Approximate
ARCH.	Architectural or Architect
ASPH.	Asphalt
BD.	Board
BITUM.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
BOT.	Bottom
CAB.	Cabinet
C.B.	Catch Basin
CEM.	Cement
CER.	Ceramic
C.I.	Cast Iron
C.G.	Corner Guard
C.J.	Control Joint
CLG.	Ceiling
CLKG.	Caulking
CLO.	Closet
CLR.	Clear
C.O.	Cased Opening
COL.	Column
CMU	Concrete Masonry
	Units
COMP.	Compressible

CONC.	Concrete
CONN.	Connection
CONSTR.	Construction
CONT.	Continuous
CORR.	Corridor
CTSK.	Countersunk
CNTR.	Counter
CTR.	Center
DBL.	Double
DEPT.	Department
D.F.	Drinking Fountain
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DISP.	Dispenser
DN.	Down
D.O.	Door Opening
DR.	Door
DWR.	Drawer
DS.	Downspout
D.S.P.	Dry Standpipe
DWGS.	Drawings
DTL.	Detail
E.	East
EA.	Each
E.I.F.S.	Exterior Insulation Finish System
E.J.	Expansion Joint
EL.	Elevation
ELEC.	Electrical
ELEV.	Elevator
EMER.	Emergency
ENCL.	Enclosure
E.P.	Electrical Panelboard
EQ.	Equal
EQPT.	Equipment
E.W.	Each Way
E.W.C.	Electrical Water Cooler
EXIST.	Existing
EXPO.	Exposed
EXP.	Expansion
EXT.	Exterior
F.A.	Fire Alarm
F.B.	Flat Bar
F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cab.
F.H.C.	Fire Hose Cabinet

FIN.	Finish
FL.	Floor
FLASH.	Flashing
FLUOR.	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Studs
FPRF.	Fireproof
F.S.	Full Size
FT.	Foot or Feet
FTG.	Footing
FURR.	Furring
FUT.	Future
GA.	Gauge
GALV.	Galvanized
G.B.	Grab Bar
GL.	Glass
GND.	Ground
GR.	Grade
GYP.	Gypsum
H.B.	Hose Bibb
H.C.	Handicapped
HDWD.	Hardwood
HDWE.	Hardware
H.M.	Hollow Metal
Horiz.	Horizontal
HR.	Hour
HGT.	Height
I.D.	Inside Diameter (Dia.)
INSUL.	Insulation
INT.	Interior
JAN.	Janitor
JT.	Joint
KIT.	Kitchen
LAB.	Laboratory
LAM.	Laminate
LAV.	Lavatory
LKR.	Locker
LT.	Light
MAX.	Maximum
M.C.	Medicine Cabinet
M.E.P.	Mechanical/Electrical/Plumbing
MECH.	Mechanical
MEMB.	Membrane

MET.	Metal
MFR.	Manufacturer
MH.	Manhole
MIN.	Minimum
MIR.	Mirror
MISC.	Miscellaneous
M.O.	Masonry Opening
MPH	Miles Per Hour
MTD.	Mounted
MUL.	Mullion
N.	North
N.I.C.	Not in Contract
NO. or #	Number
NOM.	Nominal
N.T.S.	Not To Scale
O.A.	Overall
OBS.	Obscure
O.C.	On Center
O.D.	Outside Diameter (Dia.)
OFF.	Office
OPNG.	Opening
OPP.	Opposite
PRCST.	Pre-cast
PL.	Plate
P.LAM.	Plastic Laminate
PLAS.	Plaster
PLYWD.	Plywood
PR.	Pair
P.T.	Pressure Treated
PT.	Point
P.T.D.	Paper Towel Dispenser
P.T.D./R	Combination Paper Towel Dispenser & Receptacle
PTN.	Partition
P.T.R.	Paper Towel Receptacle
Q.T.	Quarry Tile
R.	Riser
RAD.	Radius
R.D.	Roof Drain
RE.	Refer
REF.	Reference
REFR.	Refrigerator
RGTR.	Register
REINF.	Reinforced
REQ.	Required
RESIL.	Resilient

RM.	Room
R.O.	Rough Opening
RWD.	Redwood
R.W.L.	Rain Water Leader
S.	South
S.C.	Solid Curve
S.C.D.	Seat Cover Dispenser
SCHED.	Schedule
S.D.	Soap Dispenser
SECT.	Section
S.F.	Square Feet
SHF.	Shelf
SHR.	Shower
SHT.	Sheet
SIM.	Similar
S.N.D.	Sanitary Napkin Dispenser
S.N.R.	Sanitary Napkin Receptacle
SPEC.	Specification
SQ.	Square
S.STL.	Stainless Steel
S.SK.	Service Sink
STA.	Station
STD.	Standard
STL.	Steel
STOR.	Storage
STRUCT.	Structural
SUSP.	Suspended
SYM.	Symmetrical
TRD.	Tread
T.B.	Towel Bar
T.C.	Top of Curb
TEL.	Telephone
TER.	Terrazzo
T.&G.	Tongue and Groove
THK.	Thick
T.O.B.	Top of Brick
T.O.C.	Top of Curb
T.O.P.	Top of Panel
T.P.	Top of Pavement
T.P.D.	Toilet Paper Dispenser
T.S.	Tube Steel
T.V.	Television
T.O.W.	Top of Wall
TYP.	Typical
UNF.	Unfinished
U.N.O.	Unless Noted Otherwise
UR.	Urinal

VERT.	Vertical
VEST.	Vestibule
W.	West
W/	With
W.C.	Water Closet
WD.	Wood
W/O	Without
WP.	Waterproof
WSCT.	Wainscot
WT.	Weight

(Note: The General Contractor shall be responsible for reporting any abbreviations on the drawings that are not listed and not understood; to the Architect for clarification at least 7 days prior to bid openings. Additional costs will not be allowed for clarification of abbreviations after bid opening as it will be assumed that the Contractor understood the abbreviation at the time the bid was submitted.)

1.04 REFERENCE STANDARDS - GENERAL

A. Publications of organizations and societies listed in individual Specification Sections shall be considered integral part of Contract Documents to extent referenced.

B. Publications are referred to in text by basic designation only with organizations and societies referenced by abbreviations.

C. When standard is referred to in individual Specification Section but is not listed in this Section by title and date, it shall be considered to be latest revision at date of Project Manual issuance.

D. Make available at site, copies of referenced documents as Architect or Owner may request.

E. Following listings include full title and applicable revision date.

1.04 REFERENCE STANDARDS

A. American Concrete Institute (ACI):

211.1-81, (Revised 1984) Standard Practice for Selecting Proportions for Normal, Heavyweight, and Mass Concrete.

211.3-75, (Revised 1980) Recommended Practice for Selecting Proportions for No-Slump Concrete.

301-84, Specification for Structural Concrete for Buildings.

304-73, Recommended Practice for Measuring, Mixing, Transporting, and Placing Concrete.

305R-77, (Revised 1982) Hot Weather Concreting.

306R-78, (Revised 1983) Cold Weather Concreting.

308-81, Standard Practice for Curing Concrete.

309-72, (Revised 1982) Standard Practice for Consolidation of Concrete.

315-80, Details and Detailing of Reinforced Concrete.

315R-80, Manual of Engineering and Placing Drawings for Concrete Reinforcement (Synopsis Only).

318-83, Building Code Requirements for Reinforced Concrete.

347-78, Recommended Practice for Concrete Formwork.

B. American Institute of Steel Construction (AISC):

Code of Standard Practice for Steel Buildings and Bridges (with Commentary), September 1, 1976.

Manual of Steel Construction, Eighth Edition.

Specification for the Design, Fabrication, and Erection of Structural Steel for Buildings (with Commentary), November 1, 1978.

Specification for Structural Joints Using ASTM A325 or A490 Bolts, April 26, 1978.

C. American Society for Testing of Materials (ASTM):

A 36-84a, Specification for Structural Steel.

A 47-84, Specification for Malleable Iron Castings.

A 53-84a, Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated Welded and Seamless.

A 82-79, Specification for Cold-Drawn Steel Wire for Concrete Reinforcement.

A 108-81, Specification for Steel Bars, Carbon, Cold-Finished, Standard Quality.

A 116-81, Specification for Zinc-Coated (Galvanized) Steel Woven Wire Fence Fabric.

A 123-84, Specification for Zinc (Hot-Galvanized) Coatings on Iron and Steel Products.

A 153-82, Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware.

A 185-79, Specification for Welded Steel Wire Fabric for Concrete Reinforcement.

A 242-84, Specification for High-Strength Low-Alloy Structural Steel.

A 307-84, Specification for Carbon Steel Externally Threaded Standard Fasteners.

A 325-84, Specification for High-Strength Bolts for Structural Steel Joints.

A 307-77, Methods and Definitions for Mechanical Testing of Steel Products.

A 416-80, Specification for Uncoated Seven-Wire Stress-Relieved Strand for Prestressed Concrete.

A 421-80, Specification for Uncoated Stress-Relieved Wire for Prestressed Concrete.

A 446-83, Specification for Steel Sheet, Zinc-Coated (Galvanized) by the Hot-Dip Process, Structural (Physical) Quality.

A 475-85, Specification for Zinc-Coated Steel Wire Strand.

A 490-84, Specification for Heat Treated, Steel Structural Bolts 150 KSI Tensile Strength.

A 500-84, Specification for Cold-Formed Welded and Seamless Carbon Steel Structural Tubing in Rounds and Shapes.

A 501-84, Specification for Hot-Formed Welded and Seamless Carbon Steel Structural Tubing.

A 514-84a, Specification for High-Yield Strength, Quenched and Tempered Alloy Steel Plate, Suitable for Welding.

A 525-83, Specification for Steel Sheet, Zinc-Coated (Galvanized) by the Hot-Dip Process, General Requirements.

A 572-84, Specification for High-Strength Low Alloy Columbium--Vanadium Steel of Structural Quality.

A 588-84a, Specification for High-Strength Low-Alloy Structural Steel with 50,000 psi Minimum Yield Point to 4 in. Thick.

A 611-84, Specification for Steel Sheet, Carbon, Cold-Rolled Structural Quality.

A 615-84a, Specification for Deformed and Plain Billet--Steel Bars for Concrete Reinforcement.

A 706-84a, Specification for Low-Alloy Steel Deformed Bars for Concrete Reinforcement.

C 31-84, Method for Making and Curing Concrete Test Specimens in the Field.

C 33-85, Specification for Concrete Aggregates.

C 39-84 (1979), Test for Compressive Strength of Cylindrical Concrete Specimens.

C 42-84a, Method for Obtaining and Testing Drilled Cores and Sawed Beams of Concrete.

C 90-78 (1981), Specification for Hollow Load-Bearing Concrete Masonry Units.

C 91-83a, Specification for Masonry Cement.

C 94-84, Specification for Ready-Mixed Concrete.

C 109-84, Test Methods for Compressive Strength of Hydraulic Cement Mortars (Using 2-in. or 50 mm Cube Specimens).

C 138-81, Test Methods for Unit Weight, Yield and Air Content (Gravimetric) of Concrete.

C 140-75 (1980), Sampling and Testing Concrete Masonry Units.

C 143-78, Test Methods for Slump of Portland Cement Concrete.

C 144-84, Specification for Aggregate for Masonry Mortar.

C 150-85, Specification for Portland Cement.

C 171-69 (1980), Specification for Sheet Materials for Curing Concrete.

C 172-82, Method of Sampling Freshly Mixed Concrete.

C 173-78, Test for Air Content of Freshly Mixed Concrete by the Volumetric Method.

C 190-85, Test for Tensile Strength of Hydraulic Cement Mortars.

C 207-79 (1984), Specification for Hydrated Lime Masonry Purposes.

C 231-82, Test for Air Content of Freshly Mixed Concrete by the Pressure Method.

C 260-77, Specification for Air-Entraining Admixtures for Concrete.

C 270-84, Specification for Mortar for Unit Masonry.

C 309-81, Specification for Liquid Membrane Forming Compounds for Curing Concrete.

C 330-85, Specification for Lightweight Aggregates for Structural Concrete.

C 404-76 (1981), Specification for Aggregates for Masonry Grout.

C 476-83, Specification for Grout for Masonry.

C 494-82, Specification for Chemical Admixtures for Concrete.

C 567-85, Test for Unit Weight of Structural Lightweight Concrete.

C 595-85, Specification for Blended Hydraulic Cements.

C 780-80, Method for Preconstruction and Construction Evaluation of Mortars for Plain and Reinforced Unit Masonry.

C 144-84, Specification for Aggregate for Masonry Mortar.

C 150-85, Specification for Portland Cement.

C 171-69 (1980), Specification for Sheet Materials for Curing Concrete.

C 172-82, Method of Sampling Freshly Mixed Concrete.

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C 780-80, Method for Preconstruction and Construction Evaluation of Mortars for Plain and Reinforced Unit Masonry.

D 98-80, Test Methods for Calcium Chloride.

D 2092-82, Recommended Practice for Preparation of Zinc-Coated Steel Surfaces for Painting.

D 2240-81, Test for Rubber Property - Durometer Hardness.

E 164-81, Recommended Practice for Ultrasonic Contact Examination of Weldments.

E 329-77 (1983), Recommended Practice for Inspection and Testing Agencies for Concrete, Steel, and Bituminous Materials as Used in Construction.

E 447-84, Test for Compressive Strength of Masonry Prisms.

D. American Welding Society (AWS):

A5.1-78, Specification for Carbon Steel Covered Arc Welding Electrodes.

A5.5-69 and 1977 Addenda, Specification for Low-Alloy Steel Covered Arc-Welding Electrodes.

A5.17-80, Specification for Carbon Steel Electrodes and Fluxes for Submerged Arc Welding.

A5.20-79, Specification for Carbon Steel Electrodes for Flux Cored Arc Welding.

B3.0-77, Welding Procedure and Performance Qualification.

D1.1-81, Structural Welding Code - Steel.

D1.3-78, Specification for Welding of Sheet Metal in Structures.

D1.4-79, Structural Welding Code - Reinforcing Steel.

QCI-77, Standard for Qualification and Certification of Welding Inspectors.

E. Prestress Concrete Institute (PCI):

MNL 116-77, Manual for Quality Control for Plants and Production of Precast Prestressed Concrete Products.

SECTION 01710 - CLEANING

PART 1 - GENERAL

1.01 QUALITY ASSURANCE

A. Fire Protection: Store volatile waste in covered metal containers, and remove from premises daily.

B. Pollution Control: Conduct clean up and disposal operations to comply with local ordinances and anti-pollution laws.

1. Burning or burying of rubbish and waste materials on the project site is not permitted.

2. Disposal of volatile fluid waste (such as mineral spirits, oil or paint thinner) in storm or sanitary sewer systems or into streams or waterways is not permitted.

PART 2 - PRODUCTS

2.01 MATERIALS

A. Use only cleaning materials recommended by manufacturer of surface to be cleaned.

B. Use cleaning materials only on surfaces recommended by cleaning material manufacturer.

PART 3 - EXECUTION

3.01 CONSTRUCTION CLEANING

A. Maintain building grounds free from accumulations of waste materials and rubbish.

B. Sprinkle dusty debris with water.

C. Provide dump containers on site for collection of waste materials, rubbish and debris for all trades.

D. Remove waste materials, rubbish, and debris from the site and legally dispose of at public or private dumping areas off the Owner's property.

E. Schedule cleaning operations so that dust and other contaminants resulting from cleaning process will not fall on

November 2, 1989

Mr. Arthur J. Cierzo
Construction Official
TOWNSHIP OF BRICK
Ocean County, New Jersey
401 Chambers Bridge Road
Brick, New Jersey 08723

RE: TEMPORARY C. OF O. MARSHALLS
BRICKTOWN, NEW JERSEY

Dear Mr. Cierzo:

By copy of this letter, we are hereby requesting a temporary certificate of occupancy for the above store.

At this time, we cannot complete the exterior of the building due to back ordered components for the tower elements.

Vornado wishes to go on record, that completion of the tower will proceed as quickly as possible, and, that under no circumstances will the work be performed whereby it would cause a safety hazard to the public.

If a temporary certificate of occupancy is issued prior to completion of the towers, Vornado will hold the Township of Brick harmless as to the consequences thereof.

Very truly yours,

VORNADO PROPERTIES

James J. Fallon
Director of Design & Construction

JJF/jp

cc: R. Rowan

1st → 920-0808

907-4246

174 Passaic Street
Garfield, N.J. 07026
(201) 773-4000

Total Fees Due: \$

This verifies that the soil erosion and sediment control measures for the above designated block and lot numbers are in compliance to the extent indicated above with the soil erosion and sediment control plan as certified by the Ocean County Soil Conservation District and required by Chapter 251, P.L. 1975 as amended, the Soil Erosion and Sediment Control Act. (N.J.S.A. 4:24-39 et. seq.)

AGENT RESPONSIBLE FOR PROJECT:

AUTHORIZED DISTRICT SIGNATURE:

Date:

Distribution: White-Township Canary-Applicant Pink-District

A4687

10/23/59

We are requesting Permission to
stock the Mushella. It
We will not hold the Ferry
Responsible in any way. & the
It will not be open for
'Business' until a Certificate of
Occupancy is issued

Worrad Inc
James J. Jahn
Dir of Design & Const.

MARSHALLS

5115

DESIGN & CONSTRUCTION MANUAL

ISSUED FOR BIDS & PERMITS
JULY 14, 1989

John Stein

STORE NO. 358
BRICKTOWN, NEW JERSEY

DRAWING NO.	DRAWING TITLE
MA-1	FINISH SCHEDULE
MA-2	DOOR SCHEDULE
MA-3	PAINT SCHEDULE
MA-4	FLOOR TRANSITION
MA-5	DOOR DETAILS
MA-6	PARTITION DETAILS
MA-7	DEMISING WALL DETAILS
MA-8	FREESTANDING FIXTURE CORNICE DETAIL
MA-9	CORNICE BOARD DETAIL
MA-10A	SECTION AT FITTING ROOM/SALES AREA
MA-10B	TYPICAL PHOTO MURAL DETAILS
MA-10C	SLATWALL SECTION AT FITTING ROOM
MA-11	MIRRORED COLUMN DETAIL
MA-12	CASH OFFICE AND HALLWAY
MA-13	EMPLOYEE LOUNGE
MA-14	AREA MANAGERS OFFICE
MA-15	MANAGERS OFFICE
MA-16A	TYPICAL FITTING ROOM LAYOUT
MA-16B	TYPICAL FITTING ROOM MIRROR DETAIL
MA-17	LAYAWAY STORAGE
MA-18	LAYAWAY SERVICE DESK, HALL AND LOSS PREVENTION
MA-19	EMPLOYEE TOILETS/JANITORS CLOSET
MA-20A	STOCKROOM
MA-20B	STOCKROOM MEZZANINE
MA-21A	OBSERVATION PLATFORM
MA-21B	L.P. CORNER PERCH
MA-22	STOCK AREA WALL STANDARDS
MA-23	DECOR DETAILS
MA-24A	RECEIVING DOOR/MEZZANINE DETAILS
MA-24B	RECEIVING DETAILS
MA-25	LOADING DOCK ALTERNATES
MA-26	COMPACTOR DETAILS
MA-27	ROOF HATCH DETAILS
MA-28	CHECKOUT WITH VESTIBULE
MA-29	PIGGY BACK CHECKOUT W/VESTIBULE
MA-30	CHECKOUT WITH MALL ENTRANCE
MA-31	PIGGY BACK CHECKOUT W/MALL ENTRANCE
MA-32	PEDIGRID MAT DETAILS
MA-33	ALVARADO RAILING DETAILS
MA-34	STAIR DETAILS
MA-35	CONVEYOR DETAILS

DRAWING NO.DRAWING TITLE

ME-1

ELECTRICAL LEGEND

ME-2

ELECTRICAL LEGEND

ME-3

SWITCHBOARD, PANELBOARDS & LIGHTING
SCHEDULES

ME-4

CONTACTOR WIRING DETAIL & SCHEDULE

ME-5

ISOLATED GROUND POWER SYSTEM

ME-6

LAYAWAY, CHECKOUT AND SERVICE DESK
WIRING DETAILS

ME-7

CHECKOUT & WALKERCELL ARRANGEMENTS

ME-8

JEWELRY ISLAND POWER DETAIL

ME-9

ELECTRIC ROOM ELEVATIONS

ME-10

CASH OFFICE ELEVATIONS

ME-11

DOOR OPENER AND EXTERIOR SIGN
WIRING DIAGRAMS

ME-12

SALES AREA COLUMN ELEVATIONS

ME-13

TELE-POLE DETAILS

ME-14

CORNICE LIGHTING DETAIL

ME-15

CHECKOUT COUNTERS - PIGGY BACK
ALTERNATE

ME-16

CHECKOUT COUNTERS - STRAIGHT LINE
ALTERNATE

MM-1

HVAC LEGEND

MM-2

HVAC LEGEND

MM-3

HVAC DESIGN CRITERIA

MM-4

PLUMBING LEGEND

MM-5

JANITOR'S CLOSET PLUMBING DETAILS

MM-6

ENERGY MANAGEMENT SYSTEM

MM-7

EMS DESCRIPTION & INSTALLATION
NOTES

MM-8

EMS DESCRIPTION & INSTALLATION
NOTES

OUTLINE SPECIFICATION

1 - GENERAL CONDITIONS

A. Scope of Specifications

The General Contractor shall construct a Marshalls' store in accordance with the Design and Construction Manual, construction drawings, and requirement drawings.

B. Drawings and Specifications

Drawings and manuals are complimentary and what is called for by one shall be binding as if called for by both. Should there be a conflict, or should an interpretation be required, such decision or interpretation shall be made by Marshalls.

Where the term "or approved equal" is used, it shall be understood that such substitutions shall be made only after written consent of Marshalls has been obtained.

C. Workmanship and Materials

Workmanship shall comply with quality methods and standards in accordance with the best trade practices. Manufactured products and equipment shall be installed in accordance with the specific manufacturers recommendations and requirements of the project.

All equipment and materials shall be new and conform with first class standards of manufacturer. Defective, damaged or sub-standard materials will not be acceptable and if built-in shall be removed and replaced with sound materials or otherwise corrected to Marshalls' satisfaction at the Contractor's expense.

D. Permits and Licenses

The General Contractor shall be responsible to secure and pay for all costs for permits, governmental fees, licenses, and inspection necessary for providing the Marshalls' facility, including occupancy permits.

E. Changes

Extra Work or changes required by Marshalls shall be requested through the use of change orders to the General Contractor who shall submit a written proposal covering such work to Marshalls for approval.

F. Supervision

The General Contractor shall have a qualified, full-time superintendent for the project, who shall be responsible for the overall construction and who has the authority to make construction decisions on behalf of the Contractor.

G. Operating Instructions and Guarantees

The General Contractor shall guarantee all workmanship and materials for a period of one (1) year from the turnover date. The General Contractor shall, at his expense, repair or replace any defects or faulty materials found during this period, including repairing and replacement of Marshalls' equipment damaged as a result of said defects. The General Contractor shall provide all necessary diagrams, operating instructions and information required for operation of the mechanical and electrical systems. Compressors shall have a 5 year warranty.

H. Clean-up

The General Contractor shall deliver the facility to Marshalls in a suitable opening condition, free of rubbish and debris, with all surfaces swept, washed and shined. All pipe chases and duct spaces shall be broom-cleaned.

I. CONTRACTOR'S LIABILITY INSURANCE

1. The Contractor shall furnish certificates evidencing the following coverage and minimum limits of liability:

<u>Type of Insurance</u>	<u>Limits of Liability</u>
Workmen's Compensation Employers Liability	Statutory \$100,000
Public Liability and Contractual Liability:	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 aggregate
Independent Contractors (contingent liability):	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 aggregate
Automobile Liability:	
Personal Injury	\$1,000,000 per person \$2,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence \$1,000,000 aggregate
Product Liability, including Completed Operations:	Same limits as Public Liability to be kept in force one year after acceptance of work by the Owner and Architect or throughout guarantee period, whichever is longer.

2. Liability insurance should be extended to include the so-called "Broad Form Property Damage Endorsement."
3. The insurance form as outlined and described above must be written by a Company licensed to do business in the State in which the work is located and by a Company acceptable to the Owner.
4. Evidence of the above coverage, represented by Certificate of Insurance issued by the insurance carrier, must be furnished to Marshalls prior to the Contractor's starting work. Certificates of Insurance shall state that Marshalls will be notified in writing thirty (30) days prior to cancellation, material change, or renewal of the insurance.
5. Insurance similar to that required of the Contractor shall be provided by or in behalf of all Subcontractors to cover their operations performed under this agreement. The Contractor shall be held responsible for any modification in these insurance requirements as they apply to the Sub-contractors.
6. The Contractor shall maintain and pay for such insurance as will protect him, Marshalls' Architects, and Engineers against losses and claims noted above. Certificates of Insurance shall so state and list the names of all parties, with necessary riders where required.

2 - TENANT FURNISHED ITEMS

A. Items Furnished By Tenant and Installed By General Contractor

All double slotted wall standards.
All brackets for wall standards.
Cornice board (light fixture supplied by General Contractor).
Carpet, reducer strip and 6" vinyl feature. (Adhesive supplied by General Contractor).
Bumper moulding (3" wide & 1" wide).
Restroom dispensers.
Wallpaper with vinyl lettering for front area of store.
Free standing cornice lighting (separate from perimeter cornice lighting).

B. Items Furnished and Installed by Tenant

All fixtures required for the display and storage of merchandise.
Layaway and office counters. (Electrical by G.C.)
Wood shelves.
Interior and exterior signs.
Conveyors.
Compactor units. (Final connection by General Compactor)
300 linear feet of 3/4" I.D. chrome pipe (effective after 6/88).

C. Items Furnished and Installed By General Contractor

Alvarado chrome railings.
Conveyer openings, safety rails, power feed, disconnect and slab.
Building sign power feeds, timers, photo-cell operator, and access panel.
Compactor slab with electrical connection.
Vinyl composition tile and base.
All light fixtures specified by plan.
All interior finish items called for by these specifications except those listed above.
Fitting room mirrors.

3. - WORK TO BE PERFORMED

A. Demolition

The Contractor shall demolish partitions that conflict with the finished product as shown on drawings. The General Contractor shall use caution for this demolition and when necessary, shall provide temporary shoring at all times until new structural support is installed.

B. Concrete Work

The compactor slab shall be 6" reinforced with 6x6 x 10/10 welded wire fabric. At edges slab shall be formed into 1'0" wide x 2'0" deep grade beam. Pitch slab a minimum 1/4" per foot away from building.

Provide a trench for the underfloor duct as shown on the electrical drawings including a 6x6 x 10x10 welded wire mesh. Trench is also required for underfloor conduit.

All interior exposed concrete floors shall be treated for hardening. Hardening treatment shall be "Risco Cure Hardening Seal" or equal and is to be applied in accordance with manufacturers' instructions.

C. Masonry

Where new block walls are to be constructed use Dur-O-Wall reinforcing every other course.

Provide new openings of sufficient size in order to properly anchor the new door frames and to provide for new lintels.

D. Lintels for New Openings in Existing Walls

Lintels shall be in accordance with the following schedule, unless specifically shown otherwise; one angle for each four-inch thickness of masonry with the length to provide for six-inch bearing at each end.

Openings up to 3'-0" - 3-1/2"x3" x 1/4" angle with the 3" leg vertical.

Openings 3'-0" to 4'-6" -- 4" x 3-1/2" x 5/16" angle with the 4" leg vertical.

Openings 4'-6" to 6'-0" -- 5" x 3-1/2" x 5/16" angle with the 5" leg vertical.

Openings 6'-0" to 8'-0" -- 6" x 3-1/2" x 3/8" angle with the 6" leg vertical.

E. Pipe Rails

Pipe rails, conveyor gate, and carriage pass thru to be 1-3/4" O.D. polished chrome on steel pipe with necessary caps, fittings and floor flanges. Posts shall be 2-1/4" Zenith type Z. Railings to be 36" high with intermediate rail. Pass-thru to be 41-3/4" high PBG rubber bumpers on each post without intermediate rail. Cart bumper shall be model CB attached with manufacturers bolts and Model SA expansion shield. Removeable gate shall be type LG 48" wide with 2 outlets per post. All above are as manufactured by Alvarado Manufacturing Co., 12660 Colony St., Chino, CA 91710, Telephone NO. 1-800-423-4143 in California 1-800-445-7401.

F. Stock Room Pipe Rail

At concrete or masonry walls, General Contractor to furnish and install 2"x4" fire-rated members (securely fastened to masonry walls) to which standards are screwed. See Marshalls' Fixture Drawing for locations and detail for standard mounting directions.

G. Sales Area Standards

General Contractor to install all standards supplied by Marshalls at 24" O.C. to match wall wood stud spacing. Mount one standard per stud. Standards must be screwed into vertical wood studs.

4 - DOORS, WINDOWS, STOREFRONTS AND GLASS

A. HOLLOW METAL DOORS AND FRAMES

Hollow metal items: cold rolled steel broken to the shapes indicated on the drawings. Reinforce as required to receive counter-sunk hardware, cup for locks, strikes and for door closers. See door schedules for opening sizes. Provide all floor anchors as required. Shop coat of rust inhibitive primer on door frames and casings. Baked on synthetic enamel, prime finish for all doors. Provide all wall anchors as required.

Gauges: Gauges noted herein are U.S.S. The following are minimum gauges:

<u>Item:</u>	<u>GAUGE:</u>
Exterior doors & frames.....	16
Interior doors & frames.....	18
Loose stops.....	20
Adjustable jamb anchors.....	18
Clip angles at bottom of door jambs.....	16
Structural reinforcing.....	12

B. STOREFRONT

Aluminum storefront and vestibule framing shall be Kawneer Tri-Fab. 1-3/4" x 4-1/2" sections, flush glazed, rigid, watertight, with hairline joints. Finish shall be Duranodic dark bronze No. 40. Systems similar to Kawneer may be substituted only after written approval by Marshalls.

C. ALUMINUM DOORS (Manual Operation)

Doors shall be Kawneer, package unit medium style #350 finish to match aluminum framing. Doors shall be equipped with the following hardware:

1. Center pivots.
2. Cylinder locks by "Best" Manufacturing.
3. Concealed overhead door closer with hold open device.
4. For double doors - 3 point deadlock.
5. Retractable door stop - Dor-O-Matic 1150-A
6. Carriage bars both sides of each leaf - Dor-O-Matic "Glass-Gard" finish to match door.
7. Push bar - Style "F".
8. Pull Handle - Style "F".
9. Extruded aluminum saddle zero #654.

D. ALUMINUM DOORS (Automatic Operation)

GENERAL:

Automatic swing door operator shall be Swingmaster side load series 300, electromechanical, self-contained, overhead concealed system, all as manufactured by Besam, Inc., East Windsor, N.J. 08520. Installation shall be performed by the local authorized Besam Distributor.

E. FIXED WINDOWS (in Sales Area Walls)

Fixed windows shall be one-way windows of size 22-1/2"x 18" glazed with Libby-Owens-Ford 1/4" MIRRORPANE PARALLEL-O-PLATE glass or approved equal. Glass shall slope as detailed on sheet MA-21.

5 - HARDWARE

A. General

Exterior egress doors shall be equipped with galvanized tamper proof butts, closers, legal emergency devices as scheduled, threshold and weather stripping.

Interior doors shall be equipped with butts, closers, locksets and kickplates as scheduled.

All locksets, passage sets and cylinders shall be "Best" 53K series semi-heavy duty, U.S. 26D, lyric design with 6 pin removeable construction type cores for Tenants master keyed cores.

Emergency exit devices shall be Model 230-HK, as manufactured by Detex, furnished complete with cylinders, less cores.

Push-pulls and kickplates shall be Brookline, Baldwin, Quality or approved equal.

Hinges shall be Stanley FBB-NRP for exterior, FBB for interior, or approved equal as manufactured by Hager or Lawrence.

Thresholds shall be Reese, Zero, Pemko or approved equal.

Stops and flush bolts shall be H.B. Ives, Russwin, Corbin, or approved equal, floor mounted where safety permits.

Holders shall be Glynn Johnson, Russwin, Corbin or approved equal.

B. Surface Mounted Door Closers

A. Acceptable Manufacturers:

1. LCN.
2. Sargent and Company

- B. Type: Hydraulic closers with non-ferrous cover, high strength cast iron cylinder having full rack and pinion operation, non-critical and independent tamper-proof regulating screws for adjustment of latch speed, general speed and back-check.
- C. All surface closers shall be the products of one manufacturer.
- D. Provide mounting plates as required, hex nuts and bolts for application to hollow metal doors and through-bolts for application to wood doors.
- C. Non-removeable Pins
All exterior doors butts to be fitted with non-removeable pins.
- D. Traffic Mat
All stores require a 4'x6' Pedigrid mat system Series DP drain pan application with Series 300 VA vinyl abrasive tread manufactured by Construction Specialties 1-800-447-1984. Tread color shall be Ocean Gray, trim finish to match storefront finish.
- E. Hardware Repairs
Inspect all existing hardware, alarm locks, and locksets to doors. Repair and replace all components as required to put all units in good working order.

6 - FINISHES

- A. Gypsum Wallboard
Gypsum wallboard shall be 5/8" thick fire rated - or moisture resistant in toilets and janitors' closets, with tapered edges, complying with federal specification for Gypsum wallboard SS-W-51A and SS-W-0051B as manufactured by U.S. Gypsum Co., or National Gypsum Co.

In all cases Gypsum wallboard shall be taped, sanded, spackled and ready for finish treatment.
- B. Metal Studs
Metal studs shall be 4" or 6" deep, as shown on drawings and shall be at least 20 gauge throughout or as required to meet code. Spacing shall be 24" O.C. as shown on drawings. All sales area studs shall have 1-1/2" x 3-1/2" solid wood blocking 10'0" long in each stud and fire retardant as required. Blocking shall be eight feet long in office wall studs where standards are to be attached.
- C. Acoustic Ceilings
Acoustic tiles shall be 2'x4'x 5/8" non combustible Class A Armstrong. Where existing ceiling is to remain, replace all soiled or damaged tiles to match existing adjacent ceiling. General Contractor to provide 5 extra packages of unopened ceiling tiles to be stored in Marshalls' stockroom.
- D. Finished Floor
The intent is to provide a smooth, level floor in preparation for installation of the various finished floors indicated on the drawings. Existing resilient tile shall be removed to form suitable substrate for new flooring. Areas that are not level shall be flash patched or ground

down to make level and smooth prior to installing finished floor material. Note that the manufacturers' specification for installation is part of this specification.

E. Demising Walls

Demising walls to be of 20 gauge 6" deep galvanized steel studs provided with compatible 20 gauge steel runners.

All demising walls shall contain thermafiber sound attenuation blankets full thickness and full height.

Demising walls to have solid vertical wood blocking at every stud and shall be fire retardent if required by code.

Control joints to be spaced every 32 feet and to be USG control joint #093, National Gypsum Company E-Z Strip Expansion Joint or approved equal.

F. Slatwall Systems (When Applicable)

General Contractor to provide all horizontal blocking necessary for the installation and support of all slatwall systems as specified in this manual.

7 - ROOFING

A. Insulation

Insulation shall be rigid type mineral board fiberglass, or EPS to comply with energy codes in no case providing a roof assembly U factor or less than 0.05.

B. Membrane

1. Membrane shall be E.P.D.M. by Carlisle System Design B with 10 year guarantee/15 year construction. E.P.D.M. membrane shall be 0.045 inch thick all installed as per manufacturers recommendations.
2. 4 ply built up roof (alternate) shall be GAF type 105G with 10 year guarantee. Ballast shall be 400 pounds per 100 square feet. Installation to take place with the presence of a qualified, independent roofing engineer. Kettle temperature to be constantly modified and reported.

8 - HEATING, VENTILATING & AIR CONDITIONING

The intent is to provide gas fired roof top package units to provide comfort heating and cooling at a normal rate of 400 square feet to the ton in the sales area, 300 sq. ft. to the ton in the service areas, 200 sq. ft. to the ton in the cash areas, 635 sq. ft. to the ton in the stock, layaway storage and receiving areas. The receiving area shall be heated using gas fired unit heaters.

Security bars required at 1'-0" O.C. each way on all curb openings for rooftop units.

HVAC system shall be controlled by a Honeywell Energy Management System described elsewhere in this manual. Programmable night set back thermostats and economizers shall be put in the system. All ductwork 15 ft. upstream and downstream of all rooftop units shall be acoustically lined with 1" thick liner. Insulate all other supply ductwork with 1" thick exterior wrapped fiberglass insulation with FSK vapor barrier.

9 - ELECTRICAL

The electrical system shall be a complete system in accordance with all applicable codes. All wiring shall be run in conduit using a minimum #12 gauge copper wire with THHN insulation. Incoming service may be aluminum conductors with proper non-corroding terminations. All panels and equipment etc., shall be square D or approved equal. Minimum breaker size shall be 20 amp.

Completely label all circuits.
Mechanical disconnects to be provided for all equipment.

10 - SPRINKLER SYSTEM

1. SCOPE

- A. The Contractor shall furnish labor, material, equipment, supervision and services for any work incidental to the installation of the following:
1. Wet Pipe Sprinkler System in accordance with NFPA No. 13 and all amendments.
 2. Exterior underground water supply mains, valves, hydrants and accessories.
 3. Fire Department Siamese connections.
 4. Alarm valves and alarm devices.
 5. Piping.
 6. Sprinkler heads.
 7. Glycol Loops where required.

2. APPROVALS

- A. The System shall be installed by an approved contractor or contracting firm regularly engaged in the installation of automatic sprinkler systems.
- B. Insurance Rating Bureau approval shall be predicated on the lowest rate premium applicable without penalty. Include all utility company and city service charges.
- C. Detailed fabrication drawings shall be prepared by the accredited sprinkler installation company. Drawings shall be submitted to the Insurance Rating Bureau, City Water Department, City Fire Department and Tenant for approval. All requirements of these authorities shall be complied with.

3. SPRINKLER HEADS

- A. Sprinkler heads shall be the approved automatic closed type of the proper temperature rating, either 186 F or 280 F heads.
- B. Heads shall be standard pendant type, chrome plated, installed with only the heads below the ceiling. Escutcheon shall conceal ceiling openings and be capable of being removed without removing sprinkler head. Heads shall be installed in true alignment and visually straight.
- Brass upright heads shall be used in exposed roof construction areas.
- C. Heads shall be of the improved spray type conforming to Fire Protection Equipment List of the Underwriters' Laboratories, Inc., for the application, and for upright, pendant, sidewall, or other locations, as indicated.

4. ELECTRIC ALARM

- ~~A~~ A. One water flow switch to be installed in the main supply to the sprinkler system.
- ~~B~~ B. One electric bell to be installed on the exterior wall adjacent to the sprinkler riser.

Bell alarm

5. GATE VALVES AND CHECK VALVES

- A. One O.S. & Y. control valve to be installed in the main supply to the sprinkler system.
- B. One 6-inch double detector check valve with bypass and meter to be installed upstream of the fire department connection.
- C. One wet pipe alarm valve with retard chamber, pressure gauges and other associated trim to be installed in the main supply of the sprinkler system.
- D. One 4-inch standard check valve to be installed in the main supply to the Fire Department connection.
- E. All control valves to be supervised.
- F. X-connection and backflow provisions to comply with Federal, State, and Local regulations.

6. DRAIN PIPING

- A. Drain piping to properly drain system to be run in an accessible place for discharge. If necessary, to discharge drains to sewer, provide properly trapped sewer connections and receptacles conforming to local plumbing requirements and leave threaded capped outlets at points designated by the inspecting authority.

7. SUPPLY PIPING

- A. Piping from point where underground supply enters buildings to connection with sprinkler systems.

8. HANGERS

- A. Provide necessary hangers for supporting the sprinkler piping.

9. EXTRA SPRINKLER CABINET

- A. One Sprinkler Cabinet with number and types of heads required by NFPA 13 and sprinkler wrench to be provided for emergency use.

10. FIRE DEPARTMENT CONNECTION

- A. One 2-1/2" x 2-1/2" x 4" rough brass Fire Department connection to be installed on the exterior wall of the building with threads matching the local Fire Department.

11. INTERIOR PIPING

- A. Provide sufficient heat throughout all portions of the building equipped with a Wet Pipe System to prevent freezing of water in the sprinkler piping.
- B. All pipes to be black steel and fittings to be black cast iron, or standards as requested by the National Fire Protection Association unless otherwise specified.

PAINT SPECIFICATION CHART				
AREA TO BE COATED	PRIMER	NO. COATS	TOP COAT	NO. COATS
METAL TRIM, DOORFRAMES AND DOORS	F	1	G	2
PREVIOUSLY PAINTED			G	2
WOOD TRIM	D	1	E	2
GYPSUM WALLBOARD	A	1	B (SALES, STOCK) C (OFFICES)	2
PREVIOUSLY PAINTED			B (SALES, STOCK) C (OFFICES)	2
COLUMNS—SALES AREAS SOFFITS	A	1	B	2
PREVIOUSLY PAINTED			B	2
WOOD DOORS SCHEDULED TO BE STAINED	N/A	N/A	I J	1 2
SCHEDULED TO BE PAINTED	D	1	E	2
EXISTING CEILING—SALES AREA OR WHERE SCHED.	N/A	N/A	H	2
CORNICE BDS.	PREFINISHED WITH LAMINATE			

BENJAMIN MOORE		
<u>COLOR</u>	<u>MFGR. NO.</u>	<u>AREA</u>
OFF WHITE	OW-9	ALL WALLS THROUGHOUT FACILITY, DOOR FRAMES, SALES SIDE OF DOORS
GRAY	HC-108	12" STRIPE AROUND SALES AREA PERIMETER TOP OF WALL
OFF WHITE	OW-9	FITTING ROOM WALL ABOVE CORNICE (CENTER FITTING ROOM ONLY.)

PAINT PRODUCTS
A. LATEX QUICK DRY PRIME SEAL
B. REGAL AQUAGLO
C. REGAL AQUAVELVET
D. MOORE'S ALKYD ENAMEL UNDERBODY
E. ALKYD DULAMEL EGGSHELL
F. IRON CLAD RETARDO RUST INHIBITIVE PAINT
G. ALKYD DULAMEL SMI-GLOSS
H. REGAL WALL STAIN
I. BENWOOD ARCH. PENETRATING STAIN AMERICAN WALNUT #59
J. BENWOOD SATIN FINISH VARNISH

CORNICE BOARDS IN REMODELED STORES TO BE PAINTED AS RE- QUIRED (TO MATCH NEW STORES)
GENERAL VALANCE
BASE 4 PV-50 REGAL AQUAVELVET—BENJAMIN MOORE

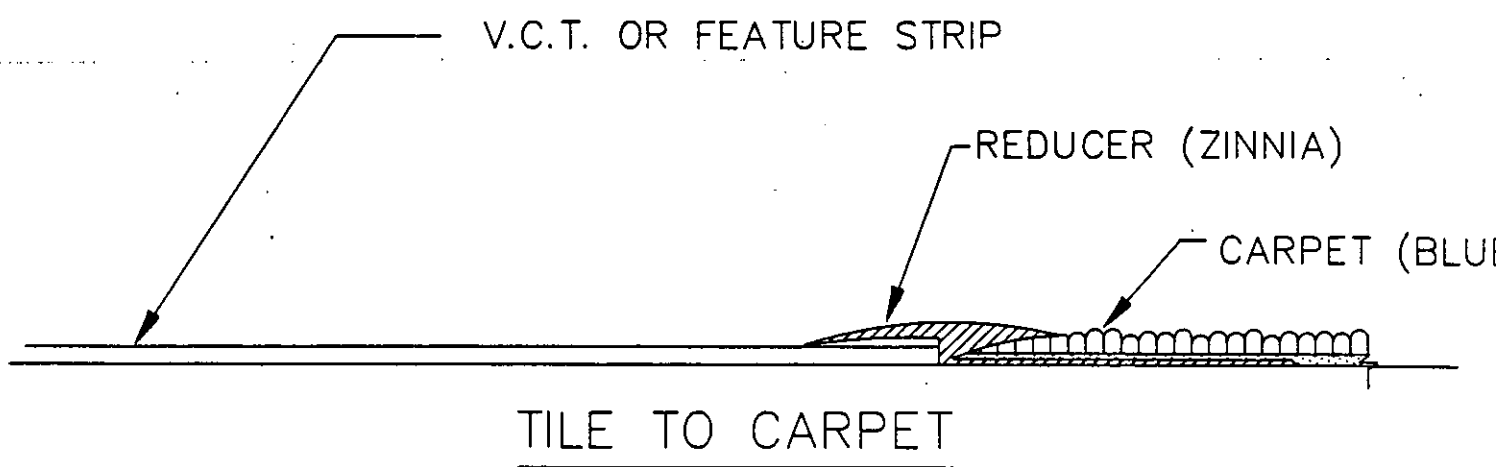
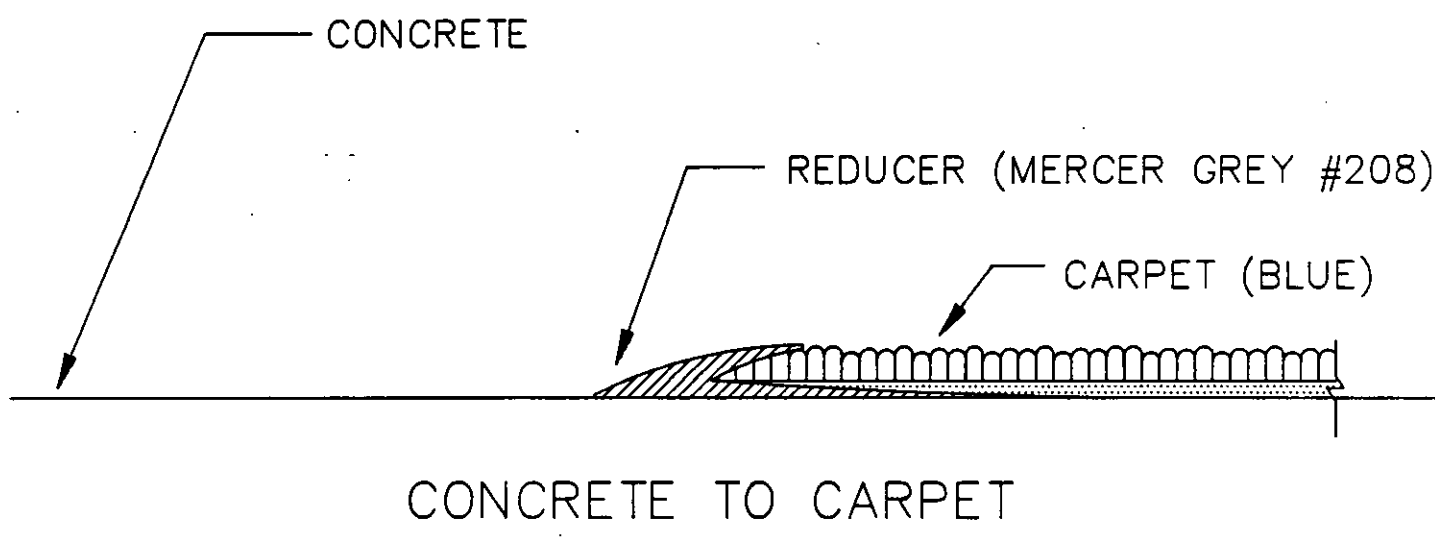
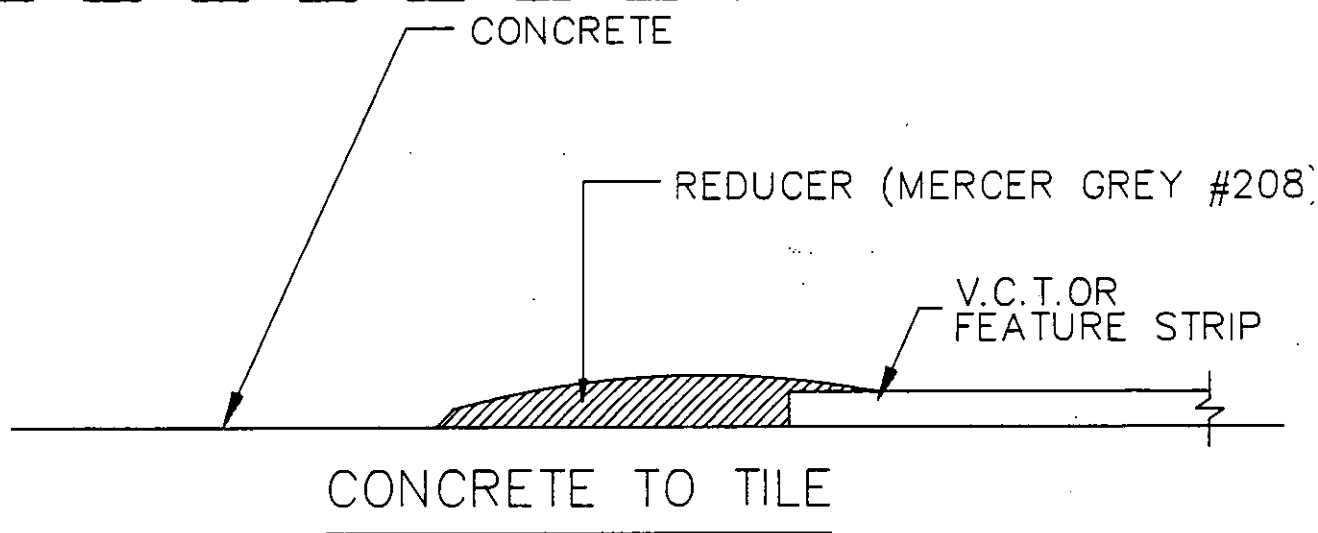
ROOM NUMBER	SPACE	FLOOR	BASE	WALLS	CEILING	HT.	COLUMNS	NOTES
1 VESTIBULE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
2 SALES AREA	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
3 FITTING ROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
4 JANITOR'S CLOSET	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
5 WOMEN'S RESTROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
6 MEN'S RESTROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
7 HALL @ RESTROOMS	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
8 LAYAWAY OFFICE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
9 LAYAWAY STOCKROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
10 L.P. OFFICE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
11 STOCKROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
12 MANAGER	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
13 ELECTRIC ROOM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
14 AREA MANAGER	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
15 HALL @ OFFICES	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
16 CASH OFFICE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
17 EMPLOYEE LOUNGE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
18 STOCKROOM MEZZANINE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			
19 L.P. CORNER PLATFORM	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE			

NOTE:

ALL STUDS TO BE 24" O.C.
UNLESS NOTED OTHERWISE.

*MERCER, INC.
1 JABEZ ST.
NEWARK, N.J. 07105

1. ARMSTRONG #51899 COOL WHITE TILE SUPPLIED BY G.C. ALTERNATE PATTERN EVERY OTHER TILE.
2. 4" COVE BASE BY MERCER #208 GRAY. SUPPLIED BY G.C.
3. VINYL REDUCER-STRIP BY MERCER* (SEE MA-4 FOR REDUCER COLOR AND TYPE).
4. U.S. CERAMIC TILE COMPANY Q-012-45 #8020 SAND BEIGE MOSAIC TILE 1" X 1" X 1/4".
5. ARMSTRONG MINABOARD FISSURED TILE WITH CHICAGO METALLIC FIRE-FRONT 250 SNAP GRID SYSTEM IN COLOR #41. APPROVED MANUFACTURERS TO BE ARMSTRONG, COUSINIC, CELOTEX, U.S.G.
6. 5/8" FIRE-RATED GYPSUM WALLBOARD.
7. CLEAR CORNER PROTECTORS BY TRI GUARDS, 953 SETON COURT, WHEELING, IL 60030, (312) 537-8444. (2) 4'-0" SECTIONS AS INDICATED. PAINT BACKS BEFORE INSTALLING.
8. U.S. CERAMIC TILE CO., U-788 FAWN BEIGE(MAZE) 4-1/4" X 4-1/4" X 1/4" (TO 44" A.F.F.).
9. MARLITE BREAUDED OAK PLANK #381 GALLEY OAK (TO 2'-8" A.F.F.).
10. GENON STARDUST II SANIBEL 2'-46-EL SUPPLIED AND INSTALLED BY G.C.
11. BENJAMIN MOORE OW-9.
12. AT INTERSECTION OF CERAMIC & TILE: FEATHER BACK FROM CERAMIC TILE A MIN. OF 1'-6" TO SLAB WITH THIN SET GROUT AT TILE TO BE 1/8" TO RECEIVE VINYL COMPOSITION TILE.
13. PAINT A 12" DEEP BAND AROUND PERIMETER OF SALES AREA CEILING BENJAMIN MOORE #HC-108 ABOVE BENJAMIN MOORE OW-09, AT TOP OF SALES AREA WALL.
14. WALLPAPER INSTALLED WHERE INDICATED BY MARSHALLS' PROJECT MANAGER. FURNISHED BY MARSHALLS, INSTALLED BY G.C.
15. SALES AREA AISLES LOCATED ON MARSHALLS' CARPET PLAN WILL BE MADE UP OF A 6' OR 7' V.C.T. RACEWAY AS IN NOTE #1 THIS PAGE WITH A 6" #643 VINYL FEATURE STRIP IN #301 RED BY MERCER PLASTICS EACH SIDE. THE FEATURE STRIP WILL HAVE A REDUCING STRIP AS IN NOTE #4 THIS PAGE TO TRANSITION TO THE CARPET ON EACH SIDE OF THE AISLE. G.C. IS TO INSTALL ALL OF THE ABOVE.
16. PROVIDE BROWN COVE BASE IN LOUNGE ONLY.
17. GENERAL CONTRACTOR IS TO INSTALL A PEDIGRID TRAFFIC MAT WITH DRAIN PAN IN THE VESTIBULE AS DETAILED ON SHEET MA32.



NOTE:

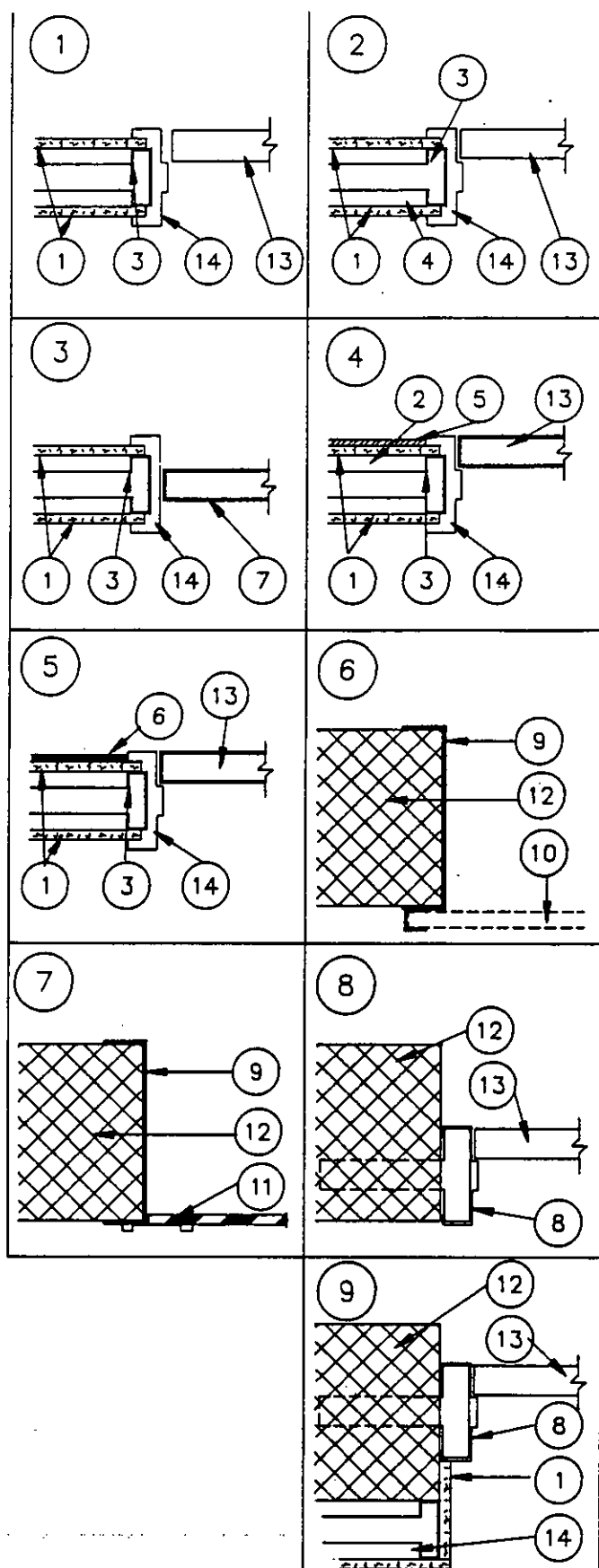
FEATURE STRIP, REDUCER FROM TILE TO CARPET, AND CARPET SUPPLIED BY MARSHALLS AND INSTALLED BY GENERAL CONTRACTOR.
REDUCER FROM CONCRETE TO TILE AND CONCRETE TO CARPET SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR.

marshalls

SCALE: NONE
DATE: 3/1/88

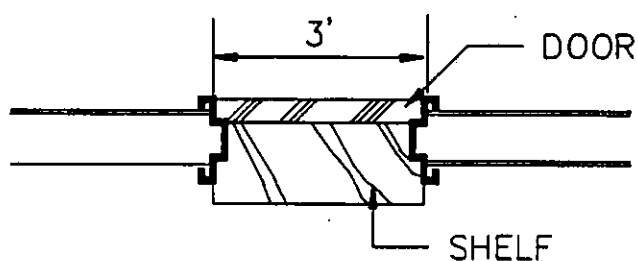
FLOOR TRANSITION DETAILS

MA
4



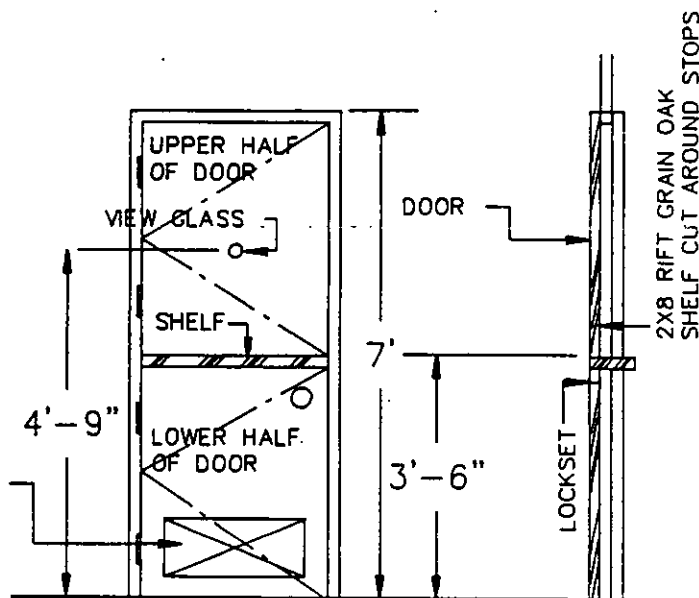
REFERENCE NOTES

1. 5/8" FIRE-RATED GYPSUM WALLBOARD
2. 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD
3. 4" METAL STUDS AT 24" O.C. WITH 2X4 WOOD INSERTS SALES AREA ONLY.
4. 3/4" PLYWOOD BACK BOARD
5. CERAMIC TILE TO 3'-8"
6. MARLITE PANELING TO 2'-8" W/WALLCOVERING ABOVE
7. "EASY-SWING" DOOR
8. HOLLOW METAL FRAME, 16 GA. W/3 ANCH./JAMB AT MASONRY
9. STEEL CHANNEL FRAME. SIZE TO SUIT WALL W/3 ANCHORS/JAMB
10. FOLL UP DOOR
11. COMPACTOR STEEL DOOR
12. BLOCK WALL
13. 1-3/4" DOOR. SEE SCHEDULE
14. HOLLOW METAL FRAME 18 GA. W/3 ANCH./JAMB AT MASONRY



PLAN 3/8"=1'-0"

KICKPLATE



ELEVATION 3/8"=1'-0"

SECTION

CASH OFFICE DUTCH DOORS

(DOOR NUMBER 11)

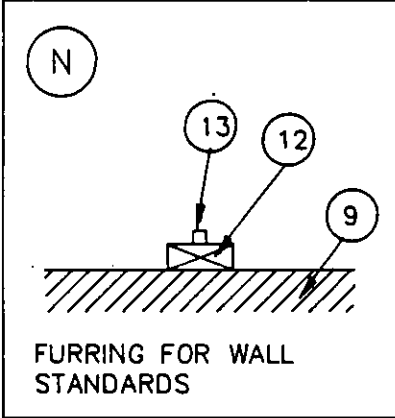
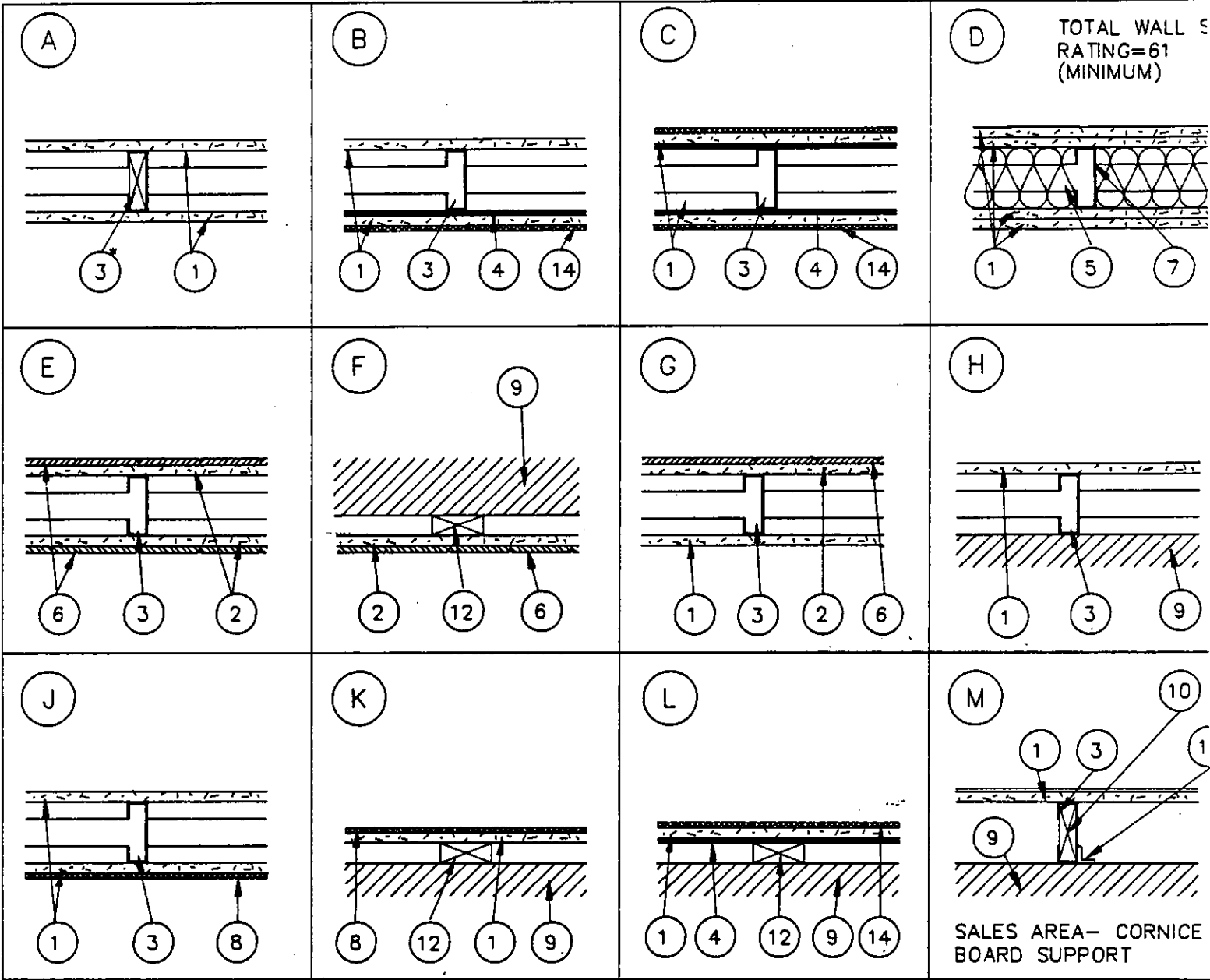
marshalls

SCALE: AS NOTED
DATE: 3/1/88

DOOR DETAILS

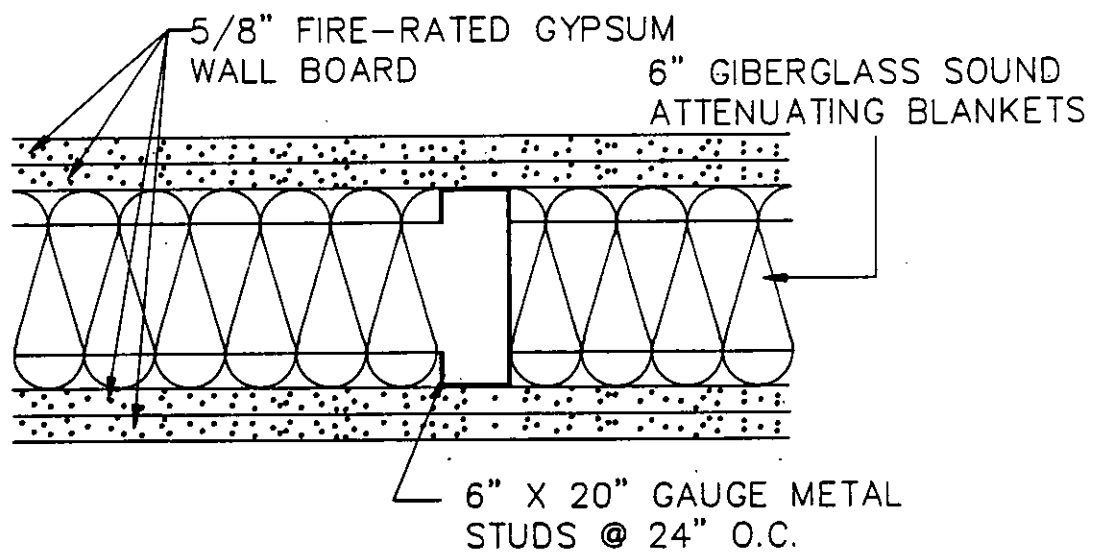
MA
5

PARTITION DETAIL 10'
SEE SH. A4.2.



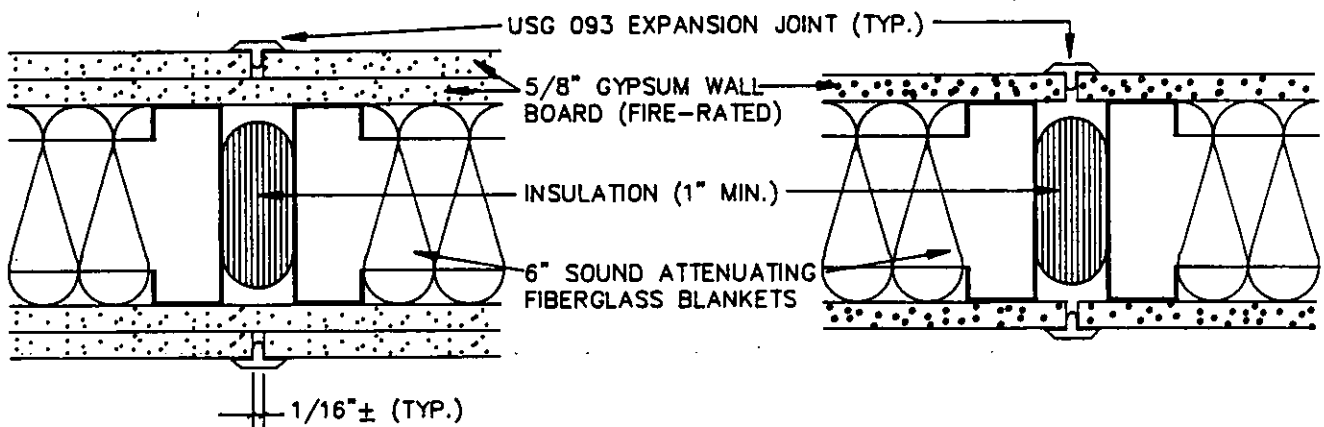
REFERENCE NOTES

1. 5/8" FIRE RATED GYPSUM WALLBOARD
2. 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD
3. 4" METAL STUDS AT 24" O.C. TAKEN TO STRUCTURAL DECK AT 4'-0" INTERVALS (2X4 WOOD BLOCKING TO 10'-0" A.F.F. IN SALES AREA) AND 17'-0" A.F.F. IN WALL BETWEEN SALES AND STOCKROOM WHERE STANDARDS ARE INSTALLED IN STOCKROOM
4. 3/8" CDX SHEATHING
5. 6" SOUND ATTENUATION FIBERGLASS BLANKETS
6. CERAMIC TILE
7. 6" 20 GA. METAL STUDS AT 24" O.C.
8. MARLITE TO 2'-8" W/TRIM CAP AND WALLCOVERING ABOVE
9. BLOCK WALL
10. CORNICE BOARDS WOOD BLOCKING (AS REQUIRED BY CODE) TO 10'-0" H.
11. STUD CLIPS @ 4'-0" O.C. VERTICAL
12. 2" X 4" ON FLAT AGAINST BLOCK MASONRY WALL @ 24" O.C.
13. METAL WALL STANDARDS, DOUBLE SLOTTED
14. WALL VINYL GENON STARDUST II SANIBEL 2.46.EL

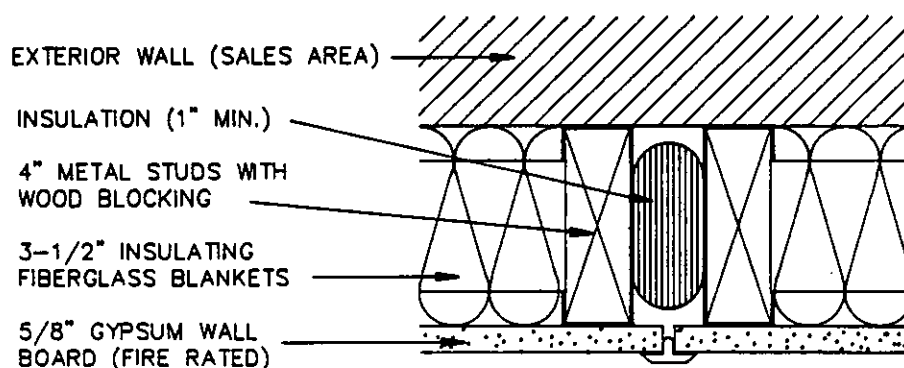


PLAN

1. WALLS = 6" X 20" GAUGE METAL STUDS @ 24" O.C. (OR AS NOTED ON THE DRAWING), WITH 5/8" FIRE-RATED GYPSUM WALL BOARD TO CODE BOTH SIDES.
2. WALLS SHALL BE FULL HEIGHT TO UNDERSIDE OF DECK, WITH COLD-ROLLED REINFORCING CHANNELS CONTINUOUS @ 8'-0" ABOVE FINISH FLOOR
3. GYPSUM WALL BOARD SHALL BE TAPED, SPACKLED AND SANDED READY FOR PAINT OR FINISHES AS SCHEDULED, WITH VERTICAL CONTROL JOINTS AT APPROX. 32'-0" O.C. PROVIDE SOUND ATTENUATION BLANKET INSUL. FULL HEIGHT, FULL THICKNESS WITHIN DEMISING WALLS TO ENSURE A MINIMUM STC RATING OF 61.
4. PROVIDE ELECTRICAL OUTLETS IN DEMISING WALL PER MARSHALLS POWER DRAWING.



CONTROL JOINT DETAILS



marshalls

SCALE:
DATE: 3/1/88

DEMISING WALL DETAILS

M/
7

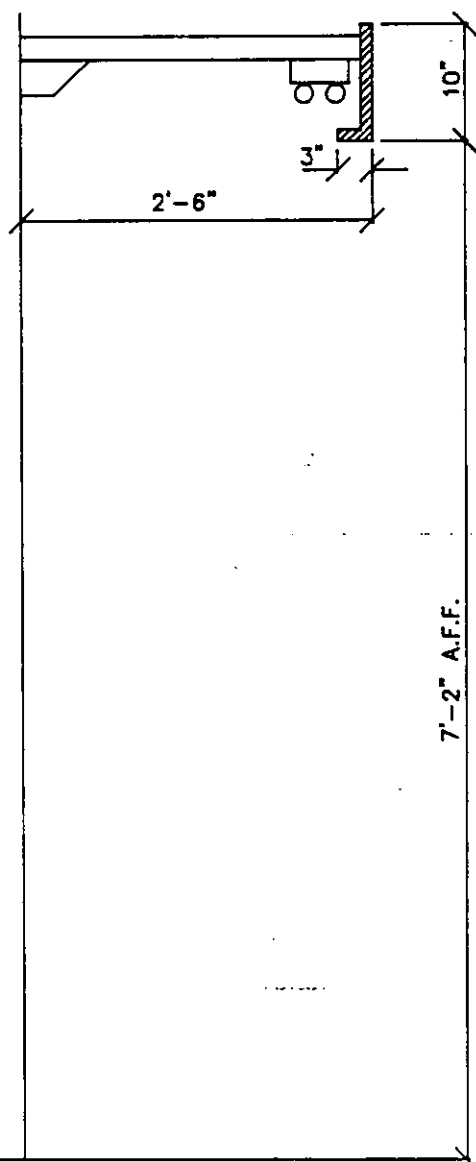
1/2" CONDUIT TO BE PAINTED BENJAMIN
MOORE OW-9 BY THE PAINTING CONTRACTOR.

CORNICE SUPPORT
BRACKETS

PAINTED J-BOX WITH FLEX
TO FIXTURE
TYPE AC CABLE
2/C #12 W/ GROUND

2 TUBE FLOURESCENT
STRIP LIGHTING
(N.I.C.)

FREE-STANDING ILLUMINATED FIXTURE



THE ELECTRICAL CONTRACTOR IS TO INSTALL ALL
FREESTANDING CORNICE FIXTURES (SUPPLIED BY MARSHALLS).
G.C. TO HARDWARE THRU A 1/2" CONDUIT TO A J-BOX
ON MARSHALLS FIXTURE UP THRU THE SALES AREA
CEILING AND CONNECT TO CIRCUITING AT COLUMN.

ELECTRICAL CONTRACTOR TO INSTALL MARSHALLS
SUPPLIED LIGHTING (HERE ONLY) AND SUPPLY ALL
POWER AS REQUIRED.

DETAIL NOTES
CORNICE BOARD, FREE STANDING FIXTURE AND
SUPPORT BRACKETS SUPPLIED AND INSTALLED BY
MARSHALLS.

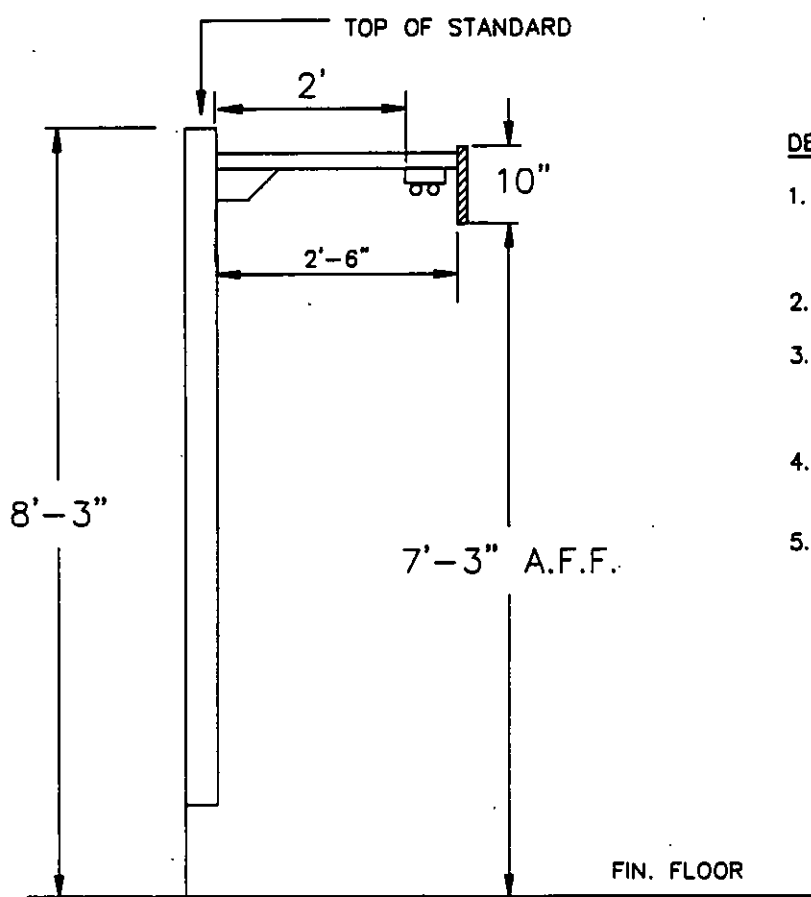
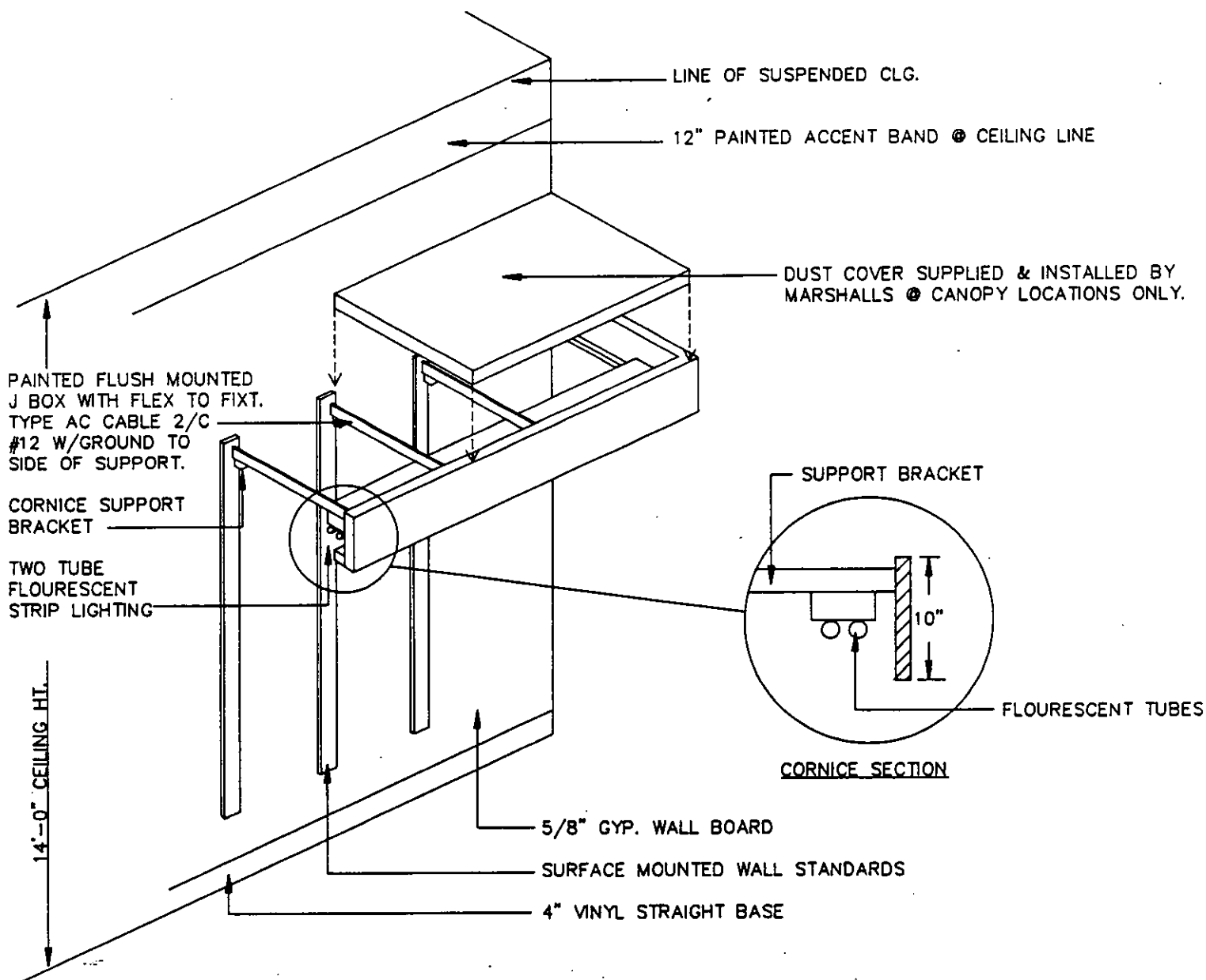
POWER REQUIREMENTS: 20 AMP, 120V.

marshalls

SCALE: NTS
DATE: 3/1/88

FREE STANDING FIXTURE
CORNICE DETAIL

MA
8



ELEVATION

DETAIL NOTES

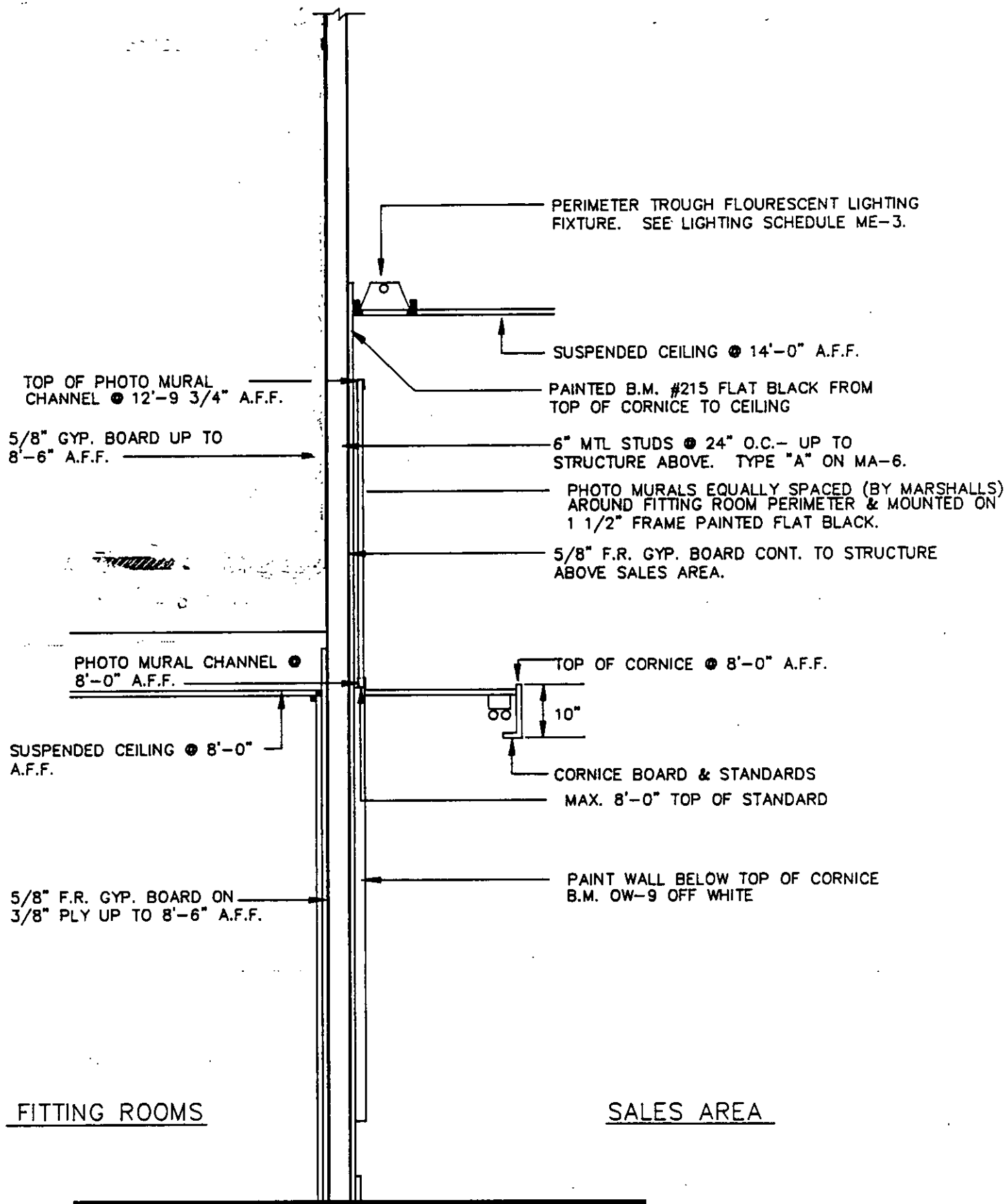
1. CORNICE BOARD, WALL STANDARDS AND SUPPORT BRACKETS SUPPLIED BY MARSHALLS AND INSTALLED BY G.C.
2. ALL OTHER MATERIALS SUPPLIED BY G.C.
3. FLEXIBLE CONDUIT, J BOX AND GYPSUM BOARD TO BE PAINTED BY G.C. TO MATCH BACKGROUND COLOR (OW-9).
4. SEE FINAL FIXTURE PLAN FOR LENGTH OF HANGING SECTIONS AND LOCATIONS.
5. 96" STANDARDS IN SHOE DEPARTMENT TO BE MOUNTED 8'-3" A.F.F. TO TOP OF STANDARD.

marshalls

SCALE: 1/2" = 1'-0"
DATE: 3/1/88

DETAIL AT CORNICE BOARD

MA
9

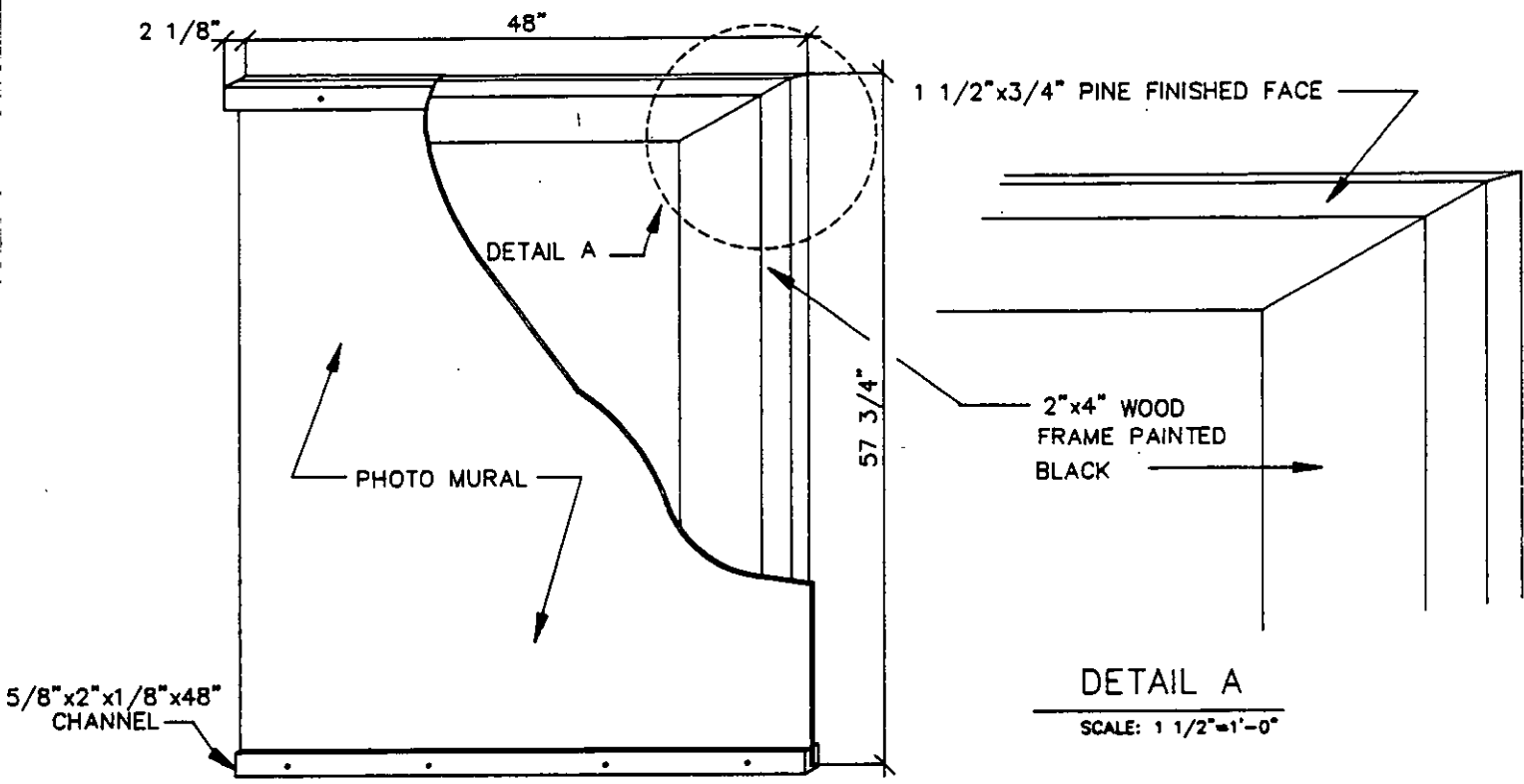


Marshall's

SCALE: 1/2" = 1'-0"
DATE: 12/5/88

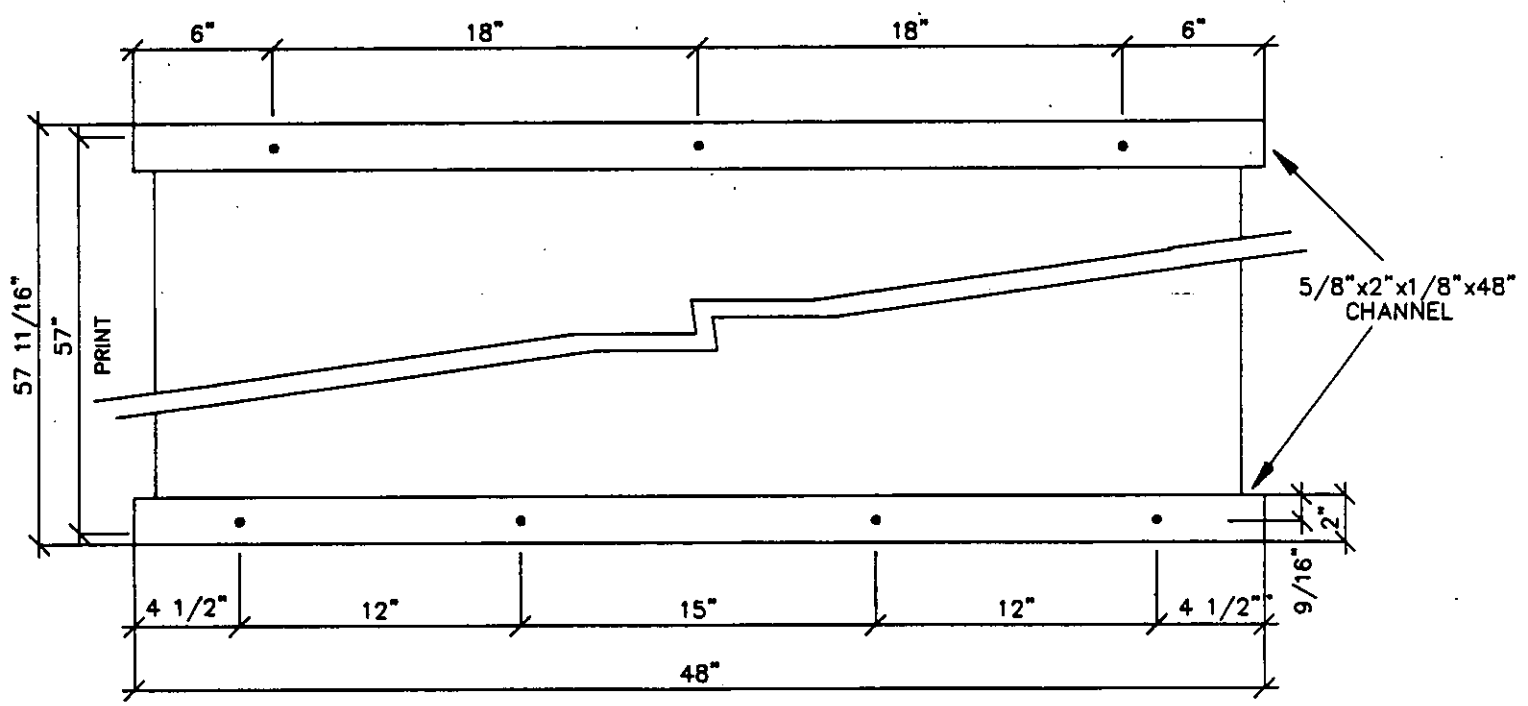
WALL SECTION @ FITTING
ROOMS-TYP.

MA
10A



FRAME DETAIL

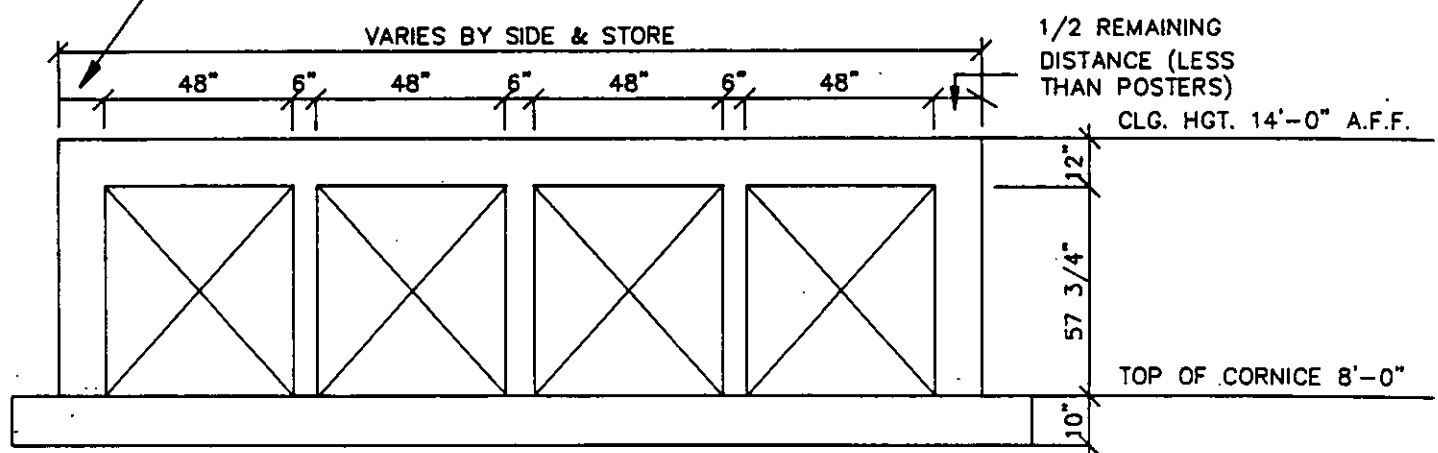
SCALE: 3/4"=1'-0"



SCREW HOLE INTERVALS

SCALE: 1 1/2"=1'-0"

1/2 REMAINING
DISTANCE (LESS
THAN POSTERS)



TYPICAL PHOTO MURAL PLACEMENT

SCALE: 1/4"=1'-0"

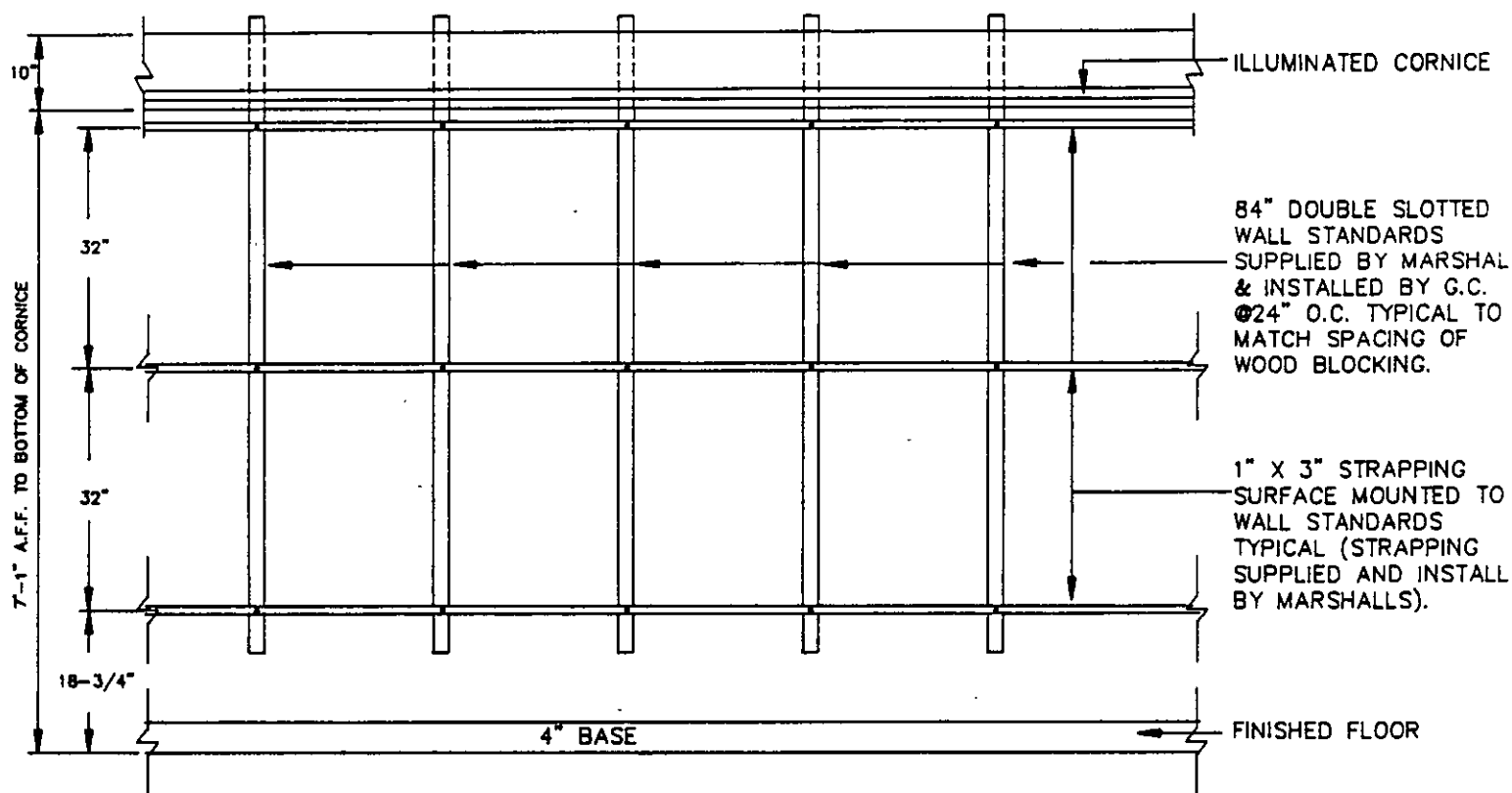
INSTALLED BY MARSHALLS FIXTURE INSTALLER.

Marshall's

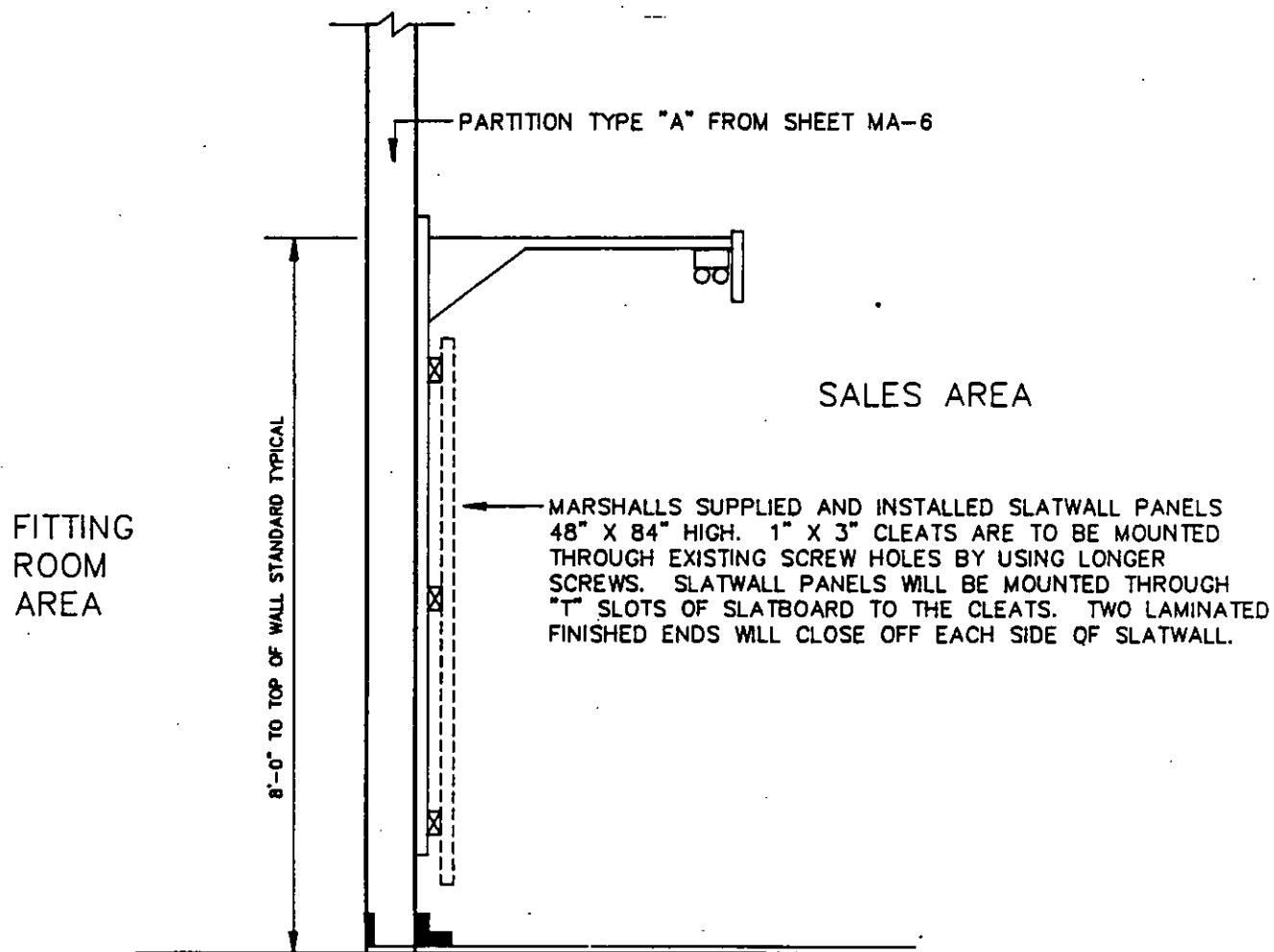
SCALE: AS NOTED
DATE: 12/5/88

TYPICAL PHOTO MURAL
DETAILS

MA
10B



ELEVATION AT FITTING ROOM SLATWALL
(SLATWALL PANELS NOT SHOWN)



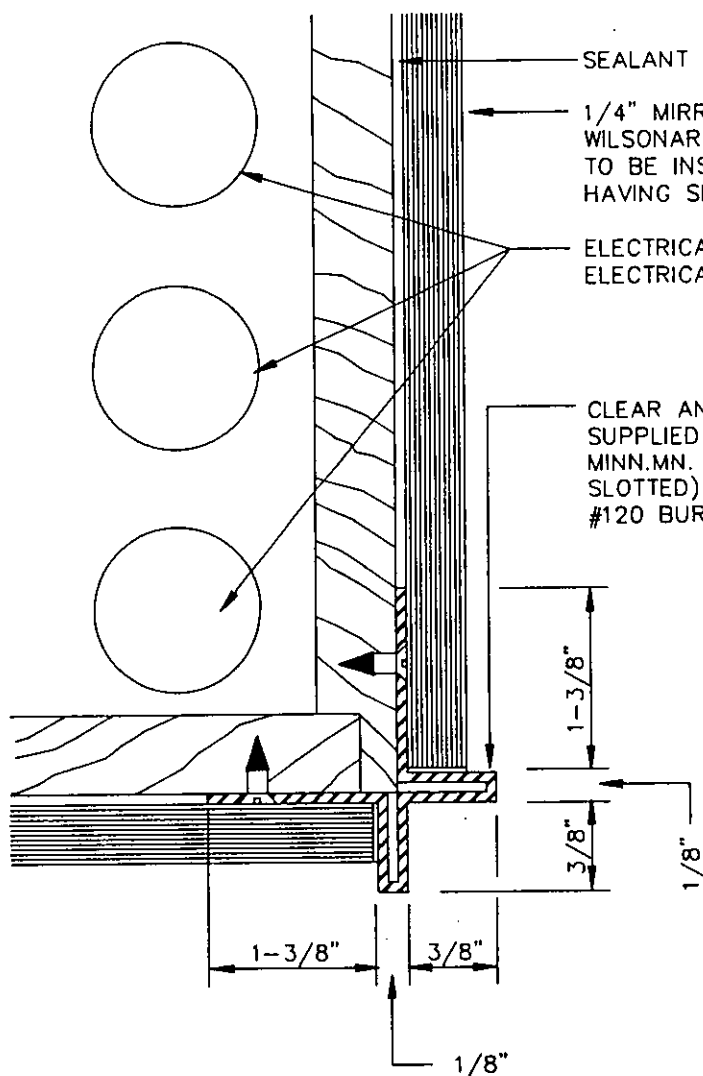
SECTION AT FITTING ROOM SLATWALL DISPLAY

marshalls

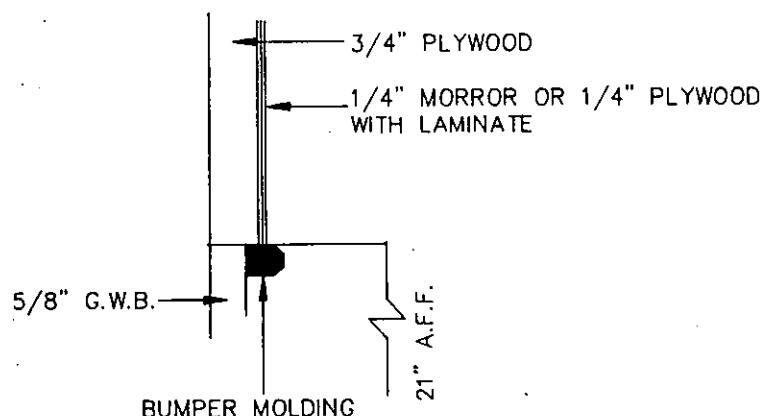
SCALE:
DATE: 12/5/88

SLATWALL DETAIL AT
FITTING ROOMS

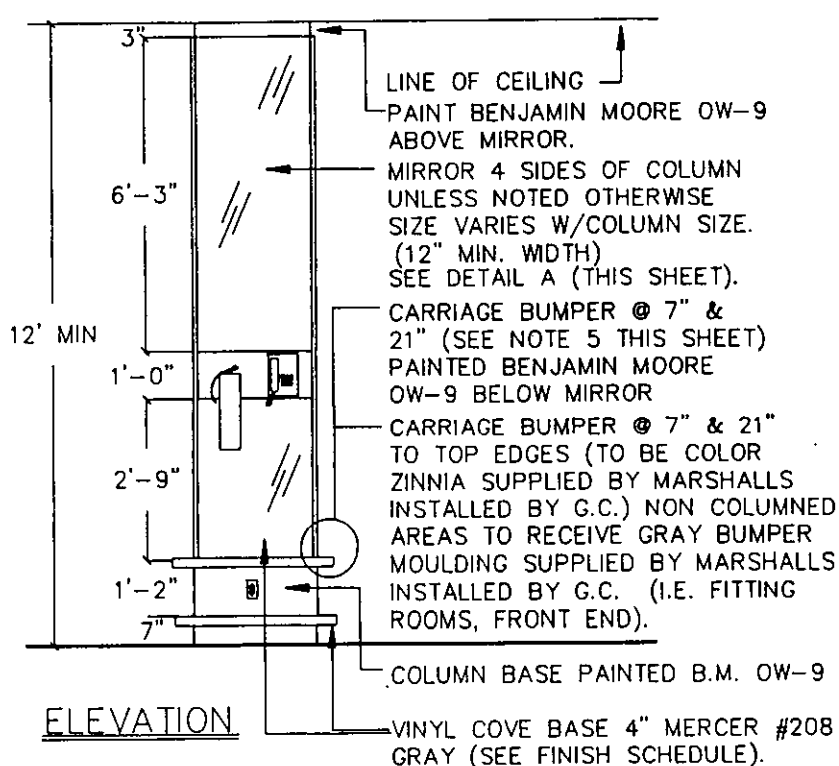
MA
10C



CORNER DETAIL



DETAIL "A"



NOTES:

1. 1/4"x12" PLYWD & LAMINATE PANELS TO BE INSTALLED ON THE BACK SIDE OF COLUMN HAVING A TELEPHONE, FIRE EXTINGUISHER, OR SENSORS MOUNTED @ 60" AFF. ALL SIDES REQUIRE MIRRORS. CONFIRM THIS W/ PROJECT MANAGER. LAMINATE TO MATCH BM #OW-9.
2. MIRRORS SHALL BE LIBBY-OWENS-FORD "MIRROpane" OR APPROVED EQUAL.
3. ALL COLUMNS SHALL BE MIRRORED
4. ELEC. OUTLETS ON EACH COLUMN IN CARPETED SALES AREA AT 14" A.F.F. TO CENTER, ON REAR OF COLUMN.
5. PROVIDE TWO ROWS OF HORIZONTAL BLOCKING 4" METAL STUDS, (1) @ 7" A.F.F. & (1) 21" A.F.F. AROUND COLUMN PERIMETER TO SECURE BUMPER MOUNTING.

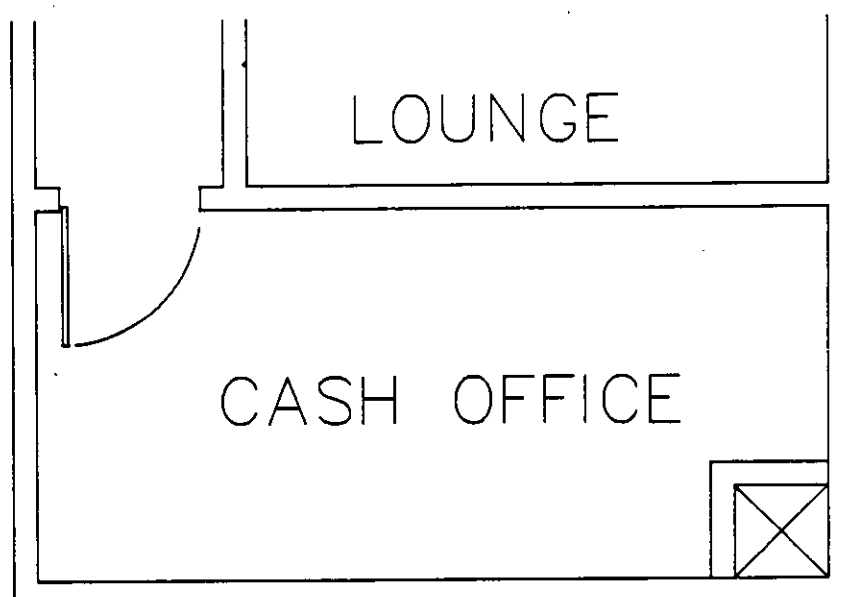
NOTE: BUMPER MOUNTING ON INTERIOR OF STOREFRONT TO BE MOUNTED AT 7" & 21" A.F.F.

marshalls

SCALE:
DATE: 3/1/88

MIRRORED COLUMN DETAIL

MA
11



- 1.. FLOOR IN CASH OFFICE TO BE CARPET, SUPPLIED BY MARSHALLS AND INSTALLED BY G.C.
2. FLOOR IN HALL TO BE ARMSTRONG #51899 COOL WHITE V.C.T.
3. 4" VINYL COVE BASE TO BE MERCER 208 GRAY.
4. WALLS TO BE 5/8" FIRE-RATED GYPSUM WALLBOARD, TAPED, SANDED, SPACKLED AND PAINTED BENJAMIN MOORE OW-9. ALL WALLS AROUND CASH OFFICE TO BE TAKEN UP TO UNDERSIDE OF STRUCTURAL DECK.
5. G.C. TO PROVIDE VERTICAL BLOCKING IN WALLS FOR SUPPORT OF OFFICE COUNTERS AND SHELVING. SHELVING AND COUNTERS ARE SUPPLIED AND INSTALLED BY MARSHALLS.
6. CEILING TO BE 2' X 4' - SUSPENDED CEILING WITH ARMSTRONG MINACORP. #41 WHITE. CEILING TO BE HUNG 8'-0" A.F.F.
7. ROOM TO BE SPRINKLERED TO CODE.
8. INSTALL JUNCTION BOX AND CONDUIT 1'-0" BELOW FINISHED CEILING FOR INSTALLATION OF P.A. SYSTEM. (P.A. SYSTEM BY OTHERS, J-BOX BY G.C.)
9. COOLING REQUIREMENTS OF 200 SQ. FT. PER TON WITH 1.3 CFM PER SQUARE FOOT. RETURN AIR GRILLE REQUIRED. (CASH OFFICE ONLY.) SENSOR IN CASH OFFICE FOR HVAC THIS AREA.
10. INSTALL (2) 2'X4' RECESSED FIXTURES (TYPE "A") WITH (4) F40/WW/MM TYPE LAMPS AND (2) MAXI-MISER II BALLASTS.
11. PROVIDE JUNCTION BOX AND CONDUIT BACK TO TEL. TERMINAL BOARD FOR TELEPHONE AS SHOWN (TELEPHONE BY OTHERS.)
12. G.C. TO PROVIDE 2" X 4" WOOD BLOCKING ON FLOOR TO PREVENT SAFE FROM HITTING WALL. SAFE IS SUPPLIED AND INSTALLED BY MARSHALLS. G.C. IS TO PROVIDE DUPLEX OUTLET FOR SAFE SECURITY SYSTEM. G.C. TO INSURE FLOOR IS CAPABLE OF SUPPORTING SAFE WHICH WEIGHS 3000 POUNDS.
13. CASH OFFICE DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH-CUT AT 3'-6" HIGH TO CREATE A DUTCH DOOR. CLEAR WHITE BIRCH SHELF (2"X8") TO BE ATTACHED TO THE UPPERMOST PORTION OF THE LOWER HALF. DOOR AND SHELF TO BE STAINED BENWOOD ARCH PENETRATING STAIN AMERICAN WALNUT #59 AND 2 COATS OF BENWOOD SATIN FINSH VARNISH. FRAME TO BE PAINTED BENJAMIN MOORE OW-9. PROVIDE 2 PR. BUTTS, A BOLT ON THE INSIDE OF THE UPPER HALF, CLEAR PLASTIC KICKPLATES, DOOR STOP, AND BEST LOCKSET 53K6D4A. INSTALL PEEKO DOOR VIEWER MODEL #595 AT 60" A.F.F.
14. HALL DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, CLOSER, BEST LOCKSET 53K6D4A, ELECTRIC STRIKE (TRINE #007), CLEAR PLASTIC KICKPLATES, DOOR STOP. DOOR FRAME TO BE PAINTED BM OW-9. DOOR TO BE STAINED.
15. OUTLET TO BE 20 AMP, SEPARATE CIRCUIT FOR CONCENTRATOR: 48" A.F.F., SEPARATE ISOLATED; HUBBEL I.G. 5362 OUTLET.
16. DOUBLE ISOLATED GROUND OUTLET-ORANGE I.G. 5362 MOUNTED AT 48" A.F.F. FOR IBM EQUIPMENT.
17. 48" WALL STANDARDS MOUNTED AT 1" BELOW FIN. CLG. A.F.F. AT 2'-0" O.C. OVER COUNTERS.
18. PROVIDE PUSH BUTTON TO ACTIVATE ELECTRIC STRIKE ON DOOR TO STAIRS. ALSO PROVIDE BELLS TO RING FROM THE SAME DOOR. SEE ME-11.
19. SENSOR FOR HVAC UNIT LOCATED AT 60" A.F.F.
20. G.C. TO SUPPLY AND INSTALL A 4' LONG X 42" HIGH SECTION OF PLYWOOD OVER OUTLETS WHERE SHOWN PAINTED TO MATCH WALL.
21. PROVIDE EMERGENCY LIGHTING.
22. TIME CLOCKS BY MARSHALLS. GENERAL CONTRACTOR TO PROVIDE (2) DUPLEX OUTLETS AS SHOWN AND (1) 4'X6' SHEET OF PLYWOOD (PAINTED TO MATCH WALL) FOR MOUNTING TIME CLOCKS. BOTTOM OF PLYWOOD TO BE 36" A.F.F.

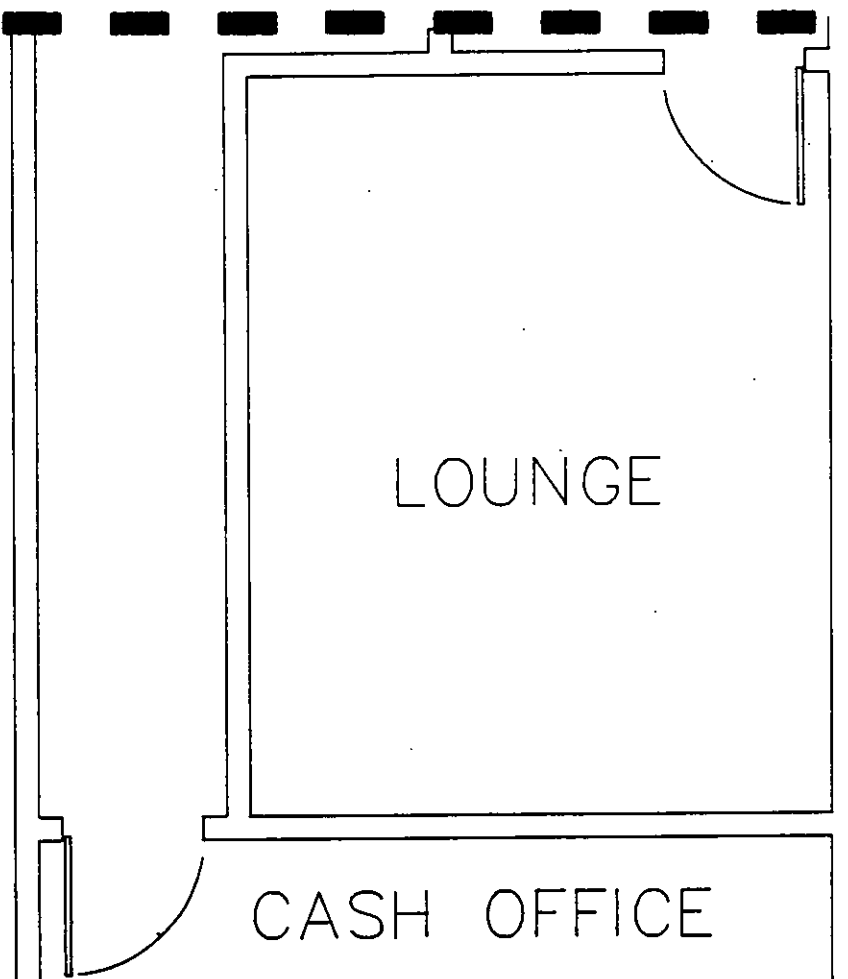
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SCALE: 1/4"=1'-0"

DATE: 3/1/88

CASH OFFICE AND HALLWAY

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12



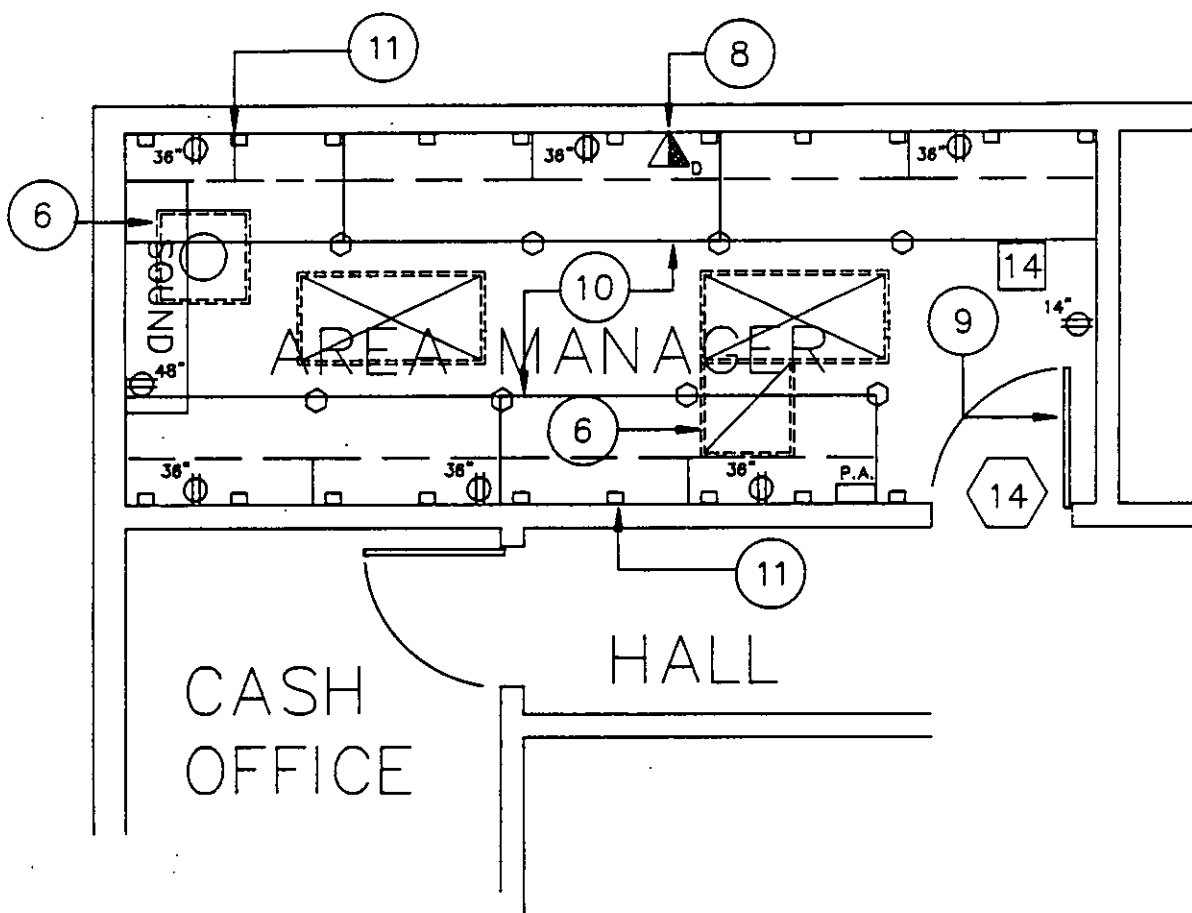
1. FLOOR TO BE ARMSTRON #51899 COOL WHITE V.C.T.
2. 4" VINYL COVE BASE TO BE MERCER 208 GRAY.
3. WAINSCOTT TO BE MARLITE BEADED OAK PLANK #361 GALLEY OAK TO 32" A.F.F. WITH PREFINISHED CAP MOULDING TO MATCH PANELLING.
4. VINYL WALLCOVERING ABOVE MARLITE TO BE GENON STARDUST TYPE 2 SANIBEL 2-46-EL.
5. CEILING TO BE 2'X4' SUSPENDED CEILING WITH ARMSTRONG MINABOARD FISSURED DESIGN-WHITE TILES. GRID TO BE CHICAGO METALLIC CORP. #41 WHITE. CEILING TO BE HUNG AT 10'-0" A.F.F.
6. ROOM TO BE SPRINKLERED TO CODE.
7. EXHAUST FAN W/DUCT TO EXTERIOR. TO BE INSTALLED BY HVAC CONTRACTOR AND WIRED BY ELEC. CONTRACTOR. CONNECT TO EXHAUST FAN CIRCUIT.
8. CLOCK OUTLET TO BE MOUNTED 1'-0" BELOW FINISHED CEILING.
9. INSTALL JUNCTION BOX AND CONDUIT 7'-0" A.F.F. FOR INSTALLATION OF P.A. SYSTEM. (P.A. SYSTEM BY OTHERS, J-BOX BY G.C.)
10. PROVIDE 1/2" COLD WATER LINE FOR VENDING MACHINES (MACHINES BY OTHERS) W/SHUT OFF VALVE.
11. COOLING REQUIREMENTS OF 300 SQ. FT. PER TON WITH 1.3 CFM PER SQ. FT. RETURN AIR GRILLE REQUIRED. VENTILATION REQUIREMENTS-200 CFM.
12. INSTALL (4) 2'X4' RECESSED FIXTURES (TYPE "A") WITH (4) F40/WW/MM LAMPS AND (2) MAXI-MISER II BALLASTS.
13. PROVIDE JUNCTION BOX AND CONDUIT FOR TELEPHONE AS SHOWN (TELEPHONES BY OTHERS). RUN CONDUIT TO TELEPHONE TERMINAL BOARD
14. VENDING OUTLETS (4) TO BE ON (4) SEPARATE CIRCUITS -20 AMP.
15. INSTALL EMERGENCY LIGHTING AS SHOWN (MARSHALLS REQUIRED MINIMUM) TO CONFORM TO LOCAL CODES.
16. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH WITH 9"X14" WINDOW AND LOUVER. HARDWARE TO INCLUDE 1-1/2" PAIR BUTTS, 1 CLOSER, 1 PUSH PLATE, 1 PULL HANDLE, CLEAR PLASTIC KIDK-PLATES, AND DOOR STOP. FRAME TO BE PAINTED BM OW-9. DOOR TO BE STAINED BENWOOD ARCH. PENETRATING STAIN, AMERICAN WALNUT #59 AND 2 COATS BENWOOD SATIN FINISH VARNISH.

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SCALE: 1/4"=1'-0"
DATE: 3/1/88

EMPLOYEE LOUNGE

MA
13



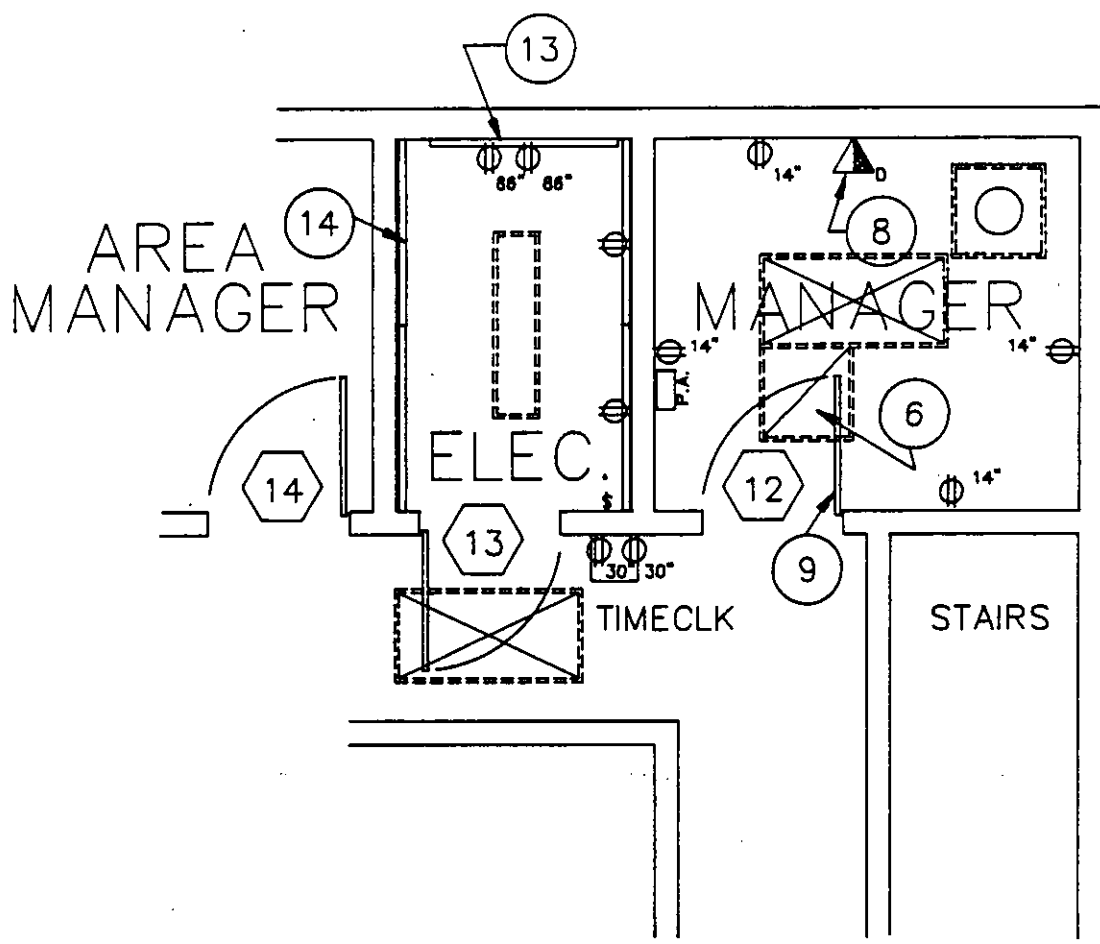
1. FLOOR TO BE CARPET, SUPPLIED BY MARSHALLS AND INSTALLED BY G.C.
2. 4" VINYL COVE BASE TO BE MERCER #208 GRAY.
3. WALLS TO BE 5/8" FIRE-RATED GYPSUM WALLBOARD, TAPED, SANDED, SPACKLED AND PAINTED BM OW-9, LIGHT BEIGE. (STUDS TO BE TAKEN UP TO UNDERSIDE OF STRUCTURAL DECK AT 48" O.C.). GYPSUM BOARD TO EXTEND 6" ABOVE FINISHED CEILING.
4. CEILING TO BE 2'X4' SUSPENDED CEILING WITH ARMSTRONG MINABOARD FISSURED DESIGN-WHITE TILES. GRID TO BE CHICAGO METALLIC CORP. #41 WHITE. CEILING TO BE HUNG AT 8'-0" A.F.F.
5. ROOM TO BE SPRINKLERED TO CODE.
6. COOLING REQUIREMENTS OF 300 SQ. FT. PER TON WITH 1.3 CFM PER SQUARE FOOT. RETURN AIR GRILLE REQUIRED.
7. INSTALL (2) 2'X4' RECESSED FIXTURES (TYPE "A") WITH (4) F40/WW/MM TYPE LAMPS AND (2) MAXI-MISER BALLASTS.
8. INSTALL JUNCTION BOX AND CONDUIT FOR TELEPHONE AS SHOWN (TELEPHONE BY OTHERS). CONDUIT TO BE RUN BACK TO TELEPHONE TERMINAL BOARD.
9. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH, HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, 1 CLOSER, CLEAR PLASTIC KICKPLATES, DOOR STOP, AND BEST LOCKSET 53K6D4A. FRAME TO BE PAINTED BM OW-9. DOOR TO BE STAINED BENWOOD ARCH. PENETRATING STAIN AMERICAN WALNUT #59 AND TWO COATS OF BENWOOD SATIN FINISH VARNISH.
10. GENERAL CONTRACTOR TO PROVIDE BLOCKING IN WALLS FOR SUPPORT OF OFFICE COUNTERS AND SHELVING. SHELVING AND COUNTERS ARE SUPPLIED BY MARSHALLS.
11. 48" WAKK STANDARDS MOUNTED AT 30" A.F.F. AT 2'-0" O.C. OVER COUNTERS. SUPPLIED BY MARSHALLS AND INSTALLED BY G.C. G.C. TO PROVIDE 2X4 BLOCKING 8' LONG IN METAL STUDS.
12. SOUND SHELF TO BE 1'-4" X 4'-0" X 3/4" PLYWOOD PAINTED TO MATCH ADJACENT WALL. SHELF TO BE MOUNTED 5'-0" A.F.F. WITH A 1" X 3" CLEAT AND (3) 1-1/2" X 12" WOOD BRACES. G.C. TO PROVIDE BLOCKING IN WALL FOR SUPPORT OF THIS ASSEMBLY. SHELF TO BE FURNISHED AND INSTALLED BY MARSHALLS.
13. PROVIDE EMERGENCY LIGHTING TO CONFORM WITH LOCAL CODES.

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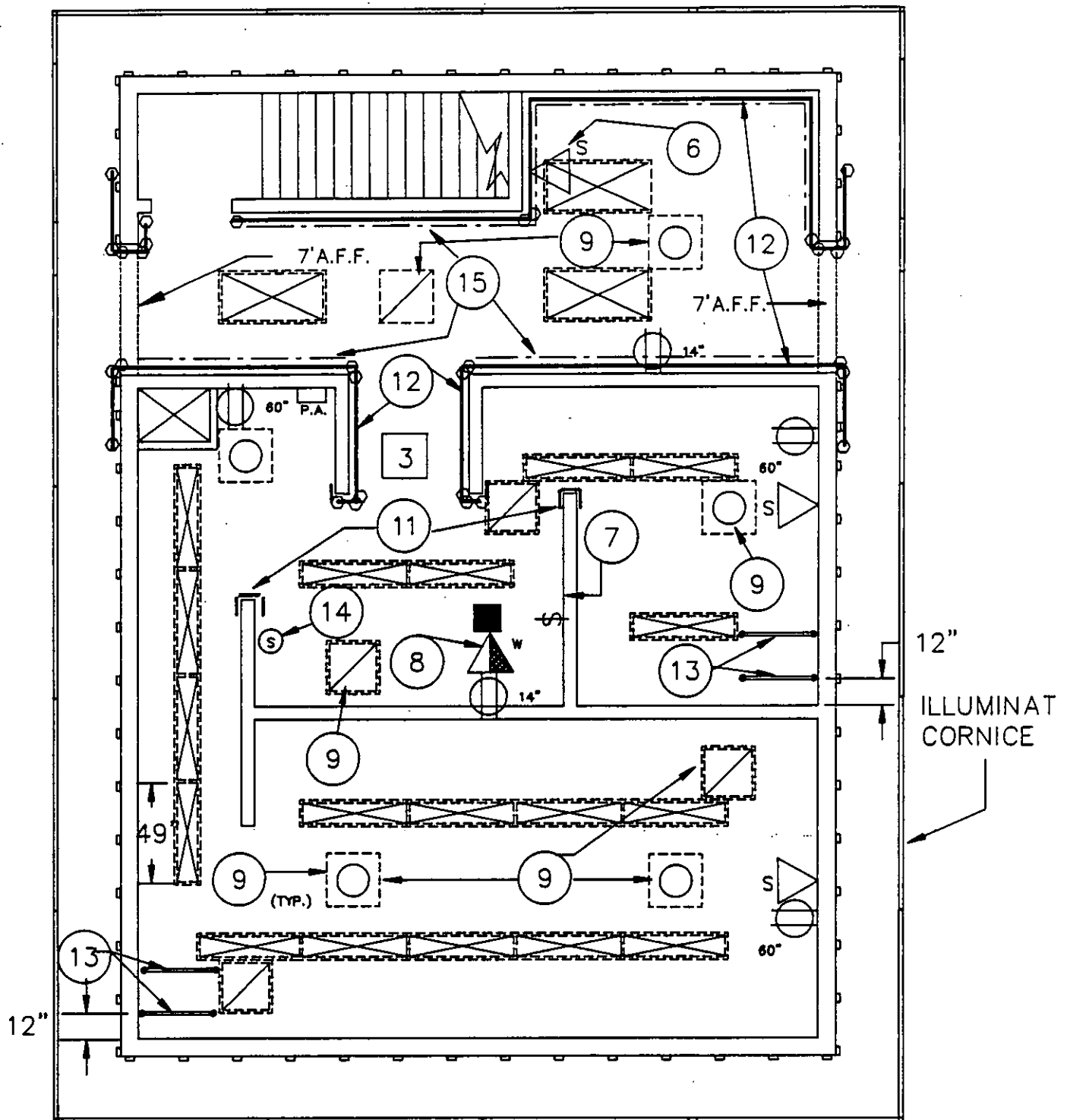
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DATE: 3/1/88

AREA MANAGER'S OFFICE

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14



1. OFFICE FLOOR TO BE CARPET, SUPPLIED BY MARSHALLS AND INSTALLED BY G.C. G.C. TO PROVIDE TRANSITION AT THRESHOLD.
2. 4" VINYL COVE BASE TO BE MERCER 208 GRAY.
3. WALLS TO BE 5/8" FIRE-RATED GYPSUM WALLBOARD, TAPED, SANDED, SPACKLED AND PAINTED BM OW-9, LIGHT BEIGE. STUDS TO BE TAKEN UP TO UNDERSIDE OF STRUCTURAL DECK AT 48" O.C. GYPSUM BOARD TO EXTEND 6" ABOVE FINISHED CEILING.
4. OFFICE CEILING TO BE 2' X 4' SUSPENDED CILING WITH ARMSTRONG MINA-BOARD FISSURED DESIGN- WHITE TILE. GRID TO BE CHICAGO METALIC CORP. #41 WHITE. CEILING TO BE HUNG AT 8'-0" A.F.F.
5. ROOM TO BE SPRINKLERED TO CODE.
6. COOLING REQUIREMENTS OF 300 SQ. FT. PER TON WITH 1.3 CFM PER SQUARE FOOT. RETURN AIR GRILLE REQUIRED.
7. INSTALL (1) 2' X 4' RECESSED FIXTURE (TYPE "A") WITH (4) F40/WW/MM TYPE LAMPS AND (2) MAXI-MISER BALLASTS.
- 8.. INSTALL JUNCTION BOX AND CONDUIT FOR TELEPHONE AS SHOWN (TELEPHONE BY OTHERS).
9. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, 1 CLOSER, CLEAR PLASTIC KICKPLATES, DOOR STOP, AND BEST LOCKSET 53K6D4A. FRAME TO BE PAINTED BM OW-9. DOOR TO BE STAINED BENWOOD ARCH. PENETRATING STAIN AMERICAN WALNUT #59 AND 2 COATS BENWOOD SATIN FINISH VARNISH.
10. PROVIDE EMERGENCY LIGHTING TO CONFORM WITH CODE.
11. EXPOSED CEILING IN ELECTRIC ROOM PAINTED BENJAMIN MOORE OW-9.
12. INSTALL ONE "B" TYPE STRIP FIXTURE @ 10'-0" A.F.F. IN THE ELECTRIC ROOM W/ (2) F40/WW/MM BULBS MOUNTED TO DECK.
13. INSTALL (2) 110V DUPLEX OUTLETS AT 7'-2" A.F.F. AS SHOWN.
14. PROVIDE 4' X 8' PLYWOOD BACKBOARDS FOR INSTALLATION OF ELECTRIC PANELS.
15. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, DOOR STOP, SIGN "ELECTRIC ROOM" AND BEST LOCKSET "53K6D4A". FRAME TO BE PAINTED BENJAMIN MOORE OW-9. DOOR TO BE STAINED BENWOOD ARCH. PENETRATING STAIN AMERICAN WALNUT #59 AND 2 COATS BENWOOD SATIN FINISH VARNISH.
16. TIME CLOCK BY MARSHALLS. GENERAL CONTRACTOR TO PROVIDE (2) DUPLEX OUTLETS AS SHOWN AND (1) 4' X 4' SHEET OF PAINTED PLYWOOD FOR MOUNTING TIME CLOCKS; BOTTOM OF PLYWOOD TO BE AT 36" A.F.F.



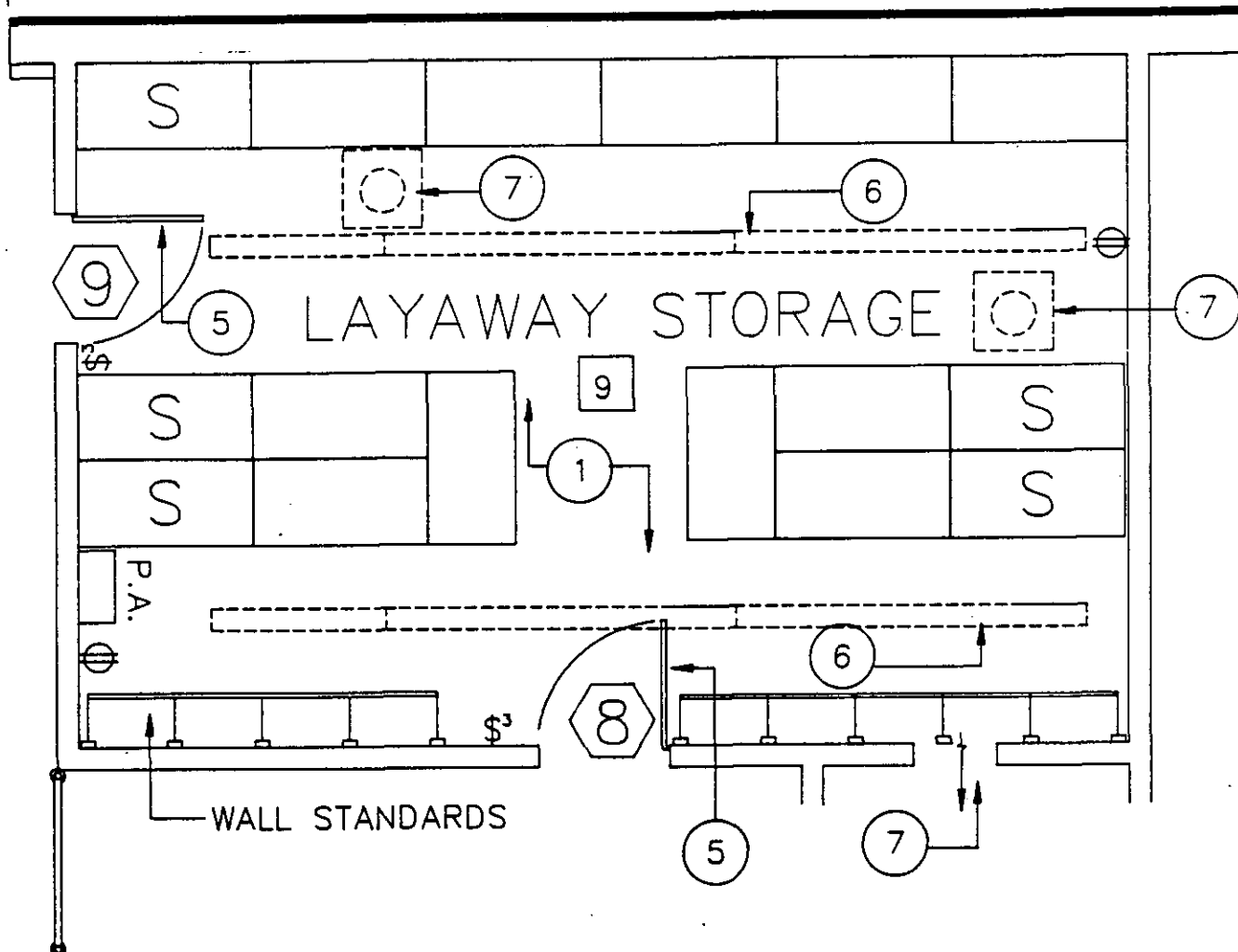
1. FLOOR TO BE ARMSTRONG 51899 COOL WHITE.
2. 4" VINYL COVE BASE TO BE MERCER 208 GRAY.
3. WALLS TO BE 5/8" FIRE-RATED GYPSUM WALLBOARD OVER 3/8" PLYSCORE TAPED, SANDED, SPACKLED, AND COVERED WITH GENON STARDUST II SANIBIL 2-46-EL VINYL WALLCOVERING (SUPPLIED & INSTALLED BY G.C.)
4. FITTING ROOM DIVIDERS AND CURTAINS SUPPLIED AND INSTALLED BY MARSHALLS.
5. CEILING TO BE 2' X 4' SUSPENDED CEILING WITH ARMSTRONG F.R. MIABOARD FISSURE DESIGN-WHITE TILE WITH CHICAGO METALLIC CORP. GRID #41 WHITE. CEILING TO BE HUNG AT 8'-0" A.F.F.
6. ROOM TO BE SPRINKLERED TO CODE WITH SUFFICIENT EMERGENCY LIGHTING.
7. INSTALL JUNCTION BOX AT 7'-0" AND CONDUIT RUN ABOVE FINISHED CEILING FOR INSTALLATION OF P.A. SYSTEM. (P.A. SYSTEM BY OTHERS, J-BOX BY G.C.)
8. PROVIDE JUNCTION BOX AND CONDUIT FOR TELEPHONE AS SHOWN (TELEPHONES BY OTHERS).
9. COOLING REQUIREMENTS OF 300 SQ. FT. PER TON WITH 1.3 CFM PER SQ. FT. RETURN AIR GRILLE REQUIRED.
10. INSTALL 1'X4' SURFACE MOUNTED FIXTURES (TYPE "E"0 WITH (2) F40/WW/MM TYPE LAMPS AND (1) MAXI-MISER II BALLAST AT 3'-0" TO CENTERLINE FROM THE WALLS (TYPICAL).
11. G.C. TO PROVIDE AND INSTALL CLEAR PLASTIC CORNER PROTECTORS 2-1/2" X 2-1/2" X 4'-0" TG 4212 AS MANUFACTURED BY TRIGUARDS - (312) 537-8444 AT ALL OUTSIDE CORNERS (HERE AND IN SALES AREA).
12. 3" BUMPER MOULDING TO BE AT 7" & 21" A.F.F. SUPPLIED BY MARSHALLS AND INSTALLED BY GENERAL CONTRACTOR.
13. PROVIDE HANDICAPPED RAILS 30" APART AT 2'-6" A.F.F. TO ALLOW A WHEELCHAIR TO BACK AGAINST WALL IN HANDICAPPED FITTING ROOMS ONLY (WHERE CODE REQUIRES).
14. SENSOR FOR HVAC UNIT LOCATED AT 60" A.F.F.
15. LIMITS OF WALL PAPER SUPPLIED BY MARSHALLS AND INSTALLED BY G.C. PAPER TO BE MOUNTED BETWEEN 21" BUMPER AND 8'-0" FIN. CLG. TO BE VERIFIED WITH MARSHALLS' PROJECT MANAGER PRIOR TO INSTALLATION.

Marshall's

SCALE: 3/16"=1'-0"
DATE: 2/15/89

TYPICAL FITTING ROOM
LAYOUT

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16A



1. FLOORS TO BE SMOOTH CONCRETE, HARDENED AND SEALED.
2. INTERIOR WALLS TO BE 5/8" F.R. GYPSUM WALLBOARD. TAPED SANDED, SPACKLED AND PAINTED BM OW-9. EXTERIOR WALLS TO BE PAINTED CONC. G.C. TO PROVIDE 2" X 4" VERT. BLOCKING FOR INSTALLATION OF WALL STANDARDS. BLOCKING TO BE 17'-0" LONG IN METAL STUDS TO WHICH WALL STANDARDS ARE APPLIED.
3. PAINT STRUCTURAL DECK BM OW-9, LIGHT BEIGE.
4. ROOM TO BE SPRINKLERED TO CODE.
5. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2" PR. BUTTS, CLOSER, DOOR STOP, CLEAR PLASTIC KICKPLATES, AND BEST LOCKSET 53K6D4A. DOOR AND FRAME TO BE PAINTED BENJAMIN MOORE #OW-9.
6. G.C. TO PROVIDE EXPOSED STRIP FIXTURES (TYPE "B") AS SHOWN SURFACE MOUNTED TO STRUCTURE AND ALL LAMPS TO BE 4'-0" LONG G.E. F40/WW/MM BULBS WITH BULB GUARD. ALL BALLASTS TO BE MAXI-MISER 1 ENERGY SAVING BALLASTS.
7. COOLING REQUIREMENTS OF 635 SQ. FT. PER TON WITH .70 CFM PER SQ. FT. SUPPLY DUCTING REQUIRED WITH RETURN AIR THROUGH ADJACENT CEILING SPACE.
8. 4" VINYL COVE BASE BY MERCER #208 GRAY.
9. PROVIDE EMERGENCY LIGHTING.

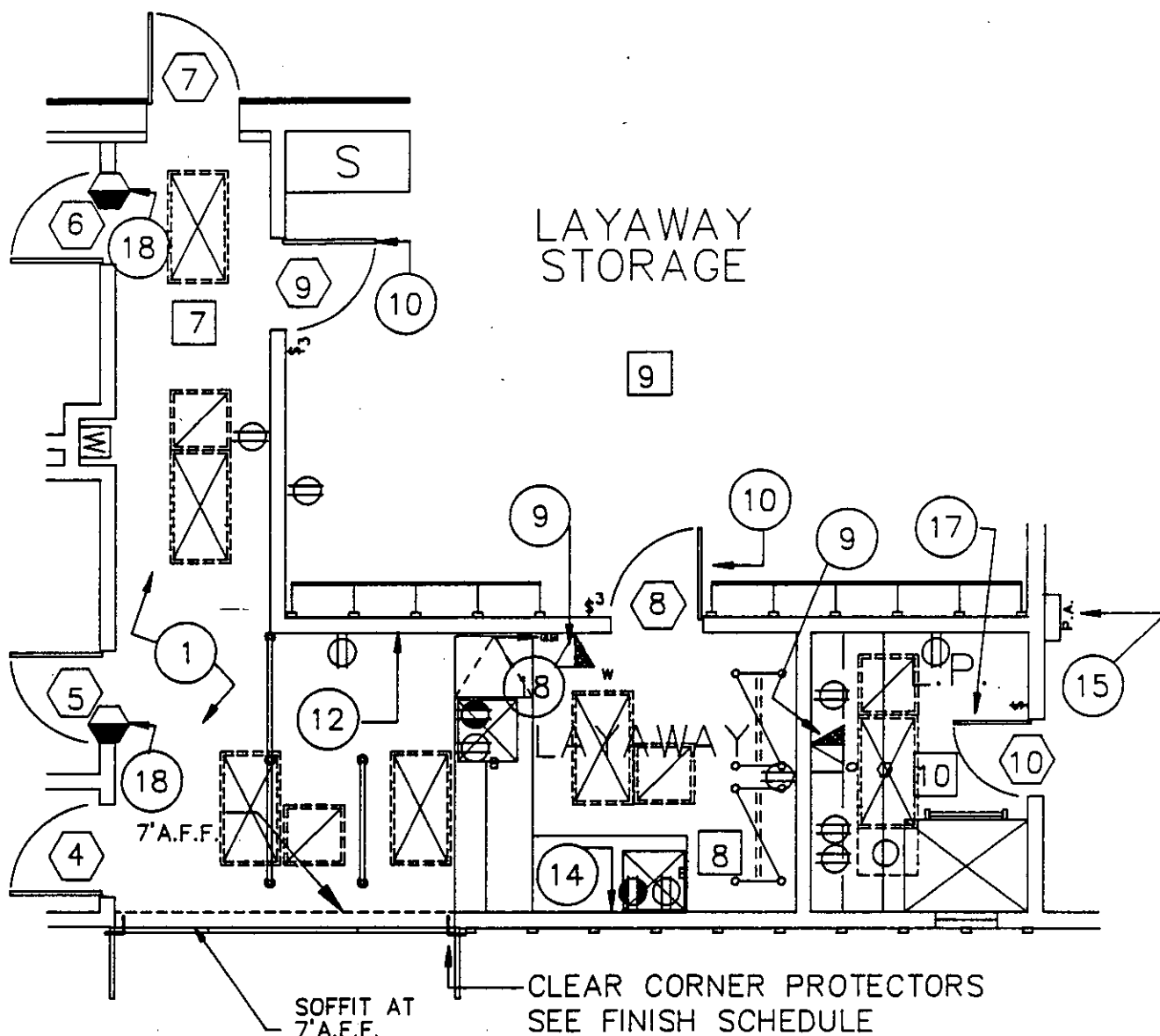
marshalls

SCALE: 1/4" = 1'-0"

DATE: 3/1/88

LAYAWAY STORAGE

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17



1. HALL AND LAYAWAY FLOOR TO BE ARMSTRONG #51899 COOL WHITE. L.P. OFFICE TO BE CARPET; SUPPLIED BY MARSHALLS, INSTALLE BY GENERAL CONTRACTOR.
2. 4" VINYL COVE BASE BY MERCER #208 GRAY.
3. WALLS TO BE 5/8" FIRE-RATED GYPSUM WALLBOARD, TAPED, SANDED, SPACKLED AND PAINTED BM OW-9.
4. G.C. TO PROVIDE BLOCKING IN WALLS FOR SUPPORT OF OFFICE COUNTERS AND SHELVING. SHELVING AND COUNTERS ARE SUPPLIED AND INSTALLED BY MARSHALLS.
5. CEILING TO BE 2' X 4' SUSPENDED CEILING WITH ARMSTRONG MINABOARD FISSURED DESIGN-WHITE TILES. GRID TO BE CHICAGO METALLIC CORP. #41 WHITE. CEILING TO BE HUNG AT 8'-0" A.F.F.; 13'-0" A.F.F. IN L.P. OFFICE.
6. ROOM TO BE SPRINKLERED TO CODE.
7. COOLING REQUIREMENTS OF 400 SQ. FT. PER TON WITH 1 CFM PER SQUARE FOOT. RETURN AIR GRILLE REQUIRED.
8. INSTALL 2' X 4' RECESSED FIXTURES (TYPE "A") WITH (4) F40/WW/MM TYPE LAMPS AND (2) MAXI-MISER II ENERGY SAVING BALLASTS AS SHOWN ON MARSHALLS' PROTOTYPICAL DRAWINGS.
9. PROVIDE JUNCTION BOX AND CONDUIT FOR TELEPHONE AS SHOWN (TELEPHONE BY OTHERS). CONDUIT TO RUN BACK TO TEL. TERMINAL BOARD.
10. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2 PAIR BUTTS, 1 CLOSER, CLEAR PLASTIC KICKPLATES, DOOR STOP, AND BEST LOCKSET 53K6D4A. DOOR AND FRAME TO BE PAINTED BM OW-9.
11. PROVIDE (1) I.G. 5362 ISOLATED GROUND OUTLET & (1) GENERAL PURPOSE DUPLEX OUTLET AT EACH REGISTER LOCATION MOUNTED UNDER COUNTER. SEE DETAIL ON SHEET ME-6.
12. 3" BUMPER MOULDING TO BE AT 7" & 21" A.F.F. TO CENTER SUPPLIED BY MARSHALLS AND INSTALLED BY GENERAL CONTRACTOR.
13. LIFT UP GATE FURNISHED BY MARSHALLS AS PART OF COUNTERTOP UNIT.
14. 1" EMPTY CONDUIT TO NCR AREA IN CASH OFFICE FROM UNDER COUNTER.
15. INSTALL J-BOX AND CONDUIT 1'-0" BELOW FINISHED CEILING FOR P.A. (P.A. BY OTHERS).
16. 48" WALL STANDARDS FURNISHED BY MARSHALLS, INSTALLED BY G.C. MOUNTED OVER COUNTER IN L.P. OFFICE. G.C. TO PROVIDE SUFFICIENT BLOCKING IN WALLS.
17. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, 1 CLOSER, CLEAR PLASTIC KICKPLATES, DOOR STOP, DOOR VIEWER, AND BEST LOCKSET 53K6D4A. DOOR TO BE STAINED.
18. PROVIDE SEPARATE PUSH BUTTONS TO ACTIVATE THE ELECTRIC STRIKE ON EACH LAVATORY DOOR INDEPENDENTLY. USE WIRING DIAGRAM ON PAGE ME-11 LESS BUZZER.

Marshall's

SCALE: 3/16"=1'-0"
DATE: 3/1/88

LAYAWAY SERVICE DESK,
HALL AND L.P.

MA
18

N.I.C.
BY LANDOLFO

NOTE: "HANDICAPPED" FIXTURES SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES WITH PARTICULAR REGARD FOR HEIGHTS OF EQUIPMENT AND CLEARANCES.

MEN

H.G.

JAN

H.C.

HORIZONTAL HANDICAP GRAB BARS FURNISHED AND INSTALLED BY G.C.
HEAVY DUTY 18" GAUGE 304 STAINLESS STEEL 1-1/4" X 42"

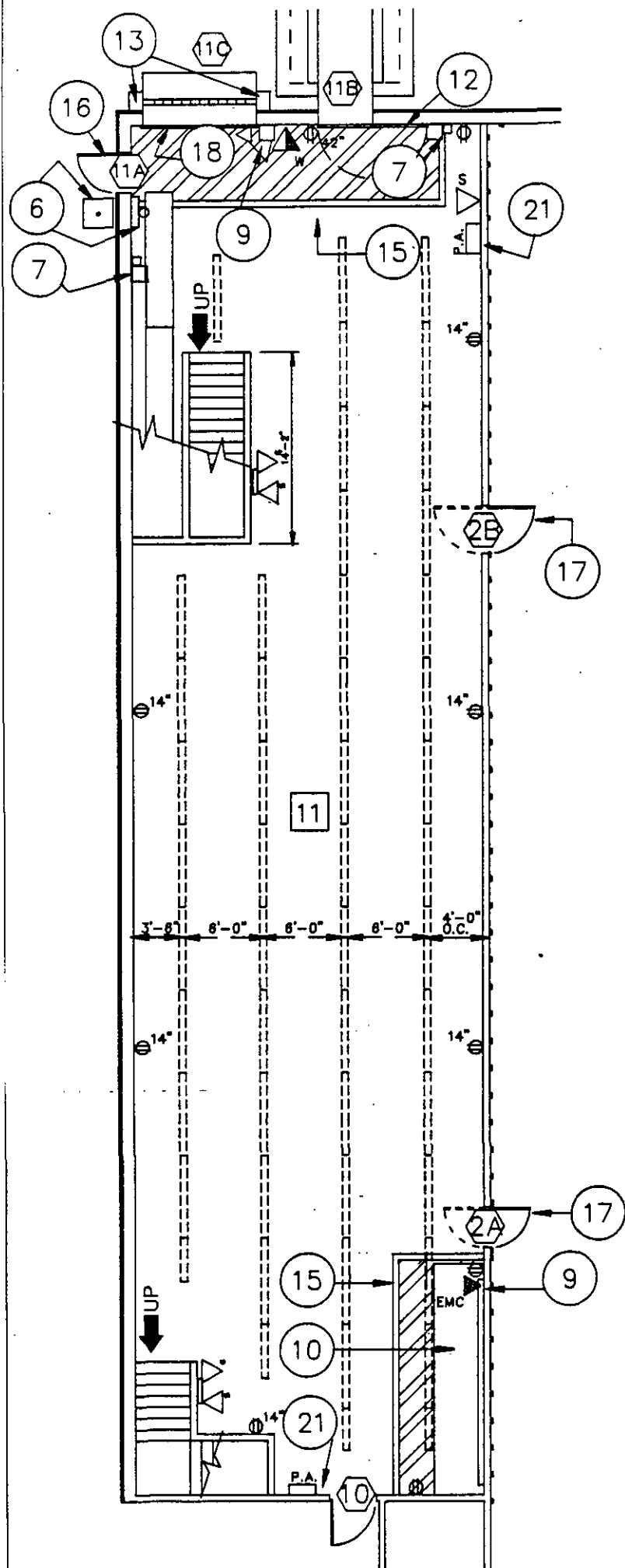
1. FLOOR IN RESTROOMS AND JANITOR'S CLOSET TO BE U.S. CERAMIC TILE COMPANY Q-012-45 #8020 SAND BEIGE MOSAIC TILE 1"x1"x1/4" WITH MATCHING COVE BASE.
2. RESTROOM WALLS TO BE 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD, CERAMIC TILE TO 44" A.F.F. BY U.S. CERAMIC TILE CO. U-788 FAWN BEIGE 4-1/4" X 4-1/4"; IVER 44" A.F.F. G.W.B. TAPED, SANDED, SPACKLED, AND PAINTED BM OW-9, BEIGE. STUDS IN RESTROOMS AND JANITOR'S CLOSET TO BE TACKED TO UNDERSIDE OF DECK AT 24" O.C. M.R. GYPSUM WALLBOARD TO EXTEND 6" ABOVE 8' FINISHED CEILING. GYPSUM IN JANITOR'S CLOSET TO DECK.
3. CEILING TO BE 2'X4' SUSPENDED CEILING WITH ARMSTRONG MIABOARD FISSURED DESIGN WHITE TILES WITH CHICAGO METALLIC GRID #41 WHITE. CEILING TO BE HUNG AT 8'-0 A.F.F.
4. ROOM TO BE SPRINKLERED TO CODE.
5. COOLING REQUIREMENTS OF 400 SQ. FT. PER TON WITH 1.0 CFM PER FOOT. RETURN AIR GRILLE REQUIRED. VENTILATION REQUIREMENTS - 150 CFM.
6. INSTALL (2) 2'X4' RECESSED FIXTURES WITH (4) F40/WW/MM TYPE LAMPS AND (2) MAXI-MISER BALLASTS II ENERGY SAVING BALLASTS EACH.
7. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH WITH LOUVER. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, CLOSER, "BEST" LOCKSET 53K6D41, CLEAR PLASTIC KICKPLATES, SIGNS "MEN'S ROOM", "WOMEN'S ROOM", DOOR STOP. DOOR AND FRAME TO BE PAINTED BM OW-9.
8. DOOR TO BE 3'-0 X 7'-0" X 1-3/4" SOLID CORE CLEAR WHITE BIRCH WITH LOUVER. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS, "BEST" LOCKSET 53K6D41, SIGN "JANITOR'S CLOSET", DOOR STOP. DOOR AND FRAME TO BE PAINTED BM OW-9.
9. WATER CLOSET: AMERICAN STANDARD WATER-SAVER MADERA 2221.018 ELONGATED VITREOUS CHINA-SIPHON JET; SLOAN 110-3 FLUSH VALVE WITH INTEGRAL STOP AND VACUUM BREAKER; CHURCH NO. 9900-C OPEN FRONT SEAT, WHITE SOLID PLASTIC.
10. URINAL: WALL MOUNTED, AMERICAN STANDARD WASHBROOK 6501.100 ROYAL 186 FLUSH VALVE WITH INTEGRAL STOP AND VACUUM BREAKER.
11. LAVATORY WALL HUNG: VITREOUS CHINA, 20" X 18" SIZE WITH POP-UP WASTE. FAUCETS SHALL HAVE FLOW LIMIT DEVICES TO LIMIT THE FLOW RATE TO 0.5 G.P.M. AND SELF CLOSING VALVES TO LIMIT THE DELIVERY TO 0.25 GALLONS OF WATER. AMERICAN STANDARD 0194.076 WITH SELF-CLOSING CHICAGO FAUCETS 406-E-12. MOUNT LAVATORY RIM 34" FROM FINISHED FLOOR. ROUGH SUPPLIES AS HIGH AS POSSIBLE; INSULATE HOT WATER LINE.
12. ELECTRIC WATER COOLER-WALL MOUNTER: HALSY-TAYLOR NO. WM-8A, OR EQUAL. (HANDICAPPED WHERE REQUIRED BY CODE.)
13. EXHAUST FAN TO BE 1/125 HP WITH DUCT TO EXTERIOR. TO BE INSTALLED BY HVAC CONTRACTOR AND WIRED BY ELEC. CONTRACTOR.
14. TOILET PARTITIONS BY AMERICAN SANITARY PARTITION CORP. TYPE FF COMPARTMENTS AND TYPE NO. 3 URINAL SCREENS. COLOR #34 SAN-TAN.
15. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED BLOCKING FOR MOUNTING TOILET FIXTURES AND ACCESSORIES
16. GENERAL CONTRACTOR TO PROVIDE MIRRORS ABOVE ALL LAVATORIES.
17. WOMEN'S RESTROOM TO HAVE VANITY SUPPLIED AND INSTALLED BY G.C. WITH TWO LAVATORIES AS SHOWN. LAVATORY (COUNTER SET) AMERICAN STANDARD 0476.028 WITH SELF-CLOSING CHICAGO FAUCET 4D4-E-12 VANITY LAMINATED WILSONART #1572-6.
18. GENERAL CONTRACTOR TO PROVIDE (1) EXPOSED STRIP FIXTURE (TYPE B) AS SHOWN AT 10'-0" A.F.F. ALL LAMPS TO BE 4'-0" LONG G.C. F40/WW/MM TYPE. ALL BALLASTS TO BE MAXI-MISER II TYPE SLH.
19. 10 GALLON ELECTRIC WATER HEATER. SEE SHEET MM5 FOR JANITOR CLOSET DETAILS.
20. MOP SERVICE BASIN, FIAT SB-3636 (36"X36"X6") WITH (2) BUMPER GUARDS, 18 GAUGE MOP HANGER #889-CC AND ELJER FAUCET 830-AA.
21. FLOOR DRAINS ARE TO BE INSTALLED IN ALL RESTROOMS AND THE JANITOR'S CLOSET WITH FLUSH DRAIN COVERS.
22. HANDICAPPED WATER CLOSET: AMERICAN STANDARD 9468.018 ELONGATED VITREOUS CHINA-SIPHON JET, SLOAN ROYAL 110-3 FLUSH VALVE, CHURCH NO. 9900-C OPEN FRONT SEAT, WHITE SOLID PLASTIC.
23. LAVATORY (HANDICAPPED): AMERICAN STANDARD VITREOUS CHINA "WHEELCHAIR LAVATORY" #9141.011 WITH 4" FAUCET CENTERS, FAUCET #7516.172. GRID ASSEMBLY #7723.018, JOSEM CONCEALED ARM SUPPORT AND CARRIER TO SUIT.
24. G.C. TO SUPPLY & INSTALL ELEC. HANDRYERS MANUFACTURED BY WORLD HANDRYER CORP. MODEL A3 IN #169 BEIGE. TEL. (312) 449-6950. MOUNT AT 40" A.F.F. TO BOTTOM. SUPPLY NECESSARY ELEC. REQUIREMENTS.
25. ELECTRIC STRIKE AT EACH LAVATORY DOOR TO BE OPERATED BY INDEPENDENT PUSH BUTTONS AT THE LAYAWAY C USE WIRING DIAGRAM ON PAGE ME-11 LESS THE BUZZER.

Marshall's

SCALE: 1/4"=1'-0"
DATE: 3/1/88

EMPLOYEE TOILETS/
JANITOR'S CLOSET

MA
19



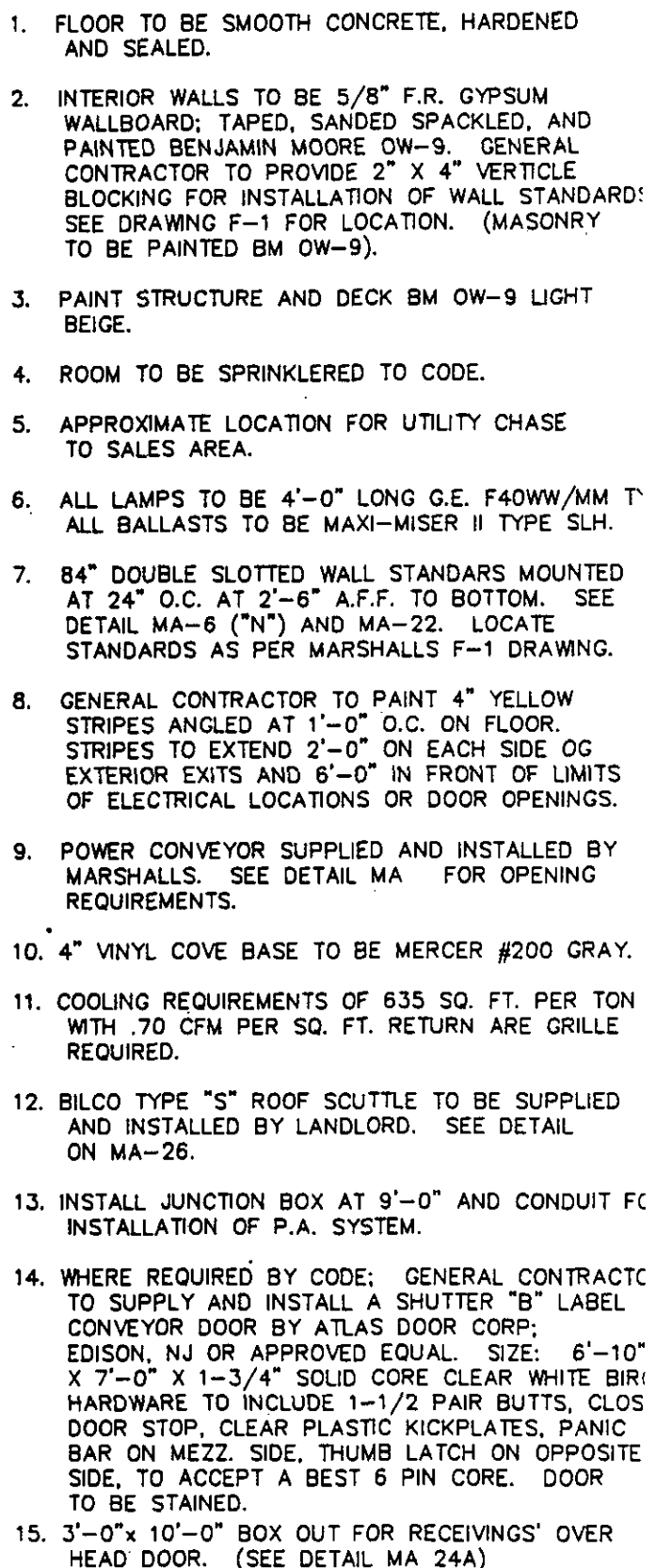
1. STOCKROOM FLOOR TO BE SMOOTH CONCRETE AND HARDENED AND SEALED.
2. PROVIDE TRANSITION FROM TILE TO CONCRETE FLOOR AND CARPET TO CONCRETE FLOOR.
3. INTERIOR WALLS TO BE 5/8" F.R. GYPSUM WALLBOARD. TAPED, SANDED, SPACKLED AND PAINTED BM OW-9. GENERAL CONTRACTOR TO PROVIDE 2"x4" VERT. BLOCKING FOR INSTALLATION OF WALL STANDARDS. SEE DWG. F-1 FOR LOCATION. (MASONRY TO BE PAINTED BM OW-9).
4. PAINT STRUCTURE & DECK BM OW-9, LIGHT BEIGE.
5. ROOM TO BE SPRINKLERED TO CODE.
6. GENERAL CONTRACTOR TO PROVIDE DOOR BELL AND BUZZER AS SHOWN.
7. COMPACTOR AND CONVEYOR FEED, DISCONNECT, STARTER AND WIRING BY GENERAL CONTRACTOR. CONTROLS BY OTHERS.
8. PHOENIX DOCKLITE #DL-300 D3 WALL MOUNTED 26'-6" A.F.F. BY GENERAL CONTRACTOR: FROM PHOENIX PRODUCTS CO., MILWAUKEE, WI. (414)445-4100.
9. EMS (EMERGENCY MANAGEMENT SYSTEM) CONTROL PANEL TO BE LOCATED NEAR MAIN ELECTRIC PANELS. SYSTEM TO BE HONEYWELL #W7020H100E WITH Y7002A1019 COMMUNICATION PACKAGE. SEE MM-6 AND MM-7 FOR SPECS.
10. APPROXIMATE LOCATION FOR ELECT. PANELS, TELEPHONE EQUIPMENT AND OTHER UTILITY APPARATUS.
11. ALL LAMPS TO BE 4'-0" LONG G.E. F40/WW/MM TYPE. ALL BALLASTS TO BE MAXI-MISER II TYPE SLH.
12. 4'-0" X 4'-0" X 1/4" STEEL COMPACTOR DOOR INSTALLED BY G.C. MINIMUM 4'-0" A.F.F. WITH ALARM. HARDWARE TO INCLUDE HEAVY DUTY HASP WELDED TO FRAME AND THRU-BOLT TO KEEP DOOR CLOSED DURING OPERATION.
13. TP 801 DOCK SEAL FY FROMMELT 18" DEEP X 12" WIDE.
14. 84" DOUBLE SLOTTED WALL STANDARDS MOUNTED AT 24" O.C. AT 2'-6" A.F.F. TO BOTTOM. SEE DETAIL ON MA-6 ("N") AND MA-22, LOCATE STANDARDS AS PER MARSHALLS F-1 DRAWING.
15. GENERAL CONTRACTOR TO PAINT 4" YELLOW ANGLED STRIPES AT 1'-0" ON FLOOR. STRIPES TO EXTEND 2'-0" ON EACH SIDE OF EXTERIOR DOORS AND 6'-0" IN FRONT OF LIMITS OF ELECTRICAL LOCATION OR DOOR OPENINGS.
16. DOOR TO BE 3'-0" X 7'-0" X 1-3/4" HOLLOW METAL. HARDWARE TO INCLUDE 1-1/2 PR. BUTTS (W/NONREMOVABLE PINS), CLOSER, EGRESS ALARM LOCK - DETEX ALARM 230-HK (BEST CYLINDER FURNISHED AND INSTALLED BY CONTRACTOR), CLEAR PLASTIC KICKPLATES, DOOR VIEWER, WEATHERSTRIPPING, ALUM. THRESHOLD. DOOR AND FRAME TO BE PAINTED BM OW-9.
17. DOOR TO BE 3'-6" X 7'-0" X 1-3/4" ELIASON TYPE LWP EASY SWNG BRUSHED ALUM. DOOR W/S.S. KICKPLATE ON BOTH SIDES OF DOOR. DOOR FRAME TO BE PAINTED BM OW-9.
18. 8' X 8' ROLL UP INSULATED DOOR MANUAL-CHAIN OPERATED (W/PADLOCK BY MARSHALLS). DOOR FRAME TO BE PAINTED BM OW-9.
19. 4" VINYL COVE BASE TO BE MERCER #208 GRAY.
20. COOLING REQUIREMENTS OF 635 SQ. FT. PER TON W/70 CFM PER SQ. FT. RETURN AIR GRILLE REQUIRED.
21. INSTALL JUNCTION BOX AT 9'-0" AND CONDUIT FOR INSTALLATION OF P.A. SYSTEM. (P.A. SYSTEM BY OTHERS, J-BOX BY G.C.).

Marshall's

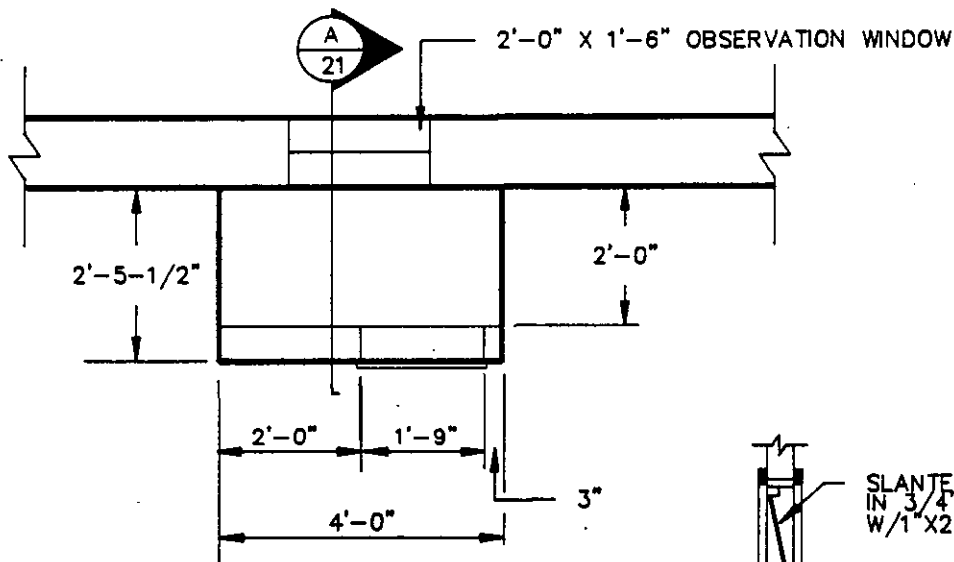
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DATE: 3/1/88

STOCK ROOM

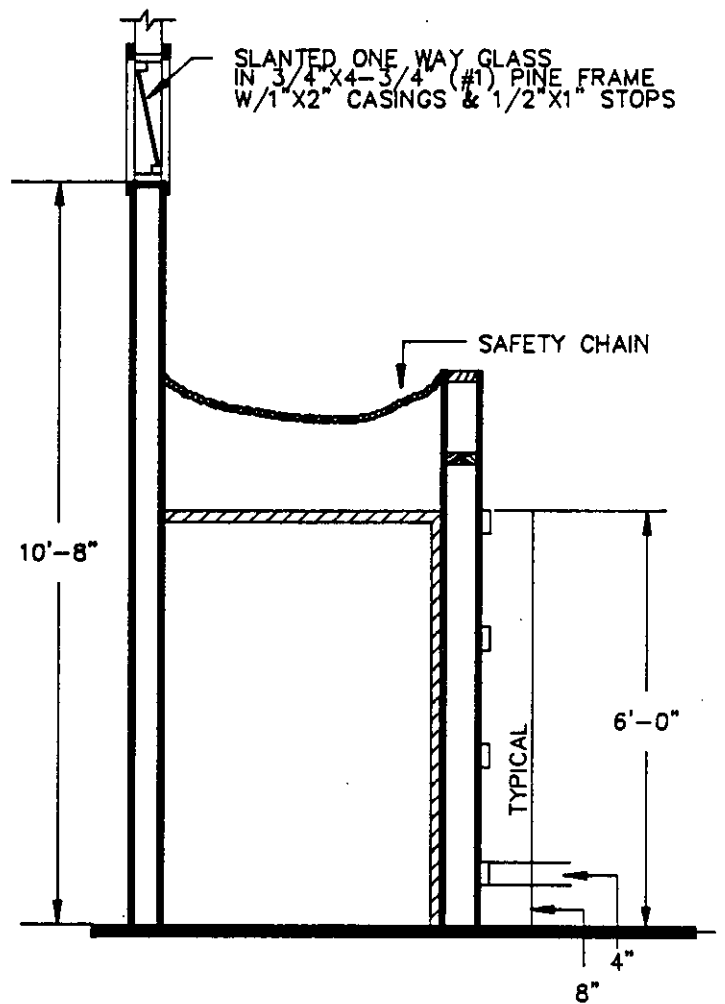
MA
20 A



N/A



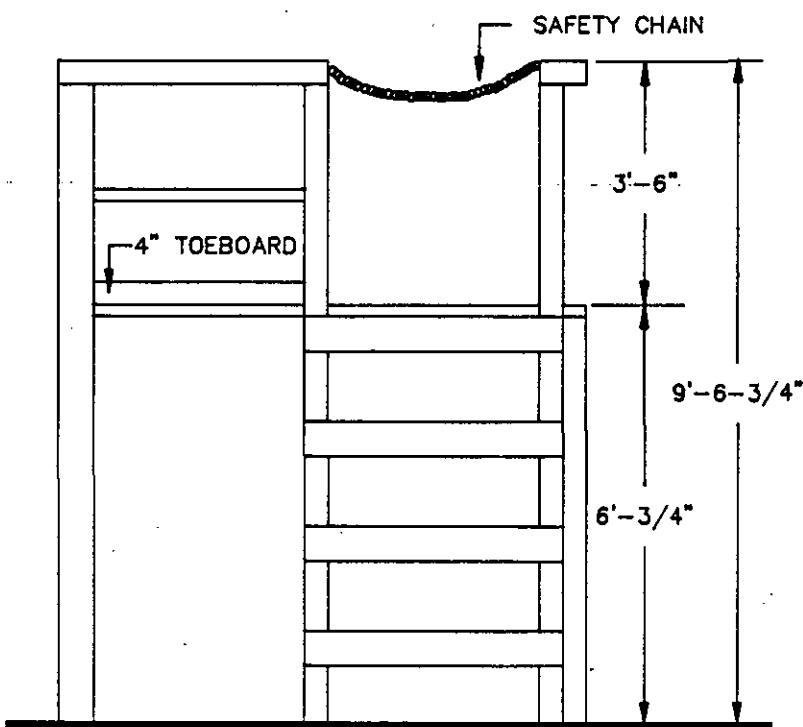
PLAN



SECTION

A
21

NOTE: ALL TO BE FIRE-RATED TO MEET
CODE REQUIREMENTS.



ELEVATION

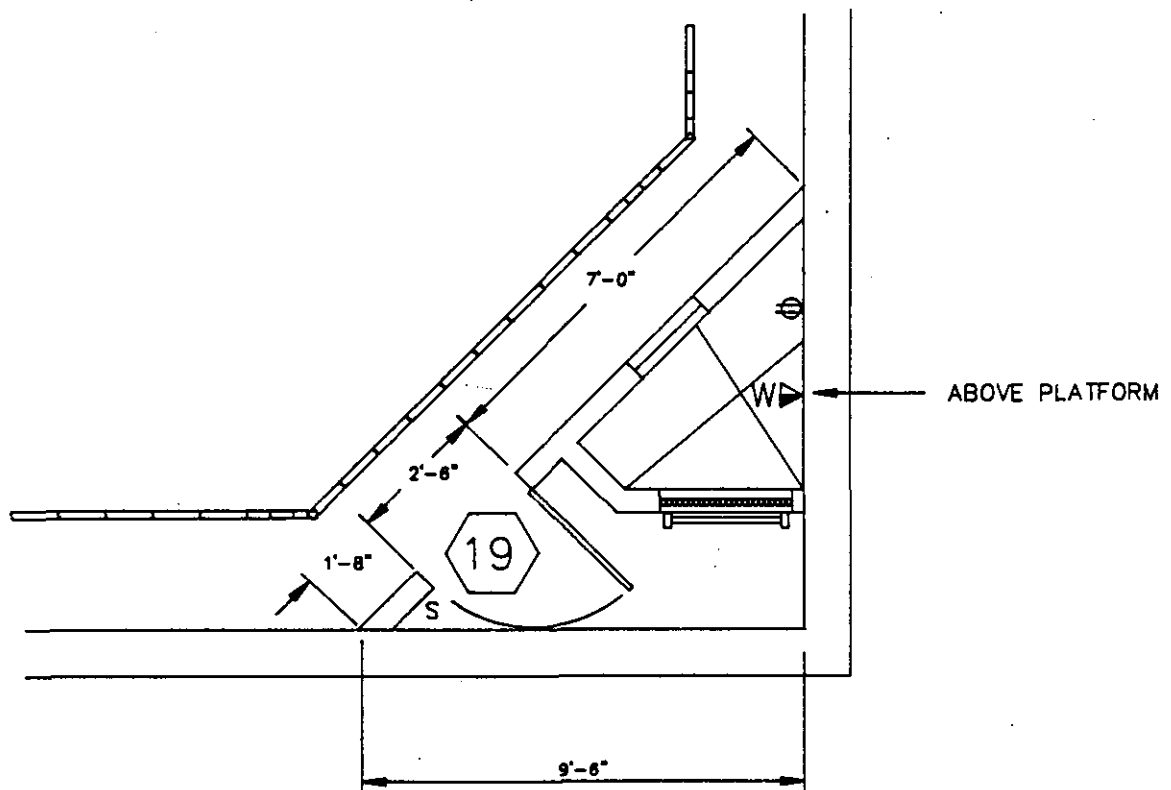
marshalls

SCALE:

DATE: 3/1/88

OBSERVATION PLATFORM

MA
21A



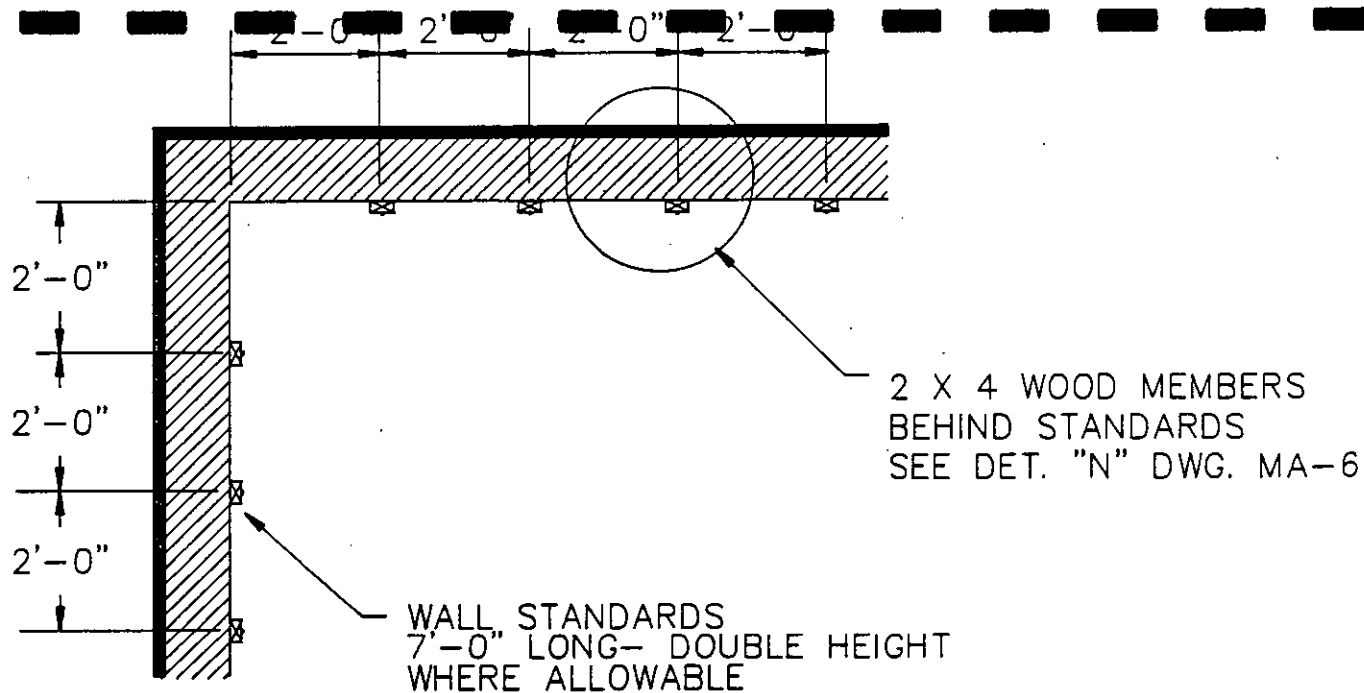
1. PLATFORM AND WINDOW CONSTRUCTION PER MA21A.
2. (1) 2' X 4' -2 BULB STRIP FLUORESCENT SEPARATELY SWITCHED.
3. PAINT WALLS AND EXPOSED ROOF DECK BM OW-9.

Marshall's

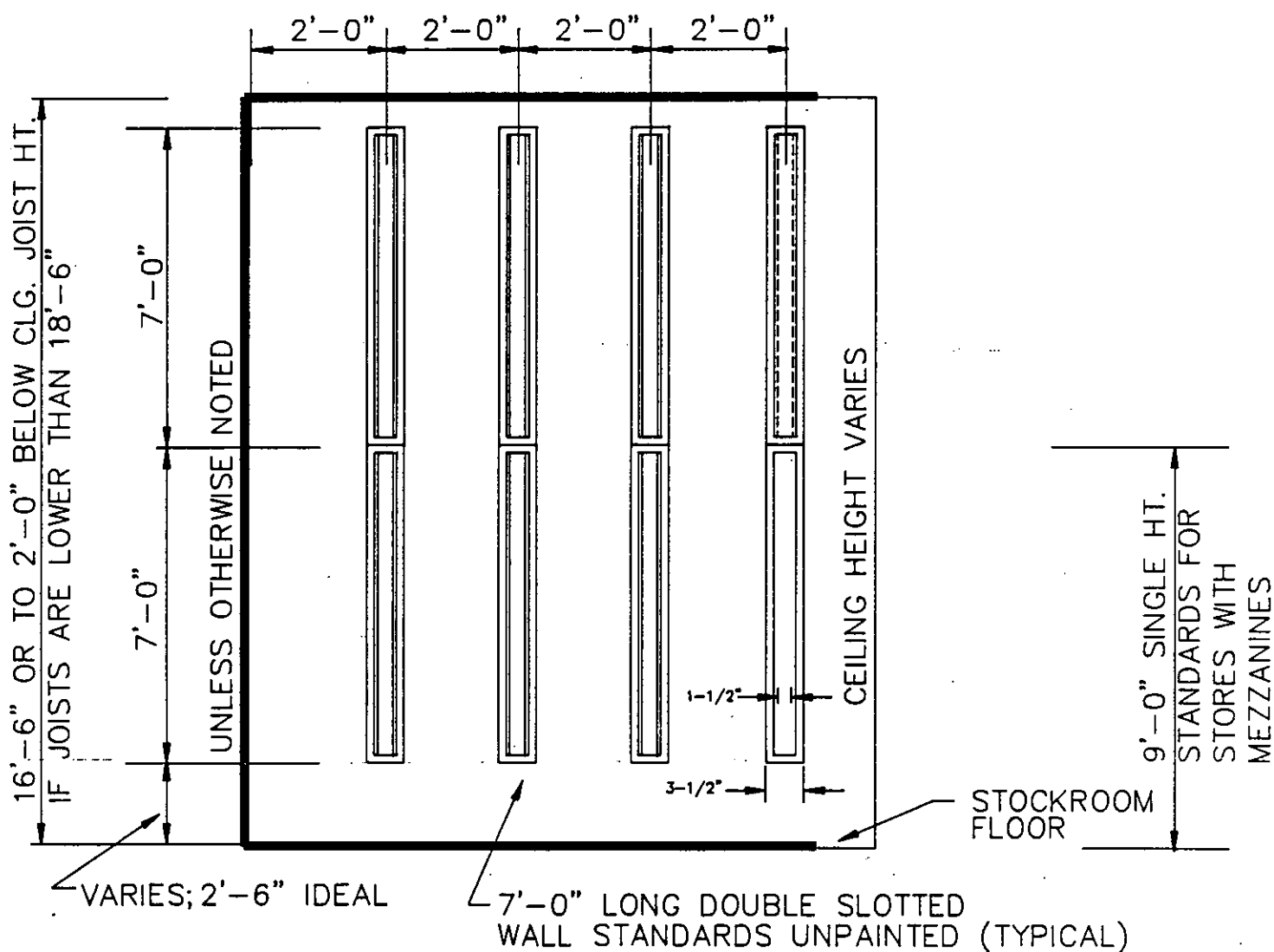
SCALE:
DATE: 3/1/88

L.P. CORNER PERCH

MA
21 E



FLOOR PLAN-STOCKROOM/
LAYAWAY- (studs @ 2'-0" o.c.)



ELEVATION-STOCKROOM/
layaway- (studs @ 2'-0" o.c.)

NOTES

1. FOR STOCK ROOM WALL STANDARD LOCATIONS- SEE MARSHALLS F-1, FINAL FIXTURE PLAN FOR LIMITS.
2. IF A STOCKROOM MEZZANINE EXISTS STANDARDS ARE TO BE MOUNTED TO 9'-0" A.F.F. TO TOP (SINGLE HEIGHT).

marshalls

SCALE: NTS
DATE: 3/1/88

STOCK AREA
WALL STANDARDS

MA
22

12" PAINTED STRIPE

14' CEILING LINE



COPY BASELINE
COPY BASELINE
COPY BASELINE
COPY BASELINE
COPY BASELINE

9"

9"

9"

9"

9"

9"

4"

5'-11"

MODULE HEIGHT



WHITE STRIPE

14'-0"

10" HIGH
VALANCE

10"

9"

9"

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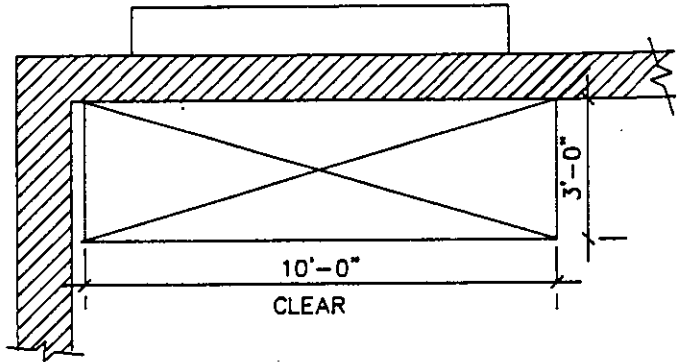
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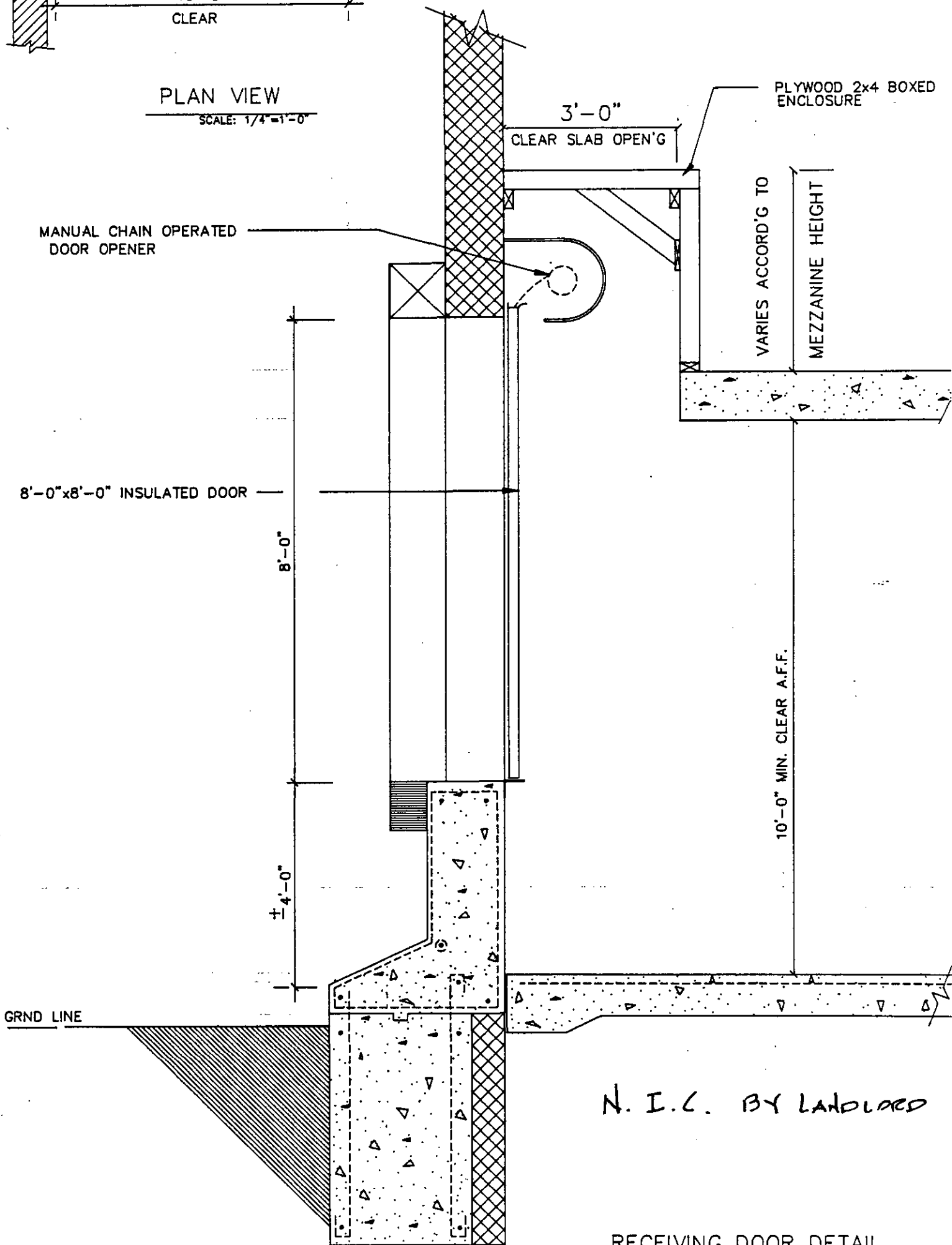
PLAN VIEW

SCALE: 1/4" = 1'-0"

MANUAL CHAIN OPERATED
DOOR OPENER

8'-0"x8'-0" INSULATED DOOR

GRND LINE



N. I.C. BY LANDLORD

RECEIVING DOOR DETAIL

SCALE: 1/2" = 1'-0"

marshalls

SCALE: AS NOTED

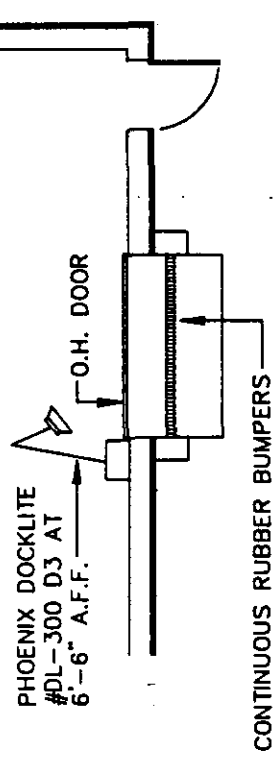
DATE: 3/1/89

RECEIVING DOOR/
MEZZANINE DETAIL

MA
24A

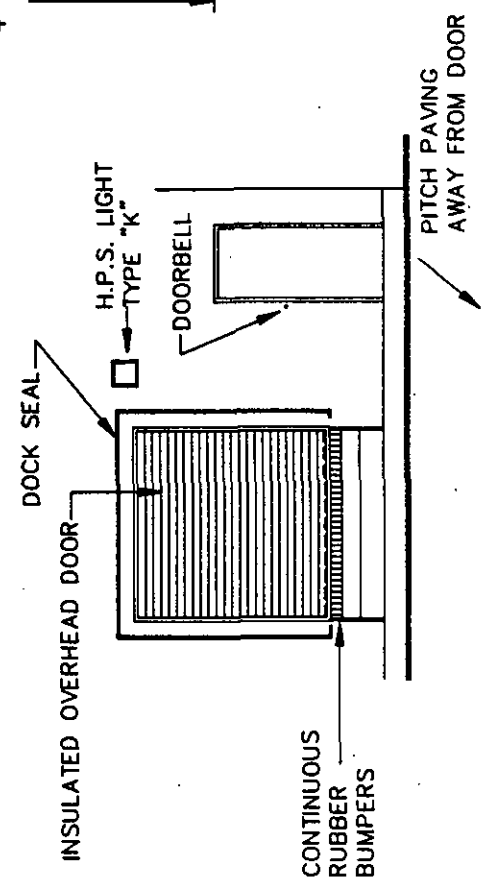
N.I.C. BY LABOUR

RECEIVING



PLAN

NOTE:
DOTTED AREA REPRESENTS CONDITION WHERE
LOADING DOCK FLOOR INSIDE OCCURS 4'-2"
ABOVE OUTSIDE GRADE. MARSHALLS PREFERS
FINISH FLOOR GRADE TO MATCH FINISH PAVING
GRADE W/PAVING PITCHED AWAY FROM
ADJACENT DOOR.



ELEVATION

4" X 4" CONTINUOUS
ANGLE DRILLED AND
WELDED TO ACCEPT
LOCK FROM ROLL-UP
DOOR. (HOLE TO BE
CENTERED ON ANGLE
IRON 3" BEYOND EACH
SIDE OF DOOR OPENING.

H.P.S. LIGHT @ 14'-0"
A.F.F.

3'-0" X 10'-0" O.H.
DOOR BOX OUT
(SEE DETAIL MA24A)

MEZZANINE

RECEIVING

DOC SEAL 1'-6"
#TP 801
BY FROMMELT

9'-10"

CONTINUOUS
RUBBER BUMPER

4'-2"

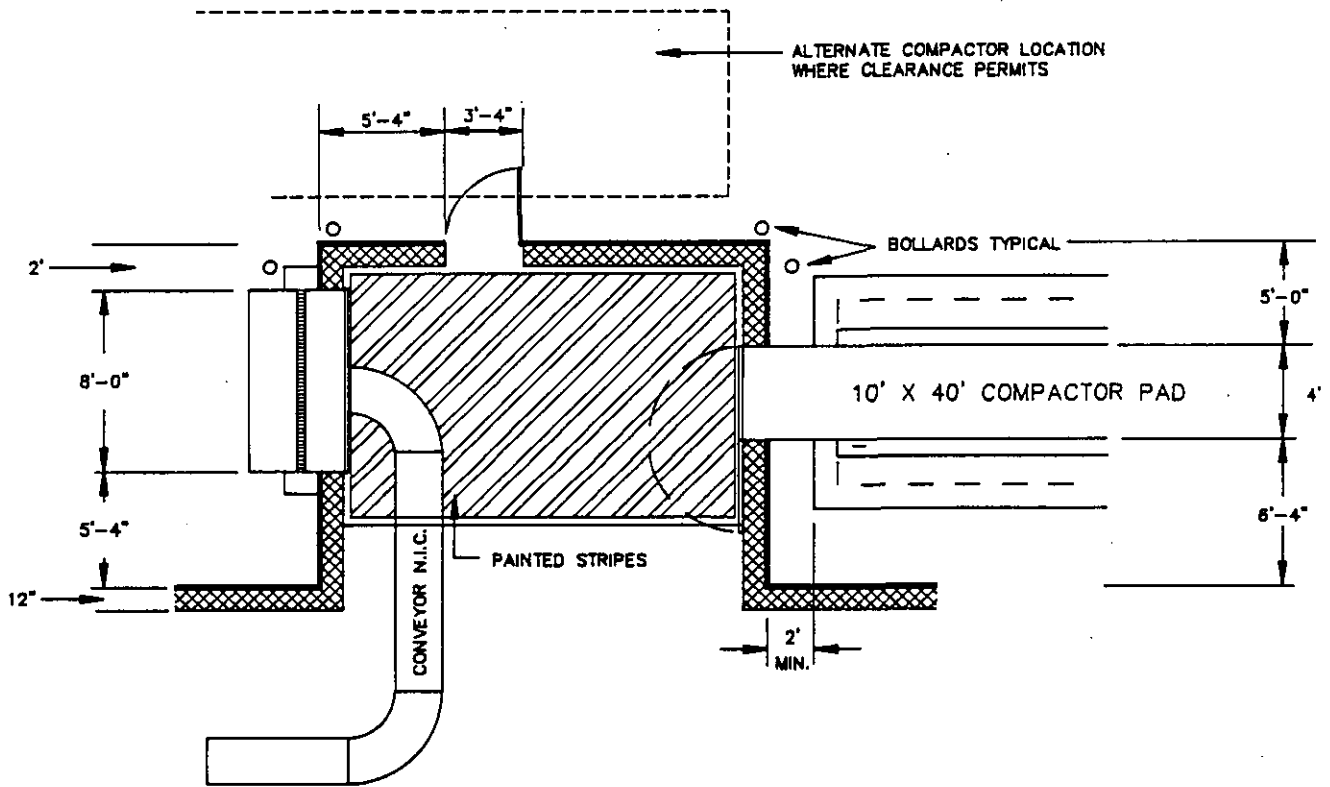
NEW CONCRETE
BUMPER

INTERIOR FINISH FLOOR
CONCRETE SLAB

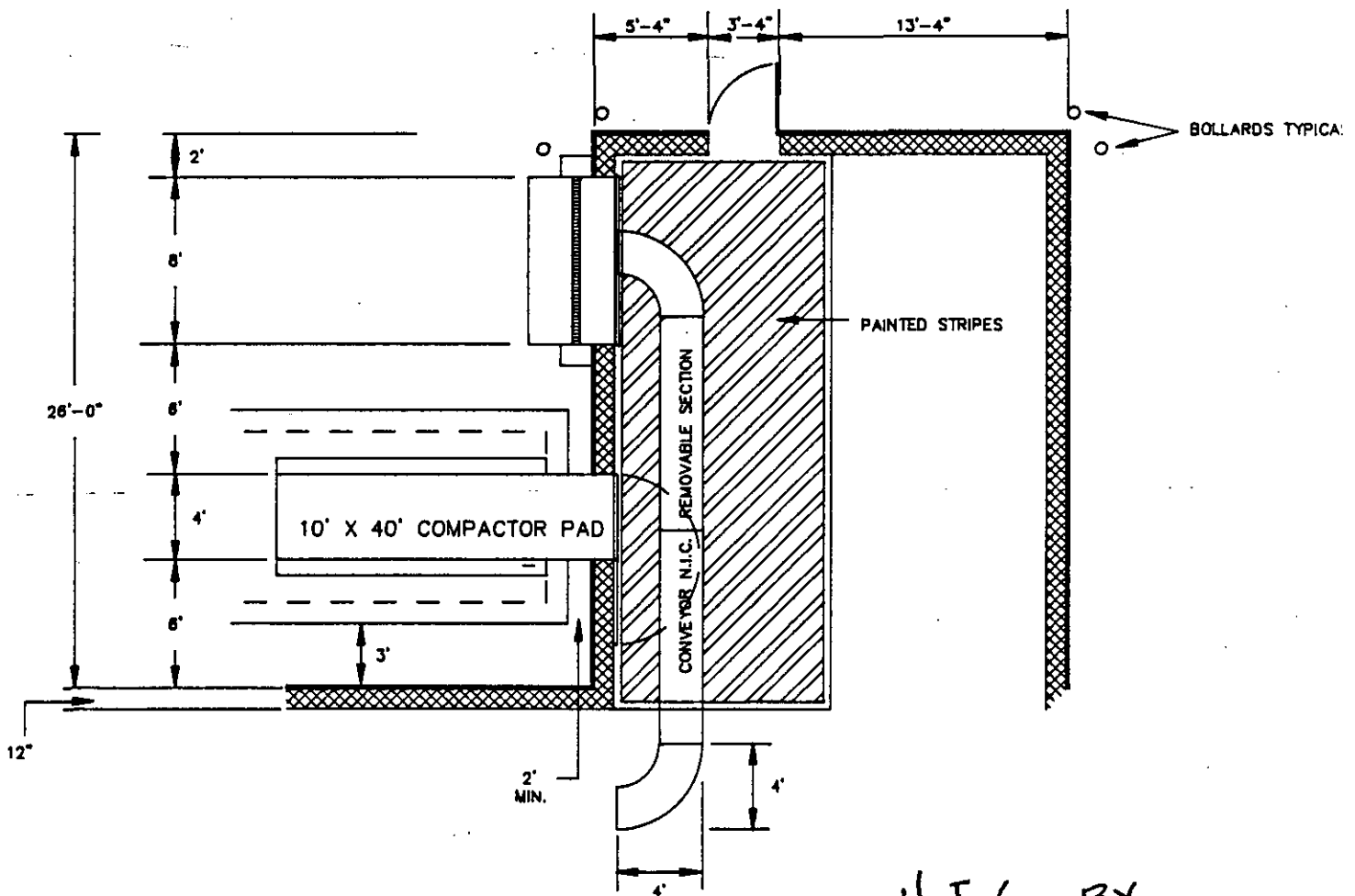
SEE LOADING DOCK
BUMPER DETAIL

8'-0" W. X 8'-0" H. INSULATED, MANUALLY
OPERATED W/CHAIN, "AIR BAR"
WEATHERSTRIPPING DOOR W/F3 CHAIN TO
REACH WITHIN 18" OF FLOOR.

NOTE:
POUR CONC. WHEEL BUMPER SEPARATE FROM
BUILDING WALL. JOINT AT JAMB SHALL BE
1/4" - 3/8" CAULKED JOINT W/ NEOPRENE
FILLER AT FACE. DO NOT TIE BUMPER TO
FOUNDATION WALL WITH REINFORCING FDS.
SLOPE TOP OF CONCRETE BUMPER AWAY
FROM BUILDING SLIGHTLY.

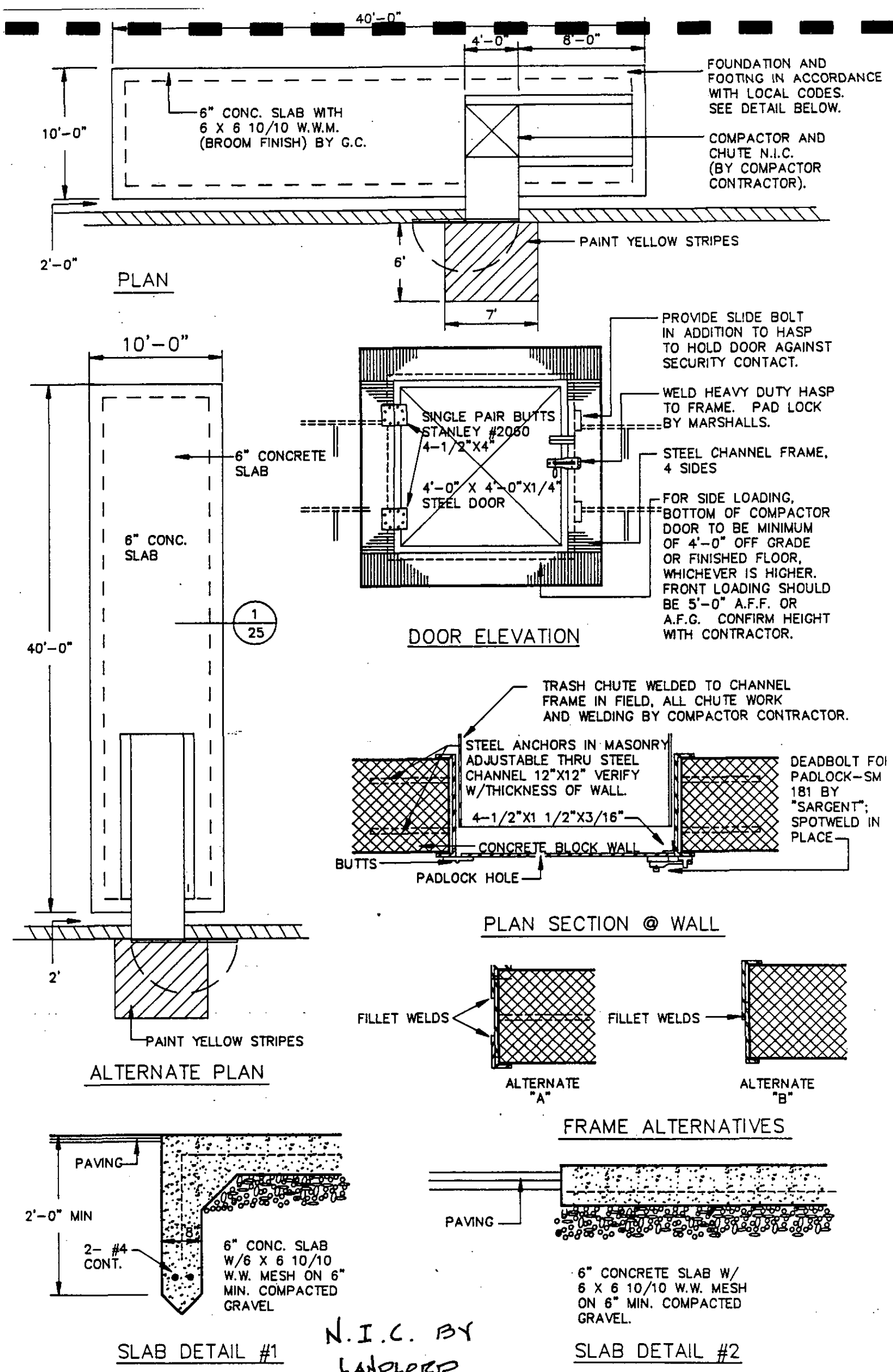


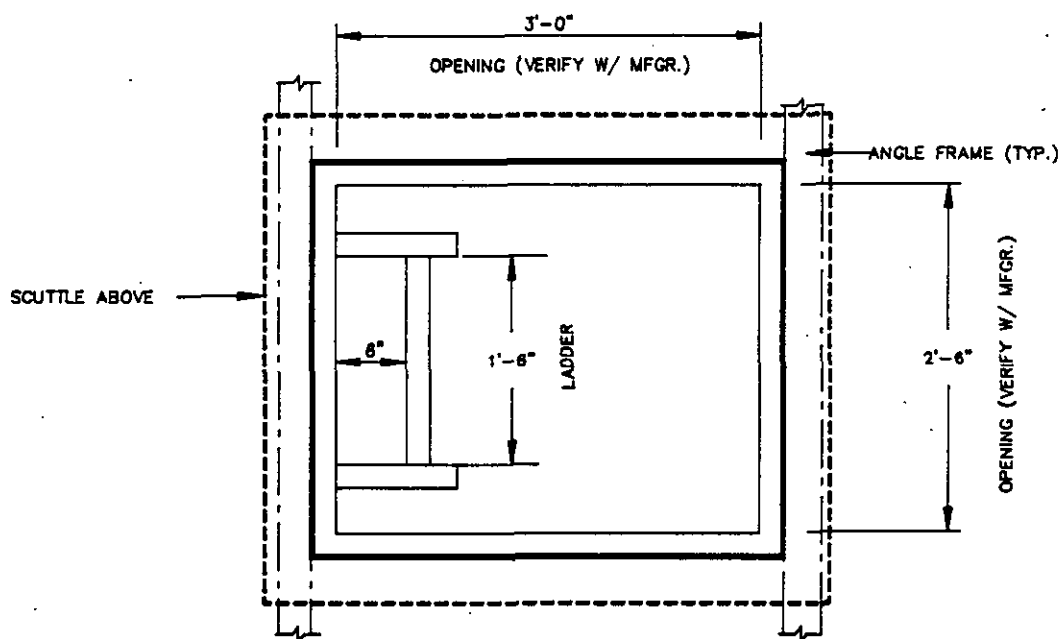
ALTERNATE NO. 1



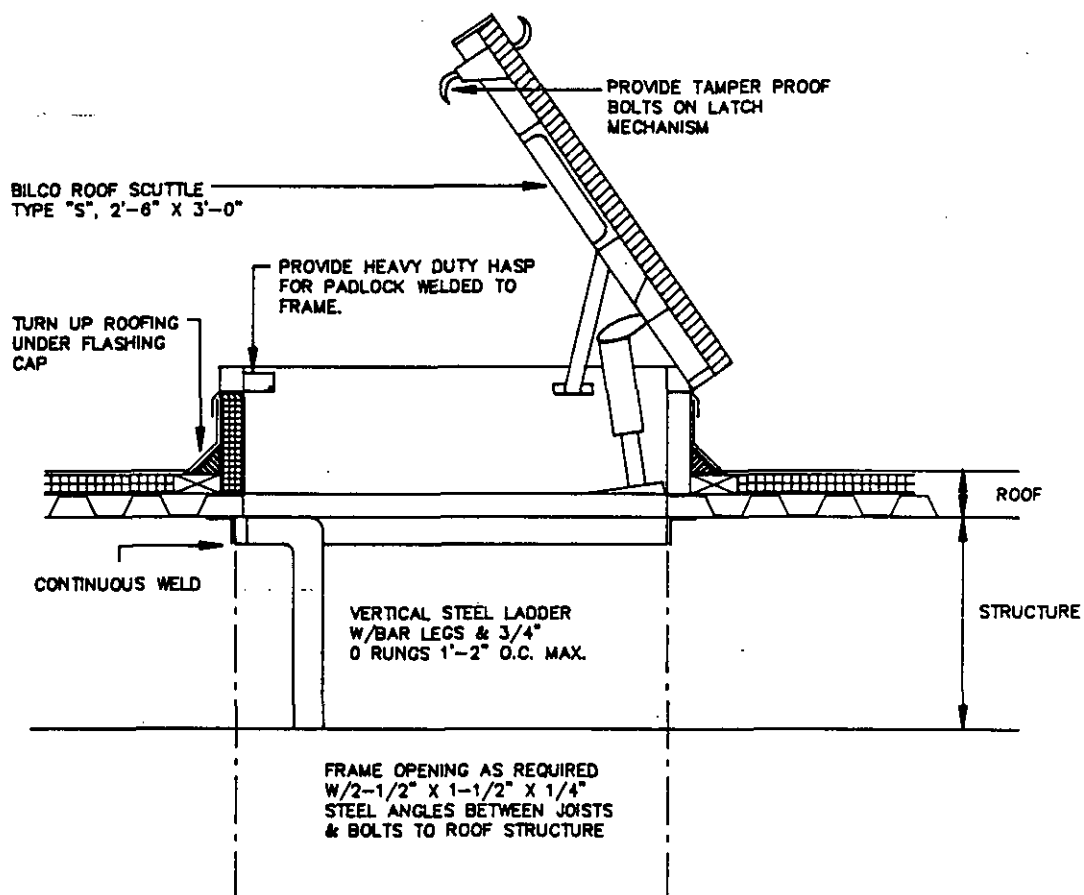
ALTERNATE NO. 2

N.I.C. BY
LANDRED

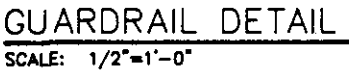


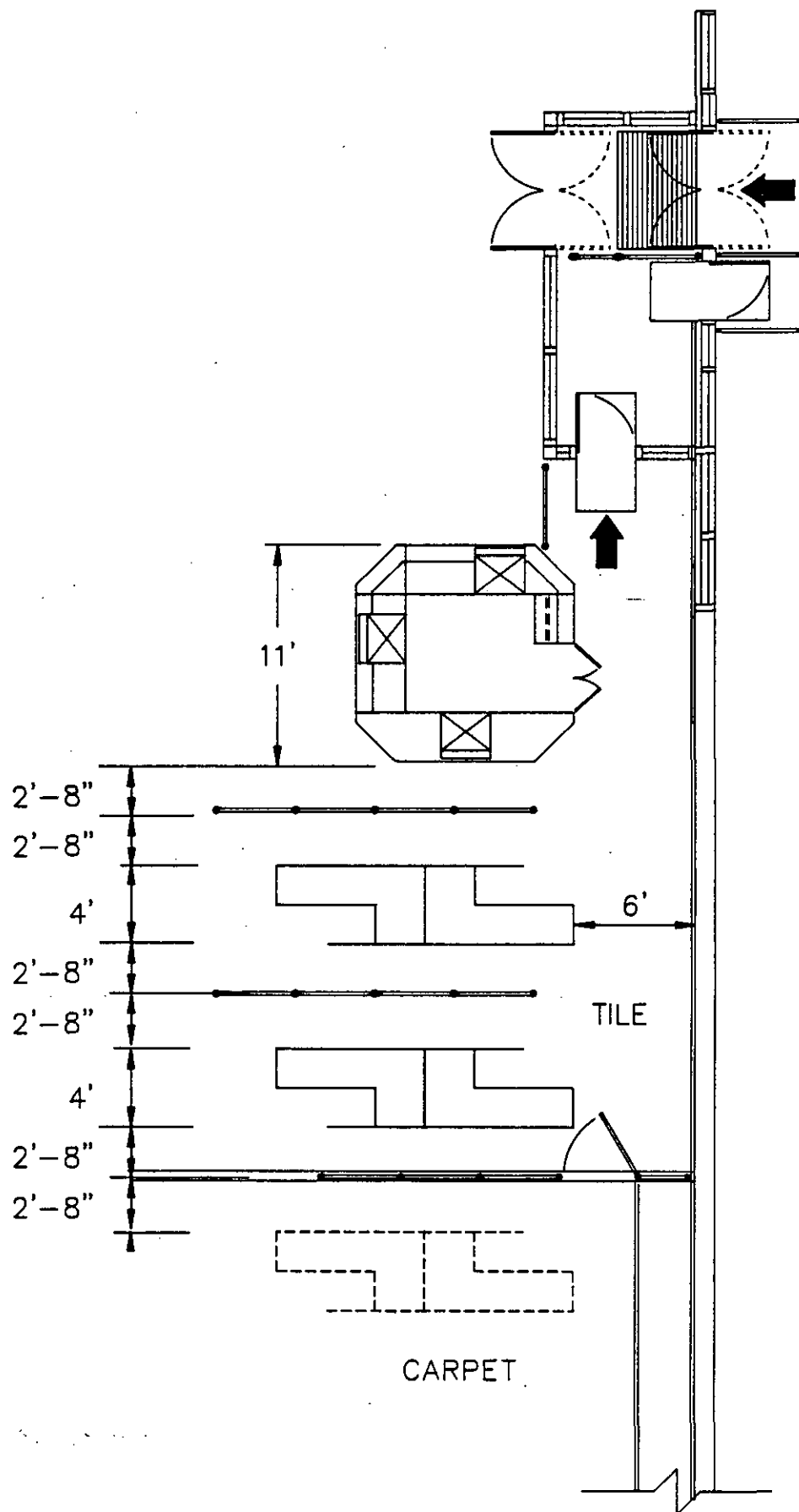


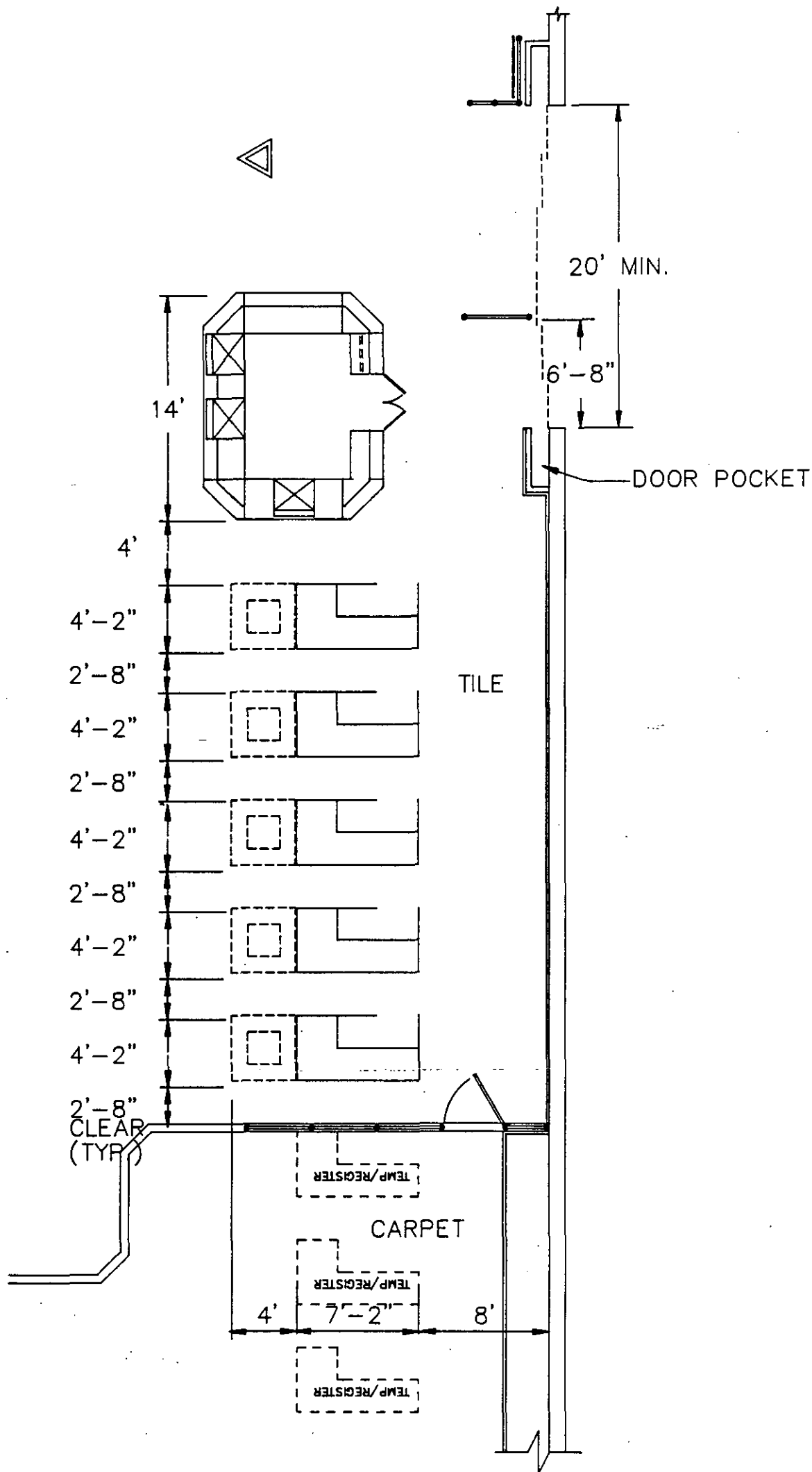
PLAN

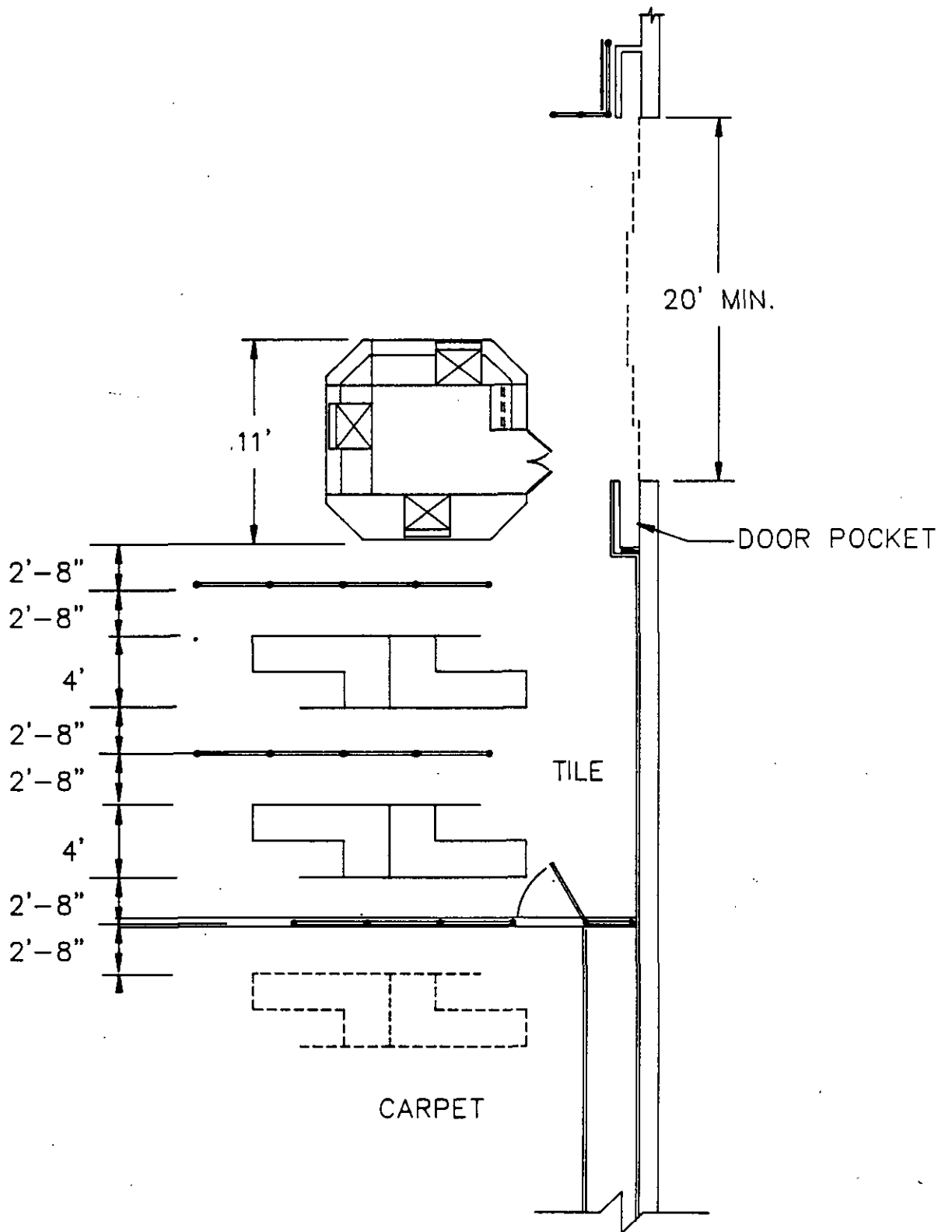


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SCALE: NTS
DATE: 3/1/88

PIGGYBACK CHECKOUT
WITH MALL ENTRANCE

MA
31

PEDIGRID SPECIFICATIONS

General: Furnish and install C/S Pedigrid Recessed Foot Grilles in sizes and quantities as indicated on drawings, all as manufactured by Construction Specialties, Inc., Muncy, PA; San Marcos, CA; Mississauga, Ontario.

Grids: Shall be Model 1300 VA. Aluminum tread rails shall be fabricated of 6063-T52 alloy, structurally joined to aluminum key lock bars, alloy 6061-T6, spaced 10" (254mm) o.c. maximum. (Welding or bolting shall not be permitted). Finishes to be determined by location.

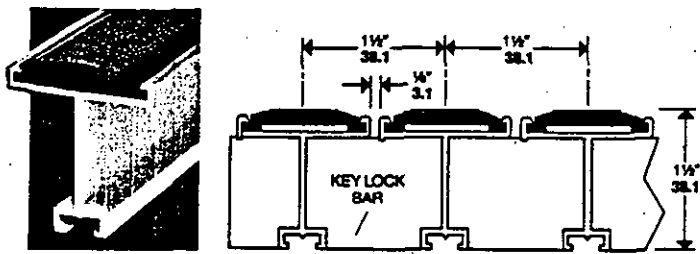
Framing: Framing members shall be series DP stone. Such members shall be fabricated of 6063-T52 aluminum alloy, neatly coped at corners and assembled with #14 stainless steel screws to provide for rigid frame connections. Surfaces in contact with masonry shall receive one shop coat of zinc chromate primer.

Loading: All grid and framing sections when installed, shall be designed to support a minimum 200 lbs. per square foot uniform load.

Installation: In order to insure proper performance of the entire assembly, it is absolutely necessary that framing members be installed in a level and accurate plane. Contractor shall follow manufacturer's installation instructions provided with each shipment.

VINYL/ABRASIVE TREAD

Series 1300VA



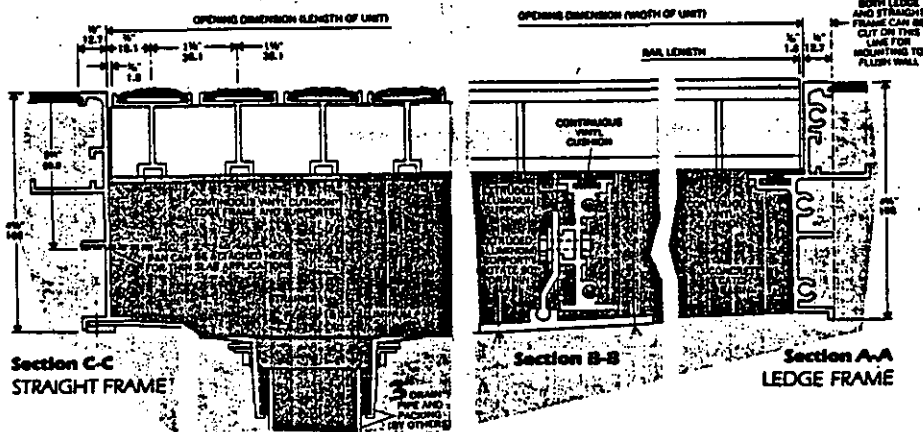
UNIT ADAPTABLE TO ALL FRAME SECTIONS SHOWN ON PAGE 5

Specification Insert: Grid shall be Series 1300VA Vinyl/Abrasive Pedigrid with flexible vinyl/abrasive tread insert. Tread shall be positively secured to the structural aluminum tread, yet provide for flexibility and resiliency. Tread surface shall include a factory-bonded abrasive grit insert, designed to flex in unison with the vinyl to which it is bonded. Vinyl color to be standard bronze, with a #8404 ocean gray tread. Add 1" (25.4mm) to standard frame opening dimension for exposed overall frame dimension.

Pedigrid shall be series DP with series 1300 VA vinyl/abrasive tread. Manufactured by construction specialties 1-800-447-1984. Color of the tread trim will match the storefront material. Tread will be ocean gray #8404.

DRAIN PAN APPLICATION

Series DP



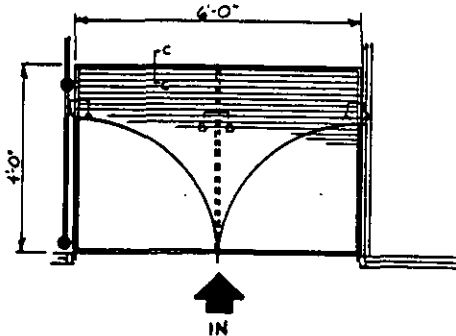
Section C-C
STRAIGHT FRAME

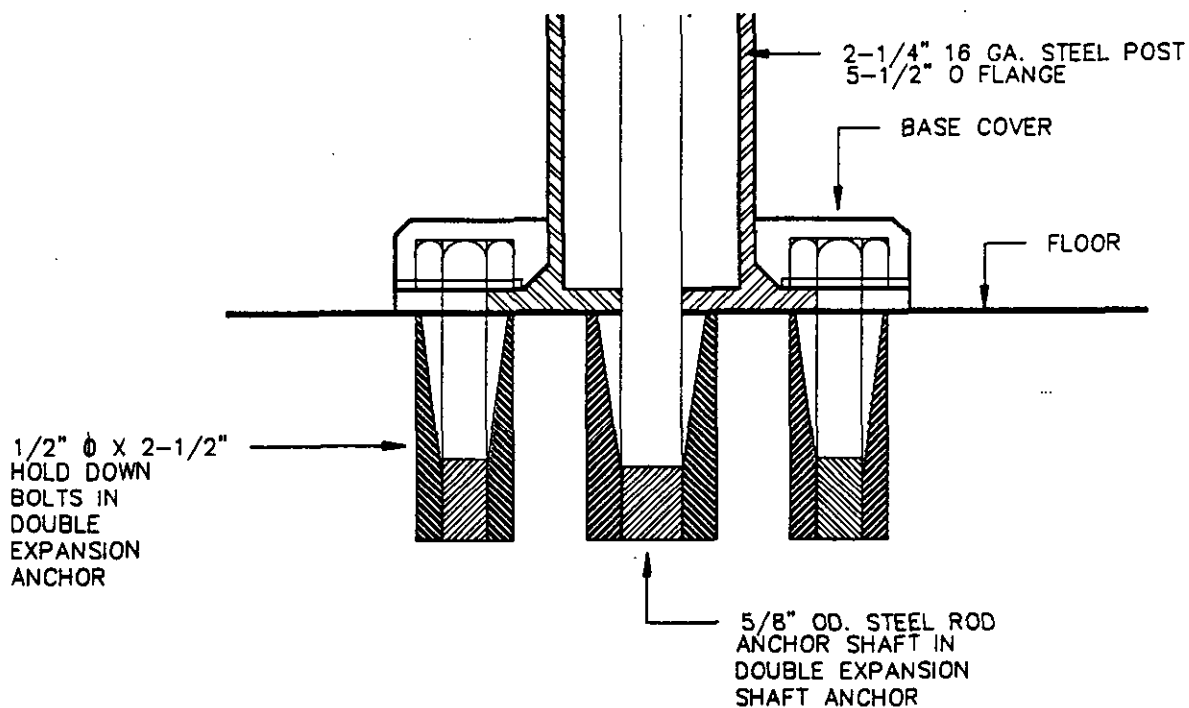
Section B-B

Section A-A
LEDGE FRAME

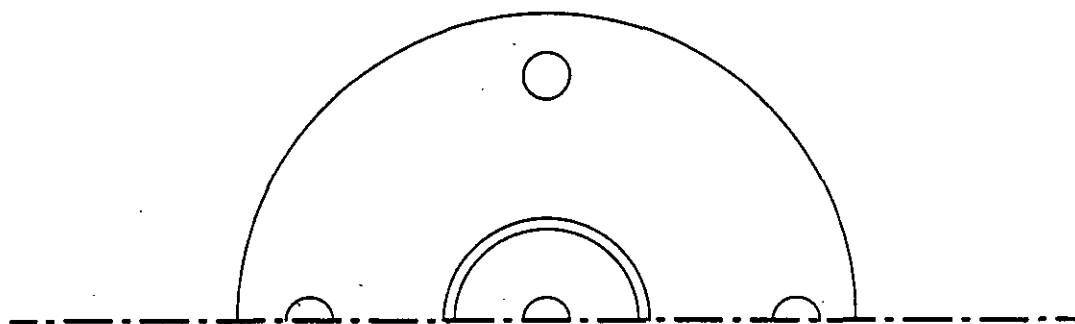
Framing members shall be designated series "DP". A 16 gauge aluminum waterproof pan complete with a 2" (50.8mm) I.P.S. drain and strainer shall be included. Pan shall be securely attached to the bottom surface of the frame. Traps and drain connections shall be furnished under the plumbing contract.

PLAN VIEW OF FRAME



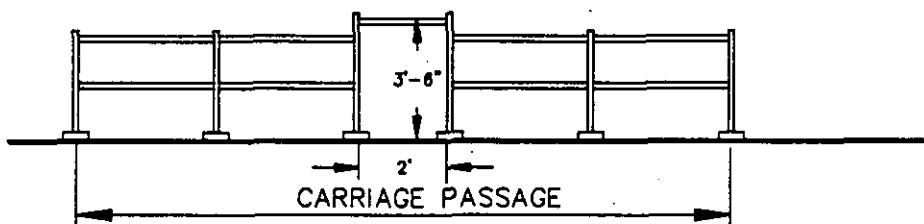
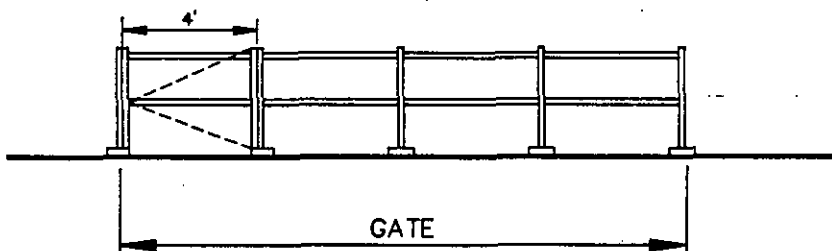
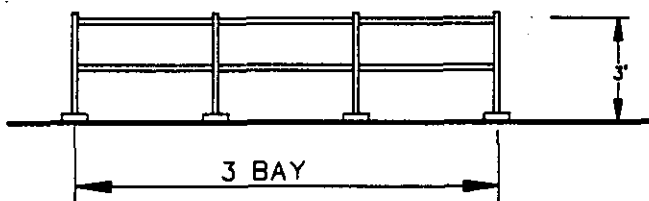


SECTION



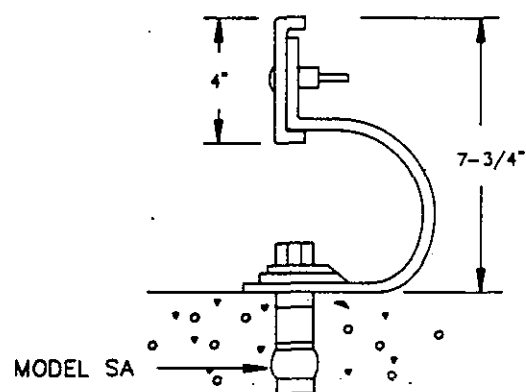
POST BASE PLAN

6" TO 1'-0"



CARRIAGE BUMPER
MODEL CB

WITH MODEL SA ANCHOR
BOLTS & EXPANSION
SHIELDS



CARRIAGE BUMPER
N.T.S.

NOTES:

POSTS- ZENITH TYPE Z 2-1/4 OD
16" GA. STEEL
RAIL- 13/4" OD POLISHED CHROME
FLANGES- 5-1/2" O WITH FIVE
HOLES PER FLANGE
GATE- TYPE LG, 48" WITH 2 OUTLETS
TO EACH ZENITH TYPE Z POST
GATE MUST BE REMOVABLE
ALVARADO- MANUFACTURING CO.
12660 COLONY ST.
CHINO, CA. 91710
TEL: 1-800-423-4143
CAL.- 1-800-445-7401

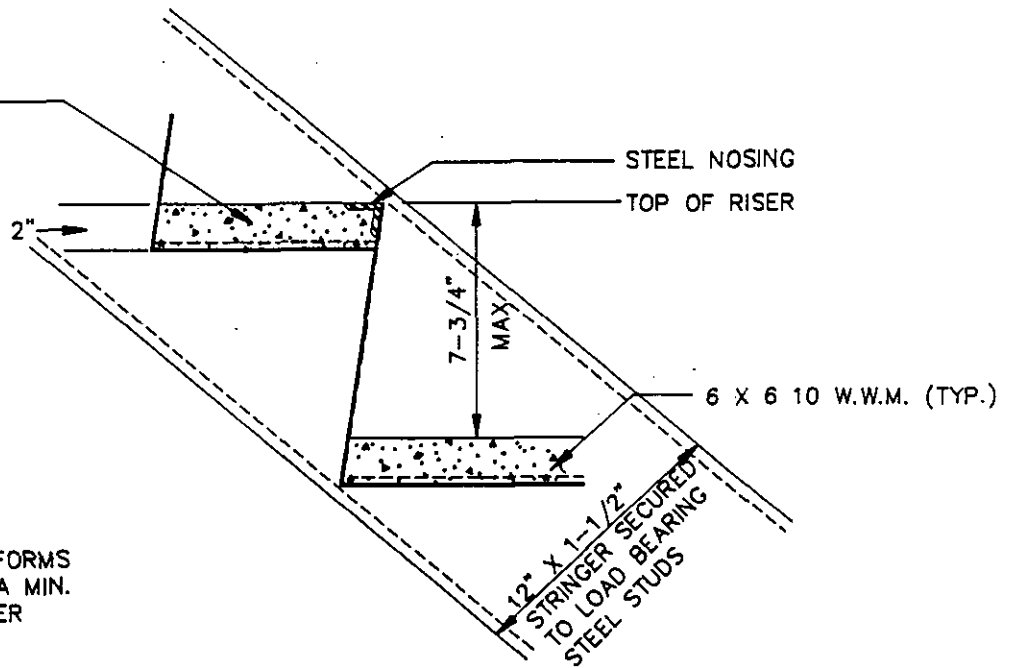
Marshall's

SCALE:
DATE: 3/1/88

ALVARADO RAILING DETAIL

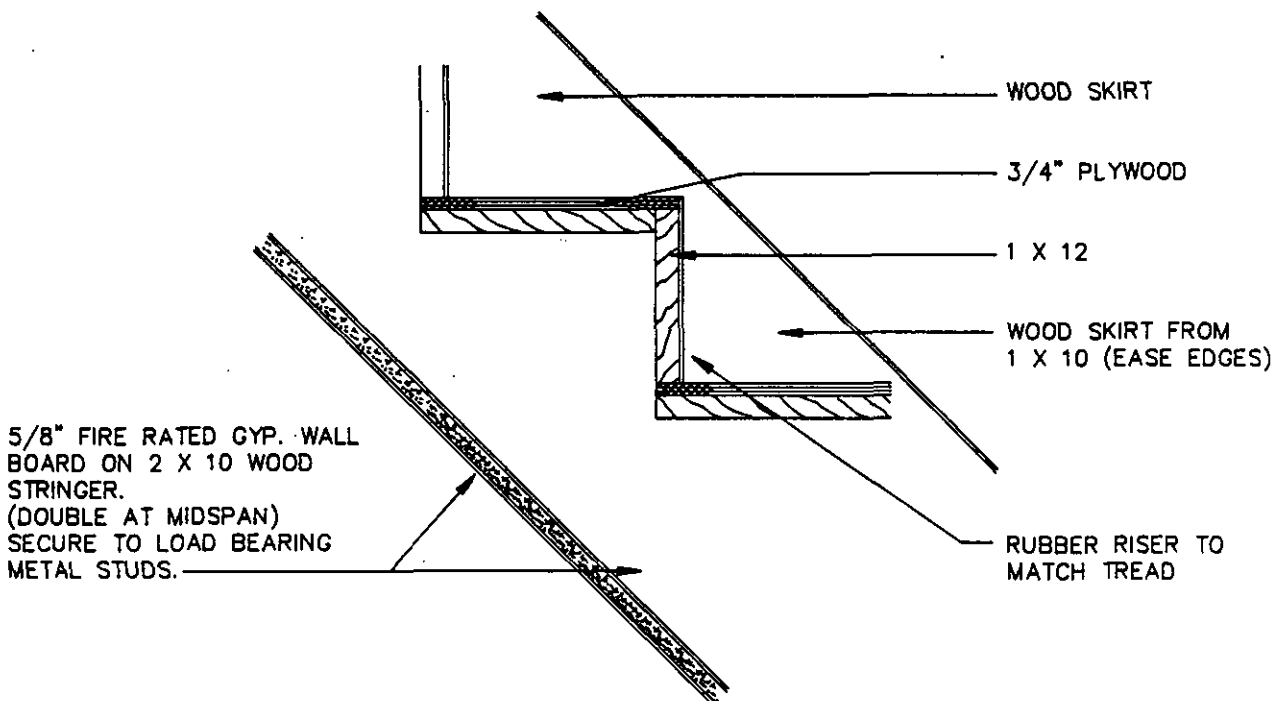
MA
33

CONCRETE FILL HARDENED
AND SEALED



NOTE: STAIRS AND PLATFORMS
SHALL BE DESIGNED FOR A MIN.
LIVE LOAD OF 100 LBS. PER
SQUARE FOOT.

STEEL STAIR TREAD



NOTES: ALL STAIRWAYS SHALL HAVE HANDRAILS ON BOTH SIDES.
RAILS SHALL BE WOOD, SIMILAR TO BROSCO #M-720. 5 RAILS
PER RUN SHALL BE SUPPORTED WITH BRACKETS SIMILAR TO
J.G. BRAUN CO. #4497. 3\" BRONZ OR EQUAL.

PROVIDE BLOCKING FOR HANDRAIL BRACKETS AS NECESSARY.

WOOD STAIRS SHALL BE USED ONLY IN SUCH LOCATIONS AS
APPLICABLE CODES PERMIT.

THIS DETAIL APPLIES ONLY IN TWO-LEVEL STORES. DISREGARD
IF STORE IS ONE-LEVEL.

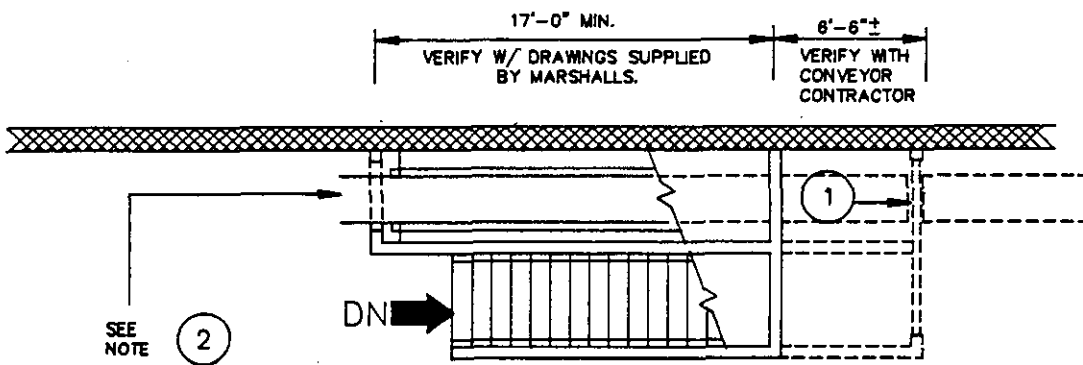
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marshalls

SCALE:
DATE: 3/1/88

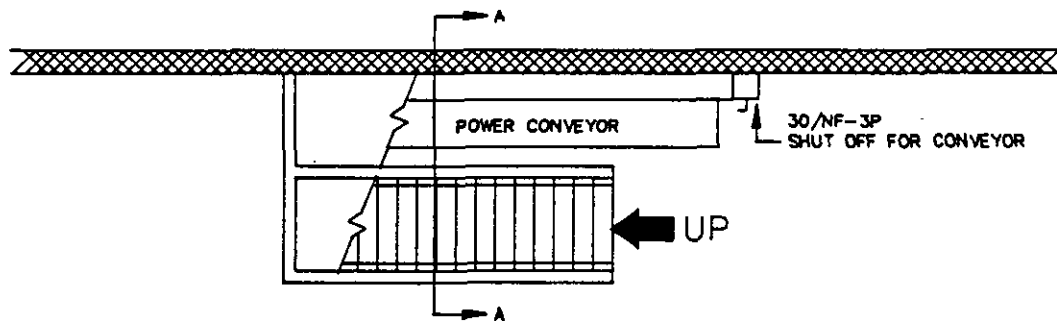
STAIR DETAILS

MA
34

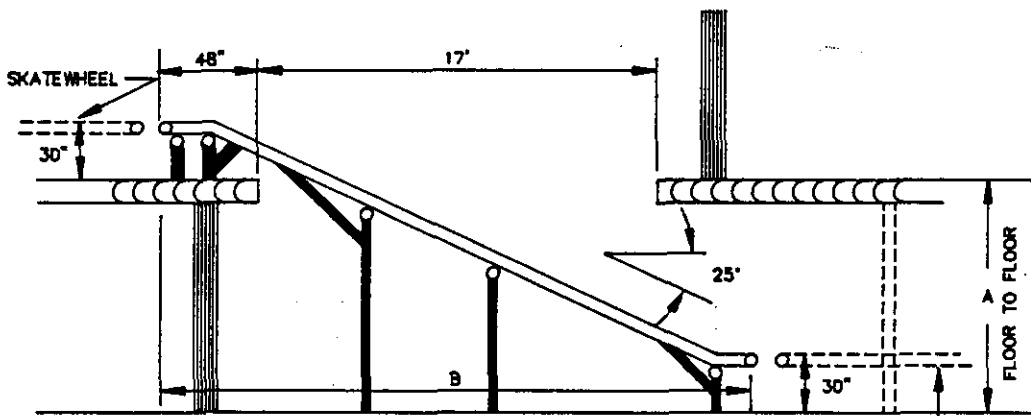


1. WHERE REQUIRED BY CODE:
SHUTTER "B" LABEL AS MFGD.
BY ATLAS DOOR CORP. EDISON,
N.J. OR APPROVED EQUAL SIZE:
6'-10"W. X 7'-0" H.
2. WHERE REQUIRED BY CODE:
GENERAL CONTRACTOR TO
INSTALL A FUSIBLE LINK
DOOR AT TOP OF POWER
CONVEYOR.

MEZZANINE FLOOR PLAN
SCALE: 1/8"=1'-0"



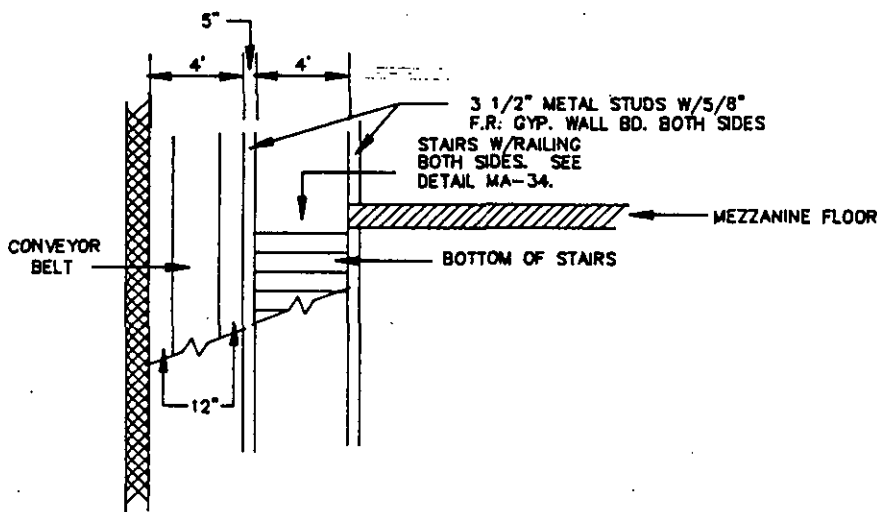
STOCKROOM FLOOR PLAN
SCALE: 1/8"=1'-0"



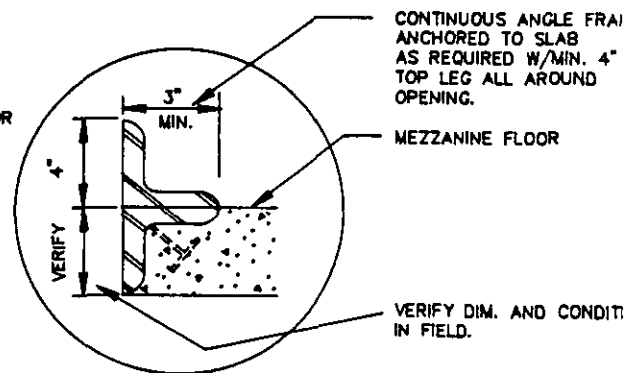
CROSS SECTION CONVEYOR
1/8"=1'-0"

A *	B
10'-0"	23'-5"
11'-0"	25'-10"
12'-0"	28'-2"
13'-0"	36'-9"
14'-0"	38'-6"
15'-0"	39'-6"
16'-0"	41'-9"

*A MINIMUM 10'-0"



SECTION "A-A"
1/8"=1'-0"



DETAIL AT EDGE OF SLAB
1/8"=1'-0"

NOTE: THIS DETAIL APPLIES ONLY IN TWO-LEVEL STORES. DISREGARD IF ONE-LEVEL.

-  ELECTRIC PANEL 277/480V-30-4W
-  ELECTRIC PANEL, 120/208V-30-4W
-  DUPLEX RECEPTACLE ABOVE COUNTER, 36" ABOVE FINISHED FLOOR (A.F.F.)
-  DUPLEX RECEPTACLE 14" A.F.F. OR AS NOTED, HUBBEL #5362
-  20 AMP DEDICATED CIRCUIT FOR COLLECTOR, 48" A.F.F. WITH SEPARATE ISOLATED GROUND, HUBBELL #4710 TWIST LOCK OUTLET
-  DUPLEX RECEPTACLE FOR REGISTERS, (ORANGE) HUBBEL #IG-5262
-  DUPLEX RECEPTACLE MOUNTED IN BASE OF COUNTER.
-  DUPLEX RECEPTACLE MOUNTED UNDER SERVICE COUNTER, RUN CIRCUITS IN POWER POST, SEPARATE FROM REGISTER CIRCUITS.
-  TIMECLOCK RECEPTACLE 30" A.F.F. CONNECT TO DEDICATED CIRCUIT
-  SOUND SYSTEM RECEPTACLE 48" A.F.F.
-  DOUBLE DUPLEX RECEPTACLE
-  GROUND FAULT INDICATING DUPLEX RECEPTACLE A&H #91061-BR 36" A.F.F.
-  20A - 120/208V 3 WIRE TWIST LOCK RECEPTACLE
-  TELEPHONE OUTLET FOR ENERGY MANAGEMENT SYSTEM
-  WALL SINGLE TELEPHONE. MTD. 42" A.F.F. FOR CHECKOUTS & 60" A.F.F. FOR OTHERS.
-  DESK PHONE. MTD. 36" A.F.F. EXCEPT AT SERVICE DESK.
-  TEMPORARY PHONE
-  WALL KEY TELEPHONE, MTD. 60" A.F.F. OR AS NOTED
-  ENERGY MANAGEMENT PANEL LOCATION
-  S 1P SWITCH 20A-277V, 48" TO $\mathbb{C}$, A&H #1993
-  S₃ 3 WAY SWITCH, 20A-277V, 48" TO $\mathbb{C}$, A&H #1993
-  S_P 1P SWITCH WITH PILOT LIGHT, 20A-120V, 48" TO $\mathbb{C}$
-  S_M MOMENTARY CONTACT SWITCH, 1PDT, 3 POSITIONS, A&H #1995
-  T S THERMAL MAGNETIC SWITCH, LOCATED AT MOTOR, FUSE LINK SIZED FOR 115% OF MOTOR RUNNING CURRENT A&H #RL-11-G OR RL-11-W (WATER TIGHT) WERE REQUIRED.
-   DISCONNECT SWITCH, RATING AS INDICATED ON DRAWING.
-   1126 ADAPTOR IN UNDERFLOOR WALKERDUCT.
-  PA PUBLIC ADDRESS SPEAKER (WALL MOUNTED) N.I.C. (PROVIDE EMPTY RACEWAY TO CEILING ABOVE) J-BOX 1'-0" BELOW FINISHED CEILING WITH 1" CONDUIT TO ABOVE CEILING SPACE
-  $\odot$ JUNCTION BOX, SIZE AS REQUIRED PER CODE
-   LOW VOLTAGE TRANSFORMER 24 VAC EDWARDS #598
-  $\square$ PUSHBUTTON (SEE DOOR OPENER DIAGRAM)
-  $\square \bigcirc$ DOOR BUZZER (SEE DOOR OPENER DIAGRAM)

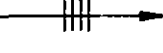
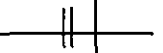
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DATE: 3/1/88

ELECTRICAL LEGEND

ME
1

	ELECTRIC DOOR STRIKE, 24 VAC (SEE DOOR OPENER DIAGRAM)
	VIBRATING BELL 4", 24 VAC, EDWARDS #340-4G5 AT RECEIVING DOOR 7'-6" A.F.F.
	EXIT LIGHT FIXTURE DUAL VOLTAGE, AC/DC
	REMOTE WALL MOUNTED EMERGENCY LIGHT, DC VOLTAGE
	CEILING MOUNTED EMERGENCY LIGHT SYSTEM
	EMERGENCY BATTERY UNIT 277 VAC, 12 VDC. LIGHT FIXTURE TYPE "R"
	DOCK LIGHT
	FIXTURE ON NIGHT LIGHT CIRCUIT
	EXTERIOR WALL LIGHT
	CANOPY LIGHT
	SUSPENDED TRACK ON CEILING WITH ATTACHED TRACK LIGHT
	INCANDESCENT LIGHT
	INDICATES MARSHALLS ELECTRICAL DETAIL #1
	PUSH BUTTON, AT RECEIVING. EDWARDS #1786-B, 60" A.F.F.
	POWER TRANSFORMER (SIZE AS NOTED ON DRAWING)
	TIME SWITCH 120V TORK 7200, DPST. 208/277V TORK 7202 DPST
	CONTACTOR #3, MECHANICALLY HELD. SEE CONTACTOR SCHEDULE
	CONDUIT AND WIRE LOCATED OVER CEILINGS, IN WALLS OR EXPOSED
	CONDUIT AND ASSOCIATED WIRING LOCATED UNDERFLOOR, UNDERGROUND OR IN FLOOR SLAB
	CONDUIT AND WIRE FOR NIGHT LIGHT, EMERGENCY AND EXIT LIGHT CIRCUIT
	EMERGENCY WIRING SIZE AS NOTED ON THE DRAWINGS. RUN SEPARATE FROM NORMAL BUILDING WIRE
	HOMERUN TO PANELBOARD DESIGNATED. HASH MARKS INDICATE 4#12 AWG CONDUCTORS, NO HASH MARKS INDICATE 2#12 CONDUCTORS
	2#12 CONDUCTORS WITH SEPARATE INSOLATED GROUNDING CONDUCTOR
	CENTERLINE, E.G. (ELECTRICAL CONTRACTOR), N.I.C. (NOT IN CONTRACT), E.W.C. (ELECT. WATER COOLER), E.P. (EXHUAUST FAN), U.H. (UNIT HEATER), A.F.F. (ABOVE FINISHED FLOOR), W.P. (WEATHER PROOF), F&I (FURNISH AND INSTALL), H.W.H. (HOT WATER HEATER).
	A 2' X 4' FLUORESCENT LIGHT FIXTURE "A" INDICATES TYPE
	FLOURESCENT LIGHT FIXTURE
	HONEYWELL T7047C SENSOR FOR ENERGY MANAGEMENT SYSTEM
	CLOCK OUTLET MOUNTED WHERE SHOWN ON MARSHALLS E-1 DRAWING

MAIN SWITCHBOARD "SB" SCHEDULE					
NO.	POLES	BKR. SIZE	DESCRIPTION	FEEDER SIZE	REMARKS
1	4P SN	800A	SWITCHBOARD MAIN	---	277/480V - 30 - 4W COORDINATE W/UTILITY CO. F& BY HVAC CONTRACTOR SEE NOTE BELOW
2	---	---	UTILITY CO. CT'S	---	
3	---	---	ENERGY MANagements CT'S	---	
4	3P	70A	HVAC-1	3/4" C3#8 & 1#10GRD	INSULATED/ISOLATED GROUND
5	3P	80A	HVAC-2	1"C,3#6&1#10GRD	
6	3P	80A	HVAC-3	1"C,3#6 &1#10GRD	
7	3P	20A	HVAC-4	3/4"-3#12 & 1#12GRD	
8	3P	20A	HVAC-5	3/4"-3#12 &1#12GRD	
9	3P	40A	HVAC-6	3/4" - 3#10 & 1#10GRD	
10	3P	30A	PANEL CRP & TRANSFORMER	1" - 3 #8 & 1 #8	
11	3P	50A	PANEL RP & TRANSFORMER	3/4" - 3 #8 & 1 #8	
12	3P	50A	PANEL PP & TRANSFORMER	3/4" - 3 #8 & 1 #8	
13	3P	150A	PANEL LP	2"C, 4#1/0 & 1 #6GRD	
14	3P	60A	COMPACTOR	3/4" -3 #12 & 1 #12	
15	3P	60A	SPACE ONLY		
16	3P	60A	SPACE ONLY		
17	3P	60A	SPACE ONLY		

NOTE:

1. SWITCHBOARD MAIN AND BRANCH CIRCUIT BREAKER MINIMUM SHORT CIRCUIT CURRENT RATING SHALL BE SIZED PER AVAILABLE SHORT CIRCUIT CURRENT AT THE SWITCHBOARD FOR 480V.A.C. THIS SHORT CIRCUIT CURRENT SHALL BE CALCULATED AND COORDINATED WITH THE UTILITY CO., AND WIRE INSPECTOR PER NATIONAL ELECTRICAL CODE.
2. SWITCHBOARD BRANCH CKTS ARE SIZED FOR THE 180' X 150' PROTOTYPE STORE. COORDINATE ALL BREAKERS AND FEDDERS FOR EACH SPECIFIC STORE.

PANELBOARD SCHEDULE				
PANEL	MAINS	BRANCH CKT. BRKRS.	VOLTAGE	REMARKS
LP	225A M.L.O.	24-20A-1P 6-20A-1P SPARES	277/480V 30-4W	LIGHTING PANEL 42 CIRCUIT
RP	100A-3P	18-20A-1P,1-20A-2P 6-20A-1P SPARES	120/208V 30-4W	POWER PANEL 30 CIRCUIT
PP	100A-3P	19-20A-1P 6-20A-1P SPARES	120/208V 30-4W	POWER PANEL 30 CIRCUIT
LS	50M.L.O.	12-20A-1P	120/208V 30-4W	CONTACTOR CONTROLLED SIGN LIGHTING 12 CIRCUIT
CRP	60A-3P	10-20A-1P 2-20A-1P SPARES	120/208V 30-4W	SEPARATE INSULATED/ISOLATED GROUND BUS.CASH REGISTER PANEL 12 CIRCUIT

SHORT CIRCUIT CURRENT RATINGS FOR PANELBOARDS SHALL BE CALCULATED FOR THE RATED VOLTAGE AND REQUIRED CIRCUIT BREAKERS INSTALLED FOR THAT SHORT CIRCUIT CURRENT.

TYPE	MANUFACTURER & CATALOG #	LAMPS	MOUNTING	REMARKS	VOLT.
A	MERCURY #35-E440-MMII-9A	(4)F40WW/MM	RECESSED	SALES & OFFICE AREA	277
B	MERCURY #240-MMII & 240T-MMII	(2)4'-F40WW/MM	SURFACE	4' & 8' STRIP FIXTURE	277
C	KEENE #R6GH140 MINILINE/ STIAL 6"X48" WALLWASH	(1)4'-F0WN/MM	RECESSED	W/HOLOPHANE 6044 WALL WASH LENS	277
D	OMITTED				
E	MERCURY #106240RS-ESB	(2)F40WW/MM	SURFACE	FITTING ROOMS ONLY 4' LENGTHS	277
H	LIGHTRON #VPR-150-HPS-G	LU 150	RECESSED	UNDER CANOPY	277
J	PHOENIX #DL-300DS	300W R40	WALL	DOCK LIGHT 6'6 AFF	120
K	LIGHTRON #134-150-HPS-PC-IS	LU 150	WALL	EXTERIOR 15' A.F.G.	277
P	E.L.& S. #ELRN-36-RDQZ	2-6V 300 LUMEN	RECESSED	SALES AREA CEILING ON BATTERY	6
Q	E.L.& S. #QRW5 6V-12W	6V 300 LUMEN	WALL	CONNECT TO "P" ABOVE	6
R	E.L.& S. #M12D360-ROB-LVD-S12		SHELF	REMOTE EMERGENCY BATTERY	
S	E.L.& S. #QRW5-12V-12W	12V 300 LUMEN	WALL	CONNECT TO "R" ABOVE	12
T	E.L.& S. #RXC-6DC	2-6VDS-10W	SURFACE	6 VDC	6
U	E.L.& S. #RXC-12VDC	2-12VDS-10W	SURFACE	12 VDC	12

NOTES:

1. ALL FLUORESCENT FIXTURES TO BE SUPPLIED WITH: MAXI MISER II ENERGY SAVING BALLAST.
2. TYPE "K" OR SIMILAR SECURITY LIGHTING TO BE MOUNTED ABIVE EACH EMERGENCY EXIT (MINIMUM REQUIREMENT) FROM MARSHALLS OCCUPANCY

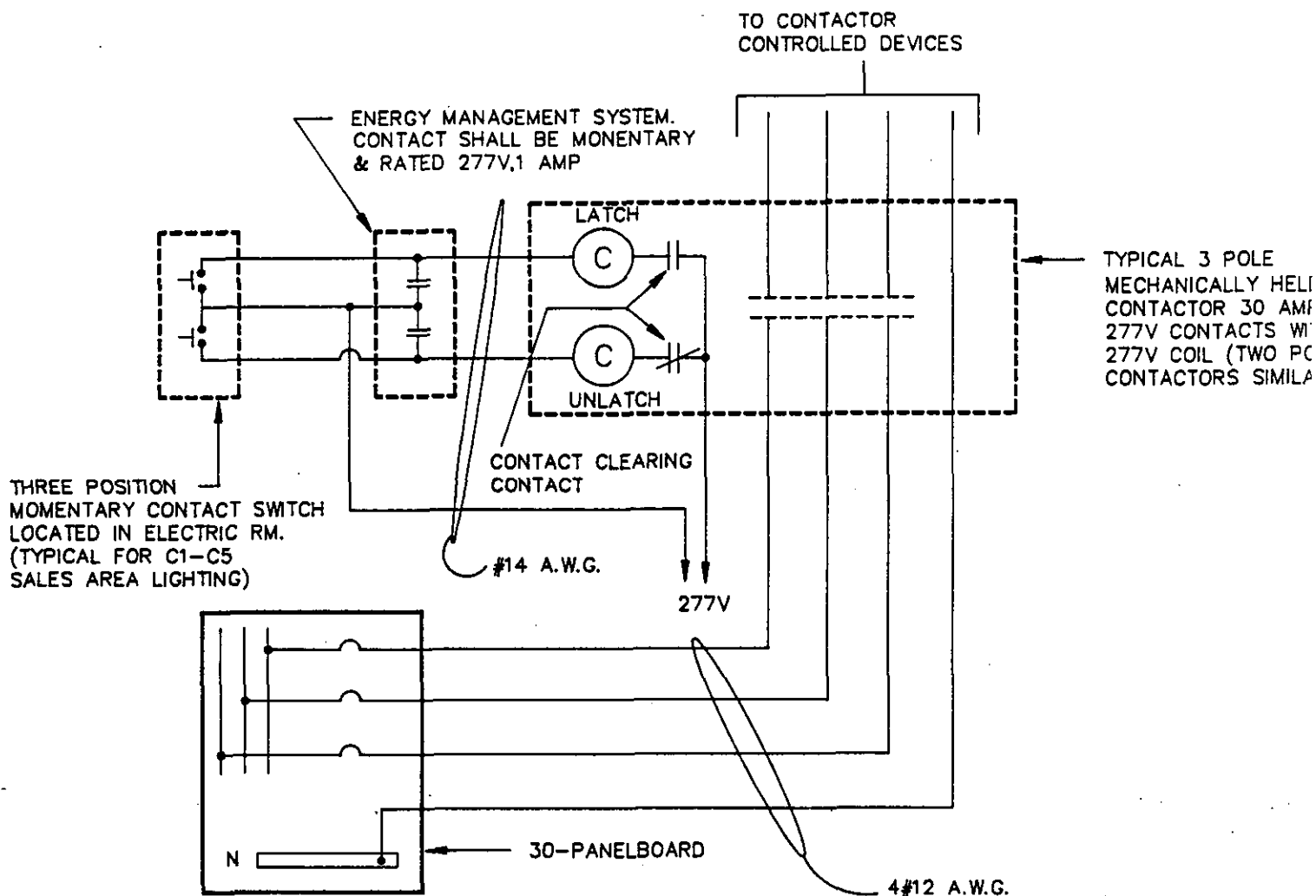
LAMPS AND FIXTURES ARE AVAILABLE FROM THE FOLLOWING VENDOR: LIDO LIGHTING INC.
964 GRAND BLVD.
DEER PARK, NY. 11729
BILL PIERRO
(516) 595-2000

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DATE: 3/1/88

SWITCHBOARD, PANELBOARDS
& LIGHTING SCHEDULES

ME
3



TYPICAL CONTACTOR CONTROL

N.T.S.

CONTACTOR CONTROL SCHEDULE					
CONTACTOR	POLES	COIL VOLTAGE	CONTACT SIZE	COIL CONTROL	REMARKS
C1	7	277	20A	M.S.	HALF LIGHTING SALES 14' CEILING
C2	6	277	20A	M.S.	HALF LIGHTING SALES 14' CEILING
C5	3	277	20A	M.S.	CORNICE
C6	3	277	20A	T.S.	PERIMETER LIGHTING
C7	2	277	20A	T.S.	CANOPY LIGHTING
C8	3	120	60A	T.S. & P.C.	SIGN LIGHTING

1. M.S. - MANUAL SWITCH, T.S. - TIME SWITCH, P.C. - PHOTOCELL CONTROL
2. CONTACTORS SHALL BE SQUARE D CO. CLASS 8903, MECHANICALLY HELD IN NEMA TYPE 1 GENERAL ENCLOSURE
3. WHEN ENERGY MANAGEMENT SYSTEM IS INSTALLED, ALL CONTACTORS SHALL BE CONTROLLED BY THIS SYSTEM. TIME SWITCHES WILL NOT BE REQUIRED.

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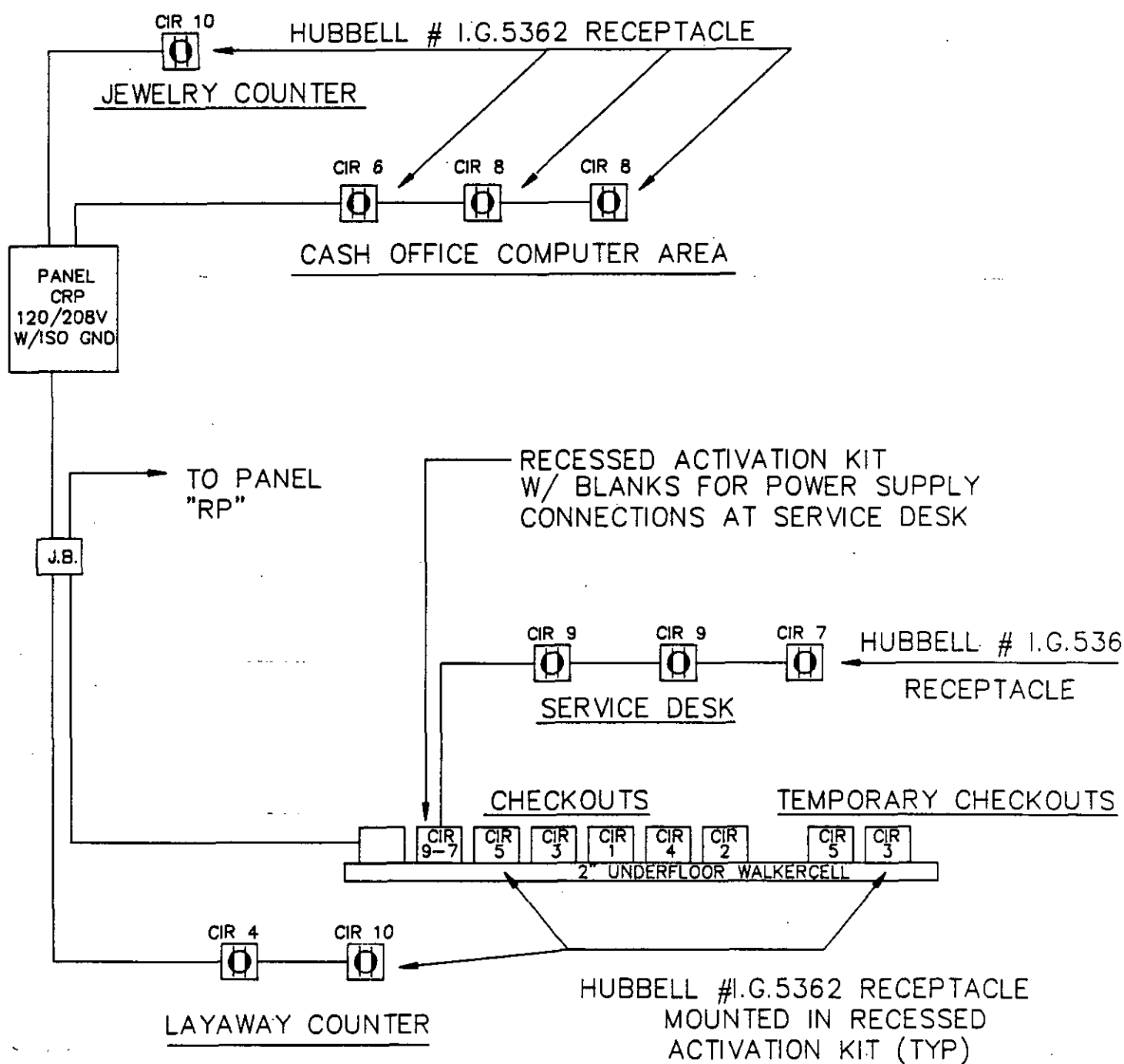
CONTACTOR WIRING
DETAIL AND SCHEDULE

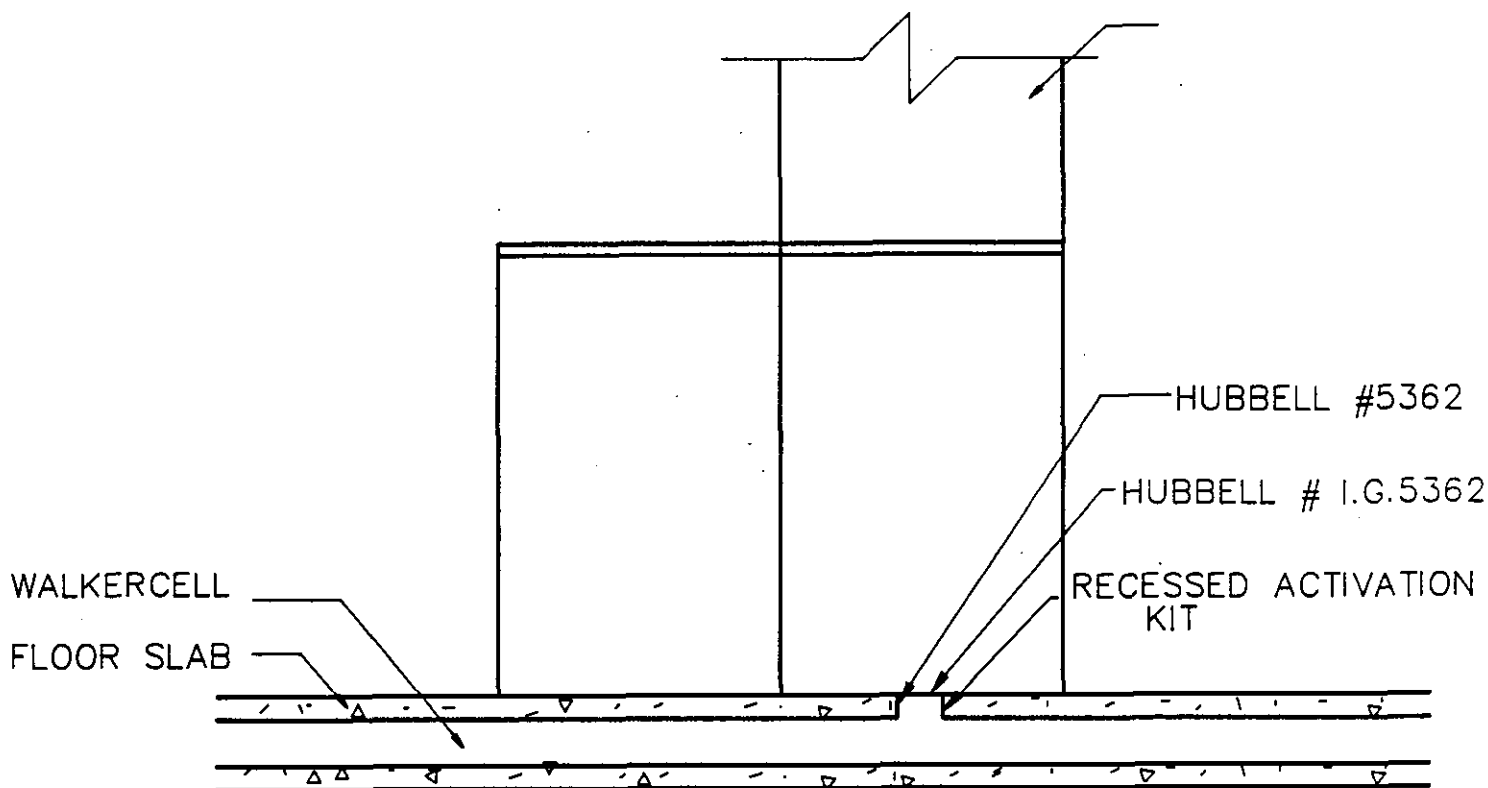
ME
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UNDER FLOOR WALKERCELL GENERAL NOTES:

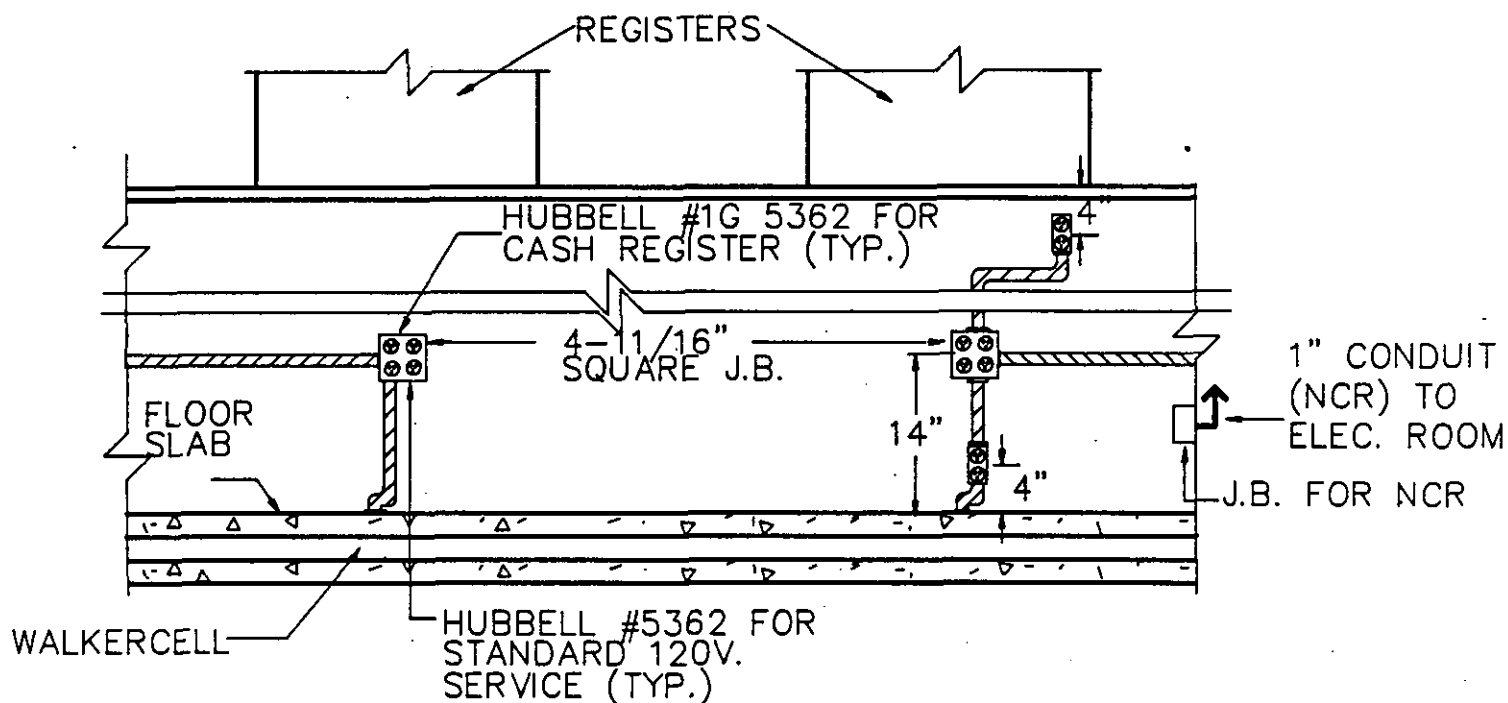
FURNISH AND INSTALL IN THE CONCRETE FLOOR, WHERE SHOWN ON THE DRAWINGS, A THREE CELL UNDERFLOOR DISTRIBUTION SYSTEM AS MANUFACTURED BY WALKER PARKESBURG. THE WALKERCELL SYSTEM SHALL CONSIST OF TEN FOUR (WCR-10/24) AND TWENTY FOOT (WCR-20/24) DUCT SECTIONS. JUNCTION BOXES (2JBH242515) WILL HAVE CARPET TILE HOLDERS (22CHS) AND THE NECESSARY ADAPTERS FOR 2" CONDUITS AS NOTED. EACH LENGTH OF DUCT WILL HAVE PRE-SET INSERTS (PK200) SPACED ON 24" CENTERS WITH PRESET MARKER SCREW COVERS (PMS-415N). EACH DUCT SECTION SHALL BE CONNECTED WITH A RACEWAY SUPPORT COUPLING BRACKET (RSC-B4). THE BLANK END OF THE DUCT WILL BE CLOSED WITH A RACEWAY END CLOSURE (REC).

UNDER EACH PERMANENT AND TEMPORARY REGISTER COUNTER INSTALL A RECESSED ACTIVATION KIT WITH A CAST ALUMINUM COVER (RAK-M FLANGED). EACH RECESSED ACTIVATION KIT WILL CONTAIN ONE HUBBELL I.G.5362 DUPLEX RECEPTACLE, ONE HUBBELL 5362 DUPLEX RECEPTACLE, ONE MJB-1 BRACKET, AND ONE DTB-2-20 BRACKET. SEE SKETCH FOR DETAILS.



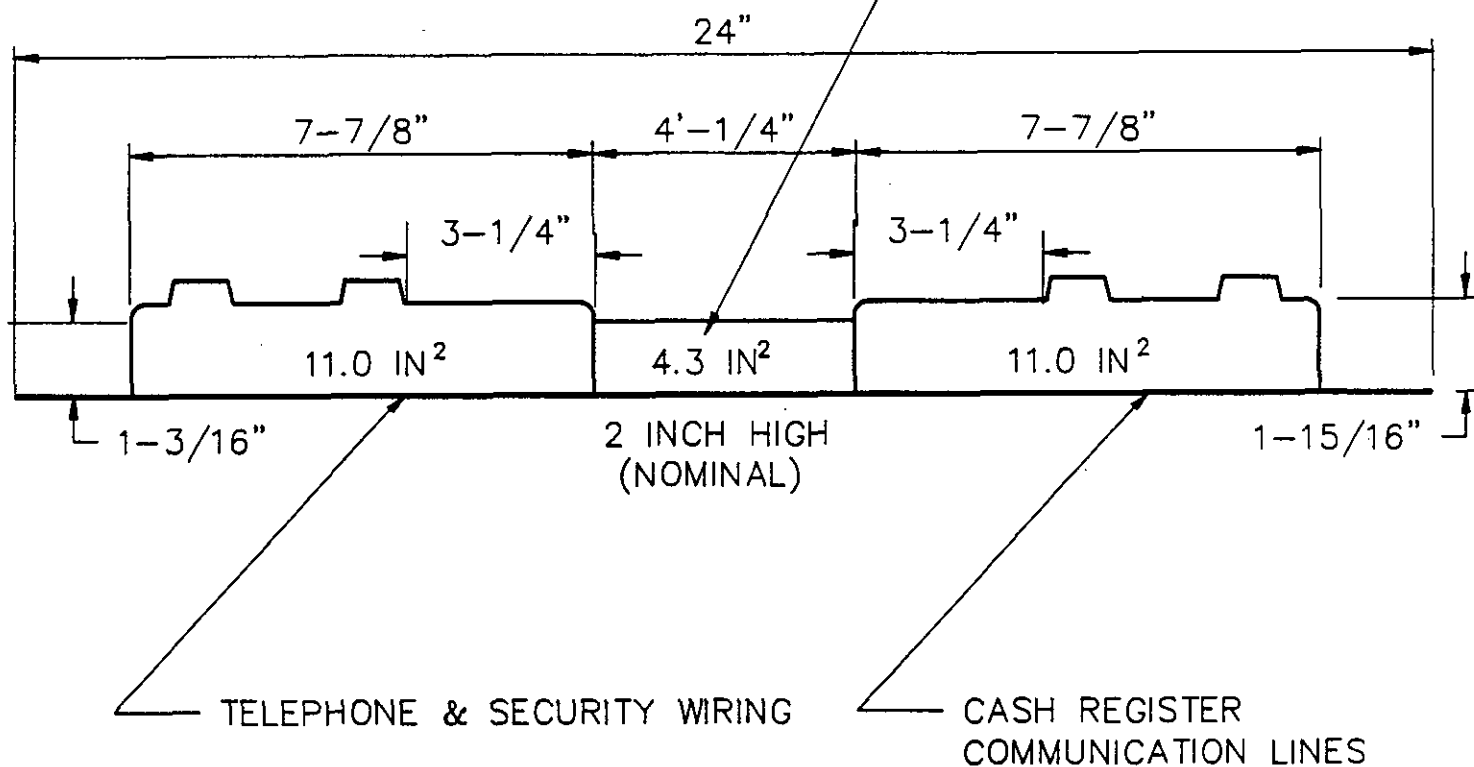


CHECK OUT RECEPTACLES

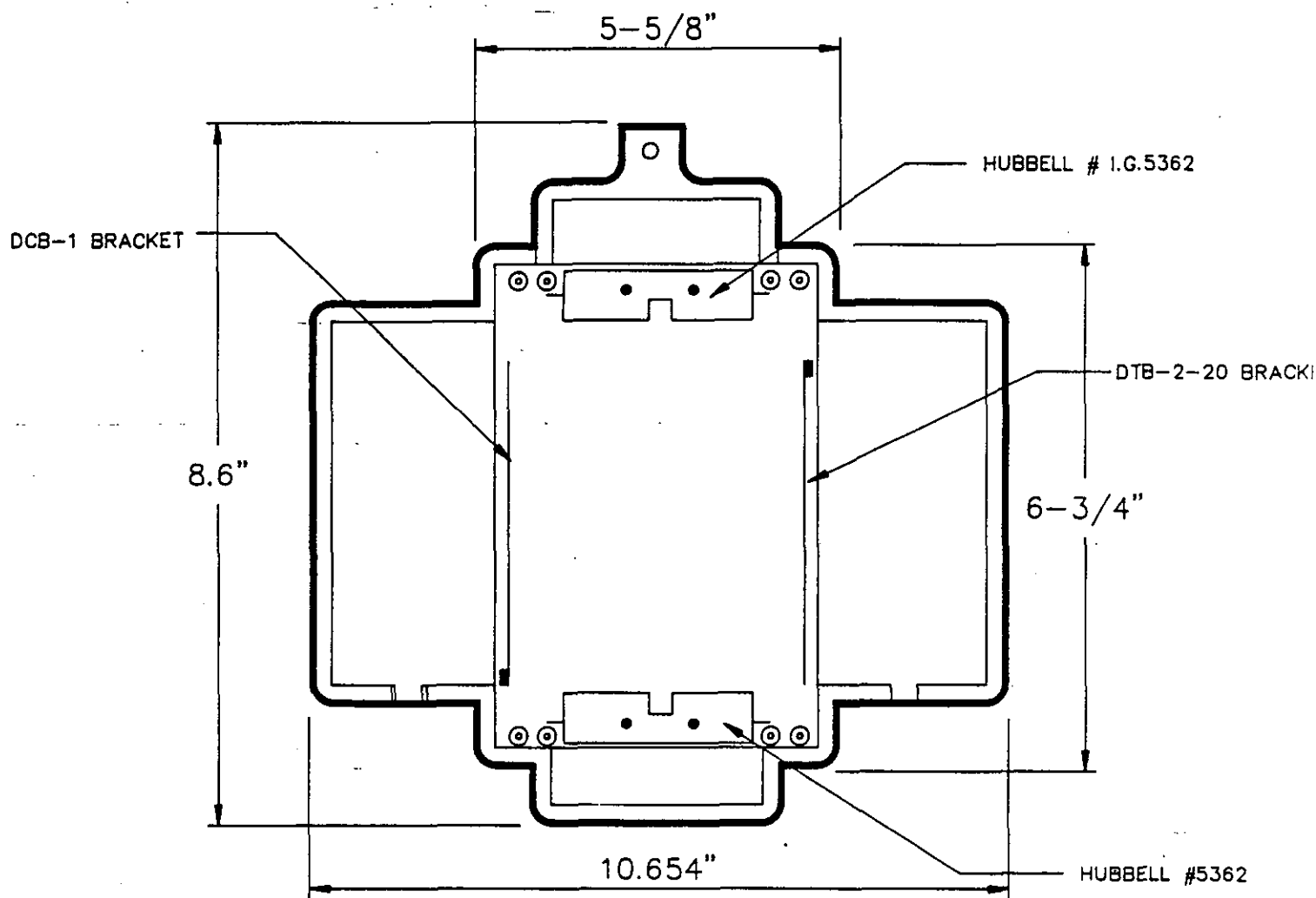


SERVICE DESK

I.G. DEDICATED AND STANDARD CIRCUITS



WALKERCELL CROSS SECTION



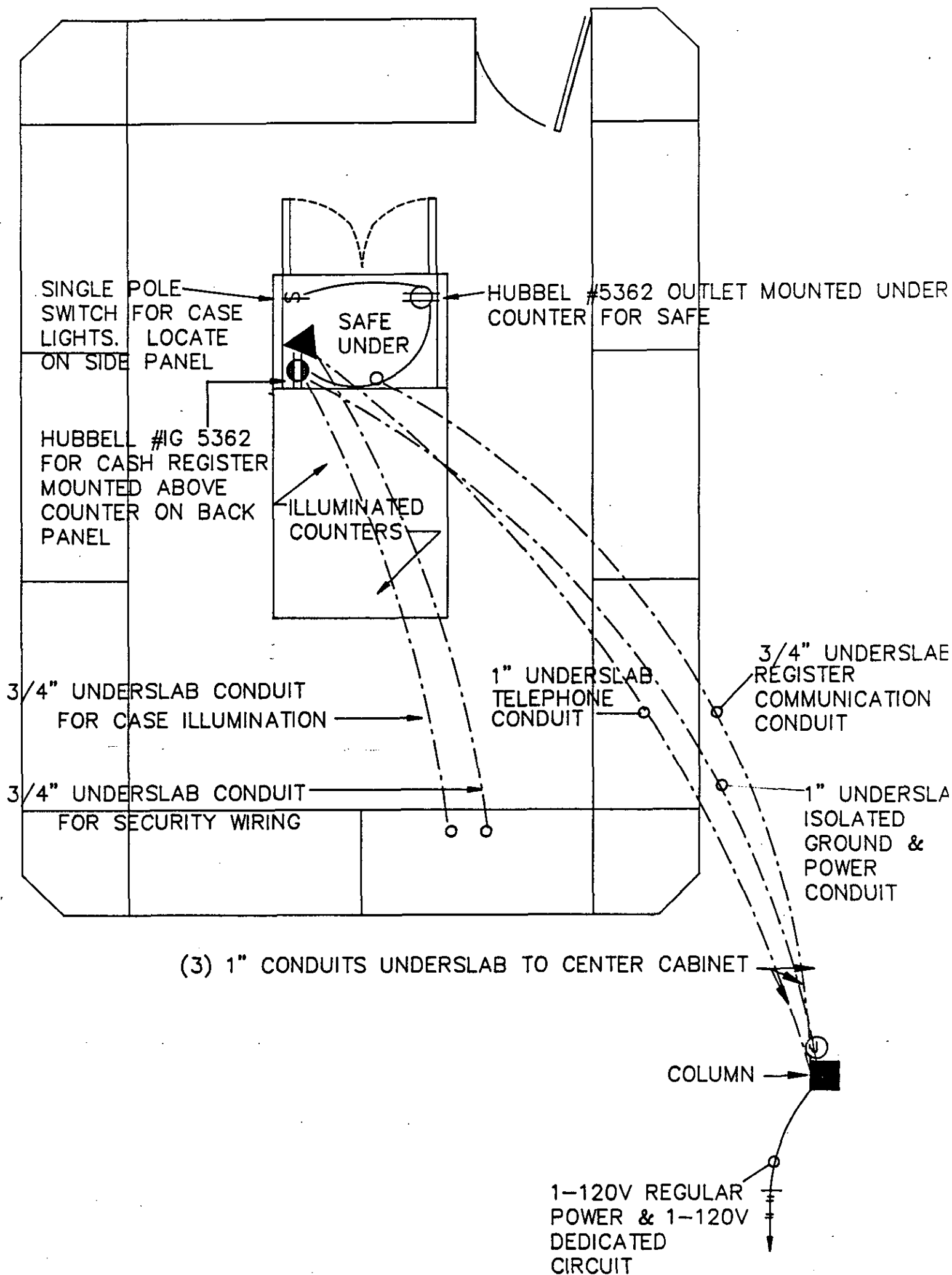
CHECKOUT ARRANGEMENT

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CHECKOUT AND WALKERCELL
ARRANGEMENTS

ME
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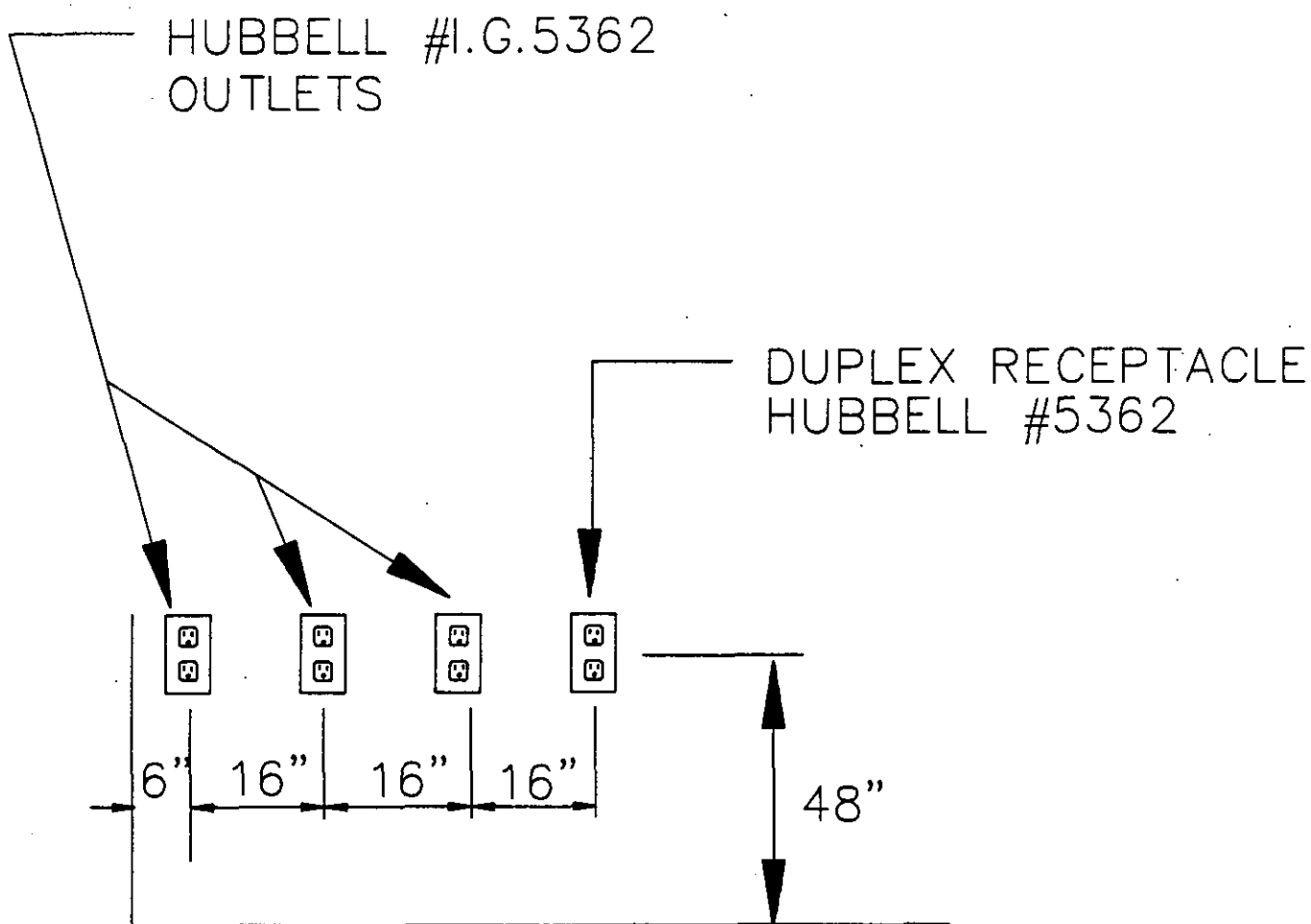


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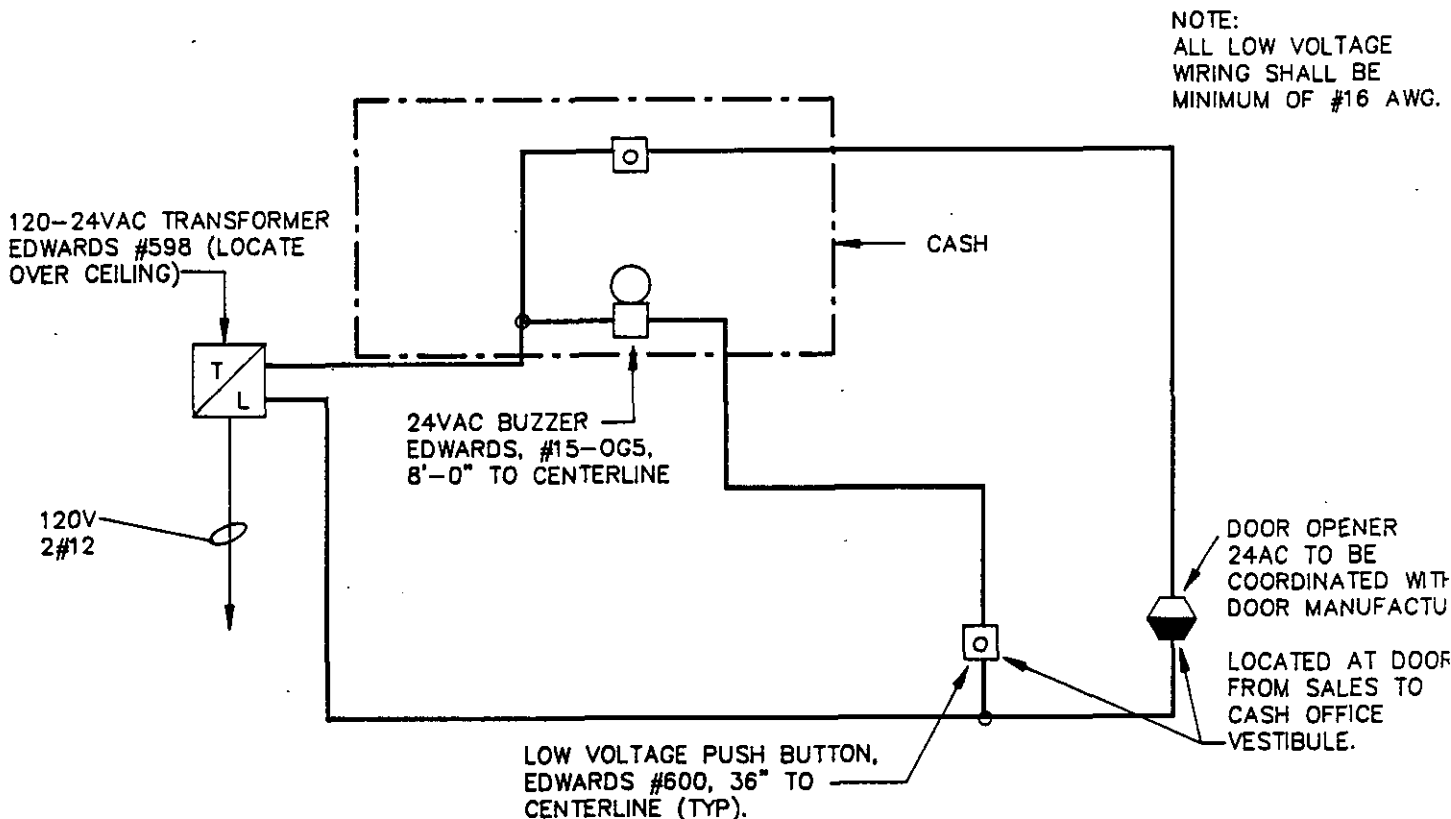
N.T.S.



N.T.S.

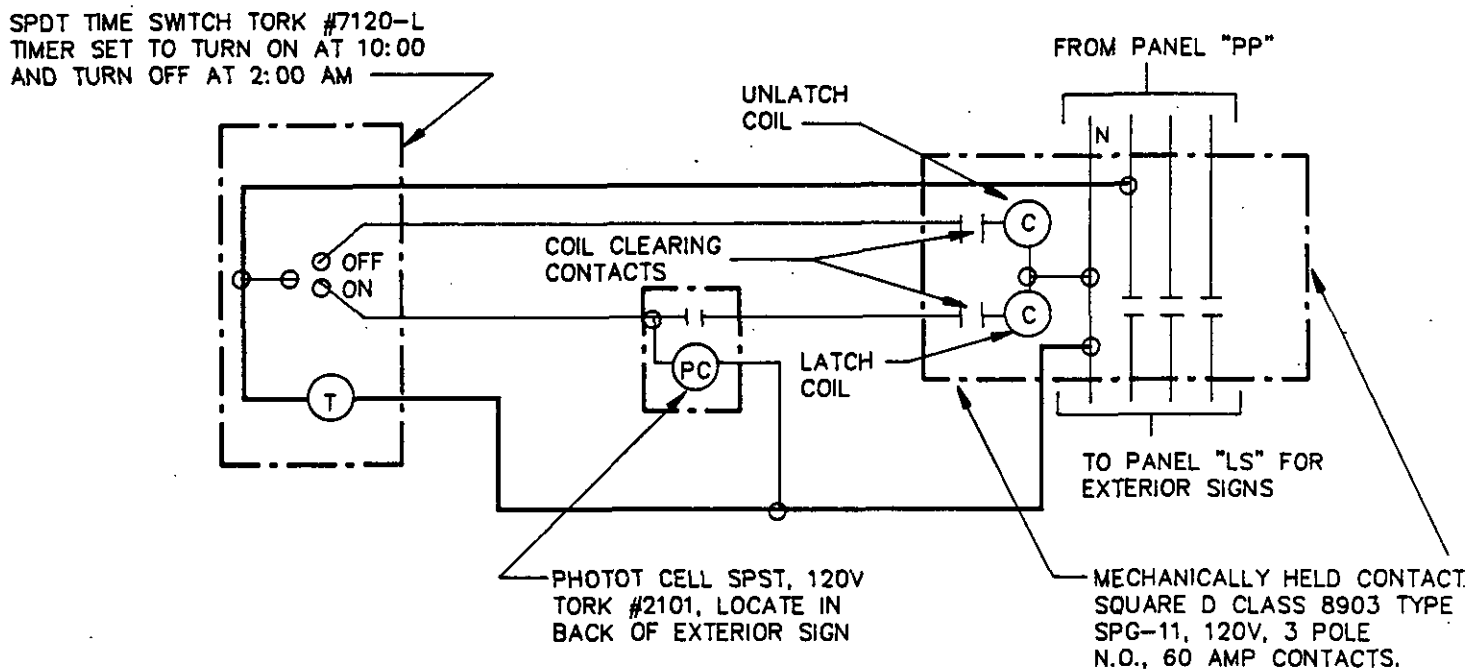


IBM REGISTER OUTLET ELEVATION
N.T.S.



DOOR OPENER WIRING DIAGRAM

N.T.S.



EXTERIOR WIRING DIAGRAM

N.T.S.

NOTE:
ELECTRICIAN SHALL LOCATE ALL REQUIRED JUNCTION BOXES FOR MARSHALLS SIGNAGE TO WITHIN
5' OF THE FINAL SIGN LOCATION.

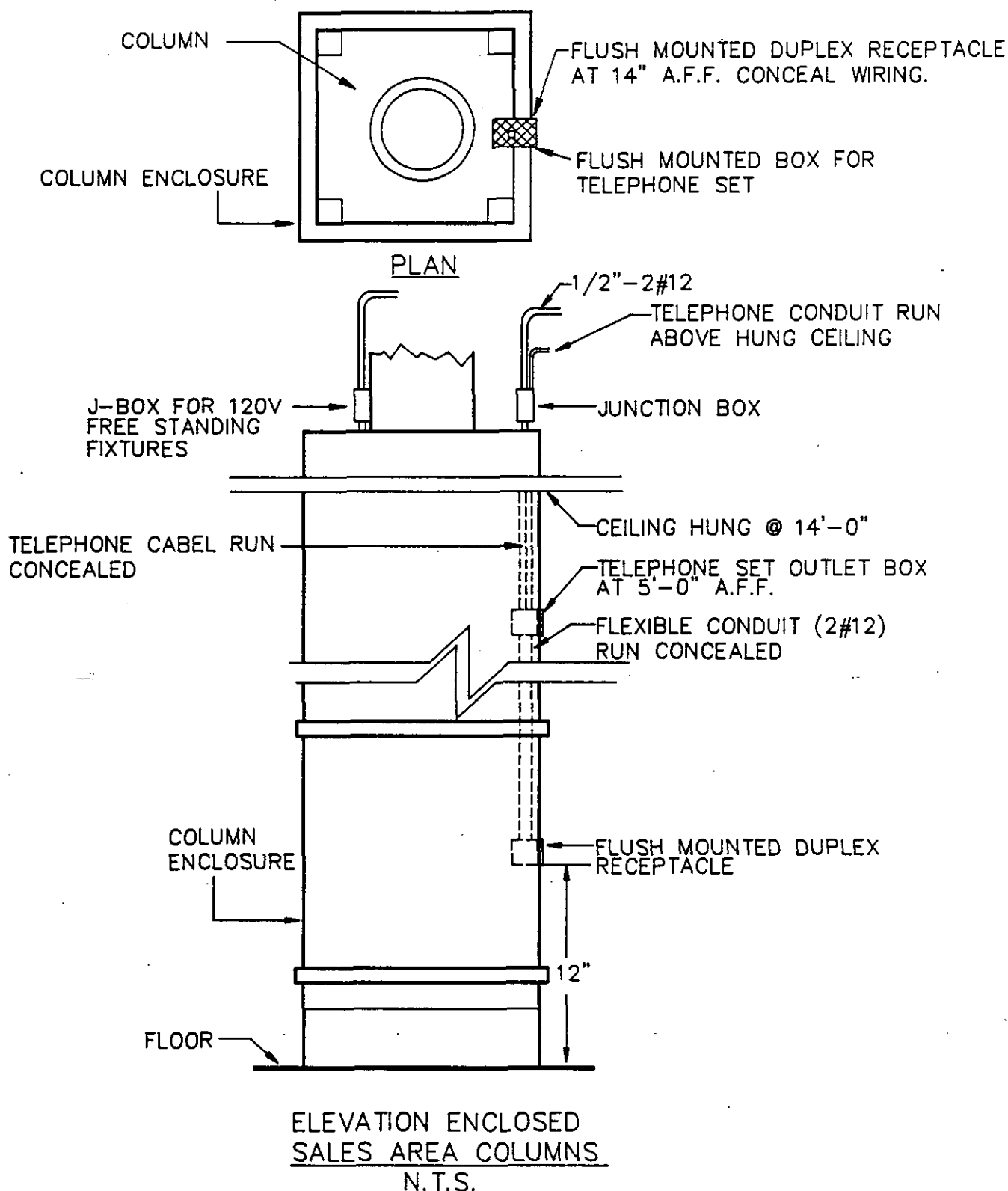
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DOOR OPENER AND EXTERIOR
SIGN WIRING DIAGRAMS

ME
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NOTE: T-STATS, TELEPHONES, AND ELECTRICAL BOXES ON THE REAR SIDE OF SALES AREA COLUMNS. TELEPHONES ARE TO BE ON ALL COLUMNS INDICATED BY MARSHALLS PLAN. ELECTRIC OUTLETS ARE TO BE ON ALL COLUMNS IN CARPETED AREAS. J-BOX FOR FREESTANDING FIXTURE CIRCUITS ARE TO BE ON ALL SALES AREA COLUMNS.



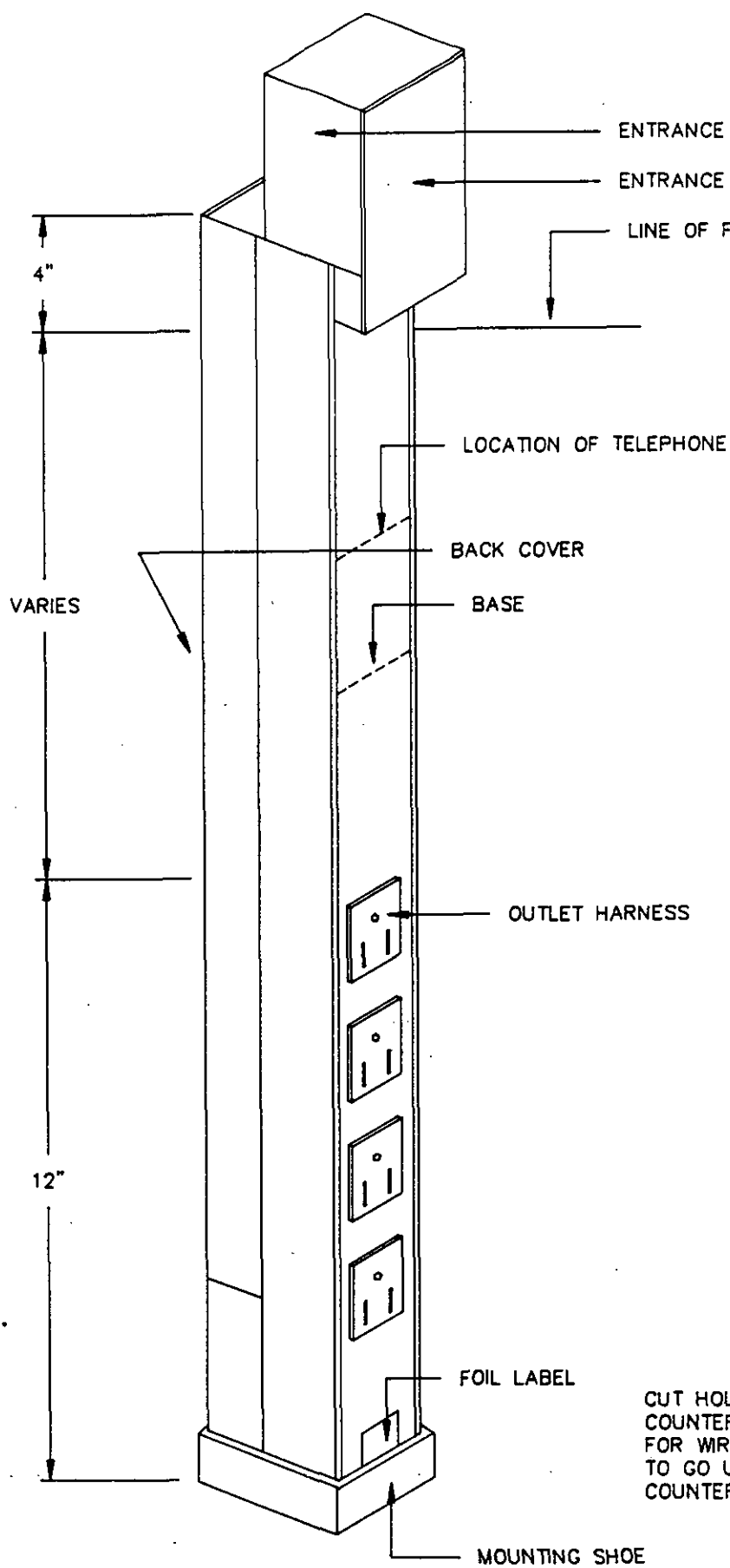
J-BOX FOR 120V SUPPLY AT EACH COLUMN ABOVE THE CEILING. ELECTRICAL CONTRACTOR TO WIRE (3) THREE J-BOXES TO EACH CIRCUIT AT PANEL. FROM APPROXIMATELY (8) EIGHT J-BOXES E.C. TO WIRE WHIPS OVER CEILING AND DOWN THRU 1/2" CONDUIT TO MARSHALLS FREESTANDING ILLUMINATED FIXTURES AND MAKE FINAL CONNECTIONS (SEE DETAIL MA-8). REFER TO MARSHALLS F-1 DWG. FOR LOCATION OF FREESTANDING ILLUMINATED FIXTURES. (VERIFY FINAL LOCATION WITH MARSHALLS PROJECT MANAGER). ALL TELEPHONE CABLE SHALL BE RUN IN CONDUIT. MINIMUM SIZE SHALL BE 3/4 INCH. E.C. TO RUN CONDUIT FROM INCOMING TELEPHONE BOARD TO ALL TERMINAL POINTS SHOWN ON DRAWINGS.

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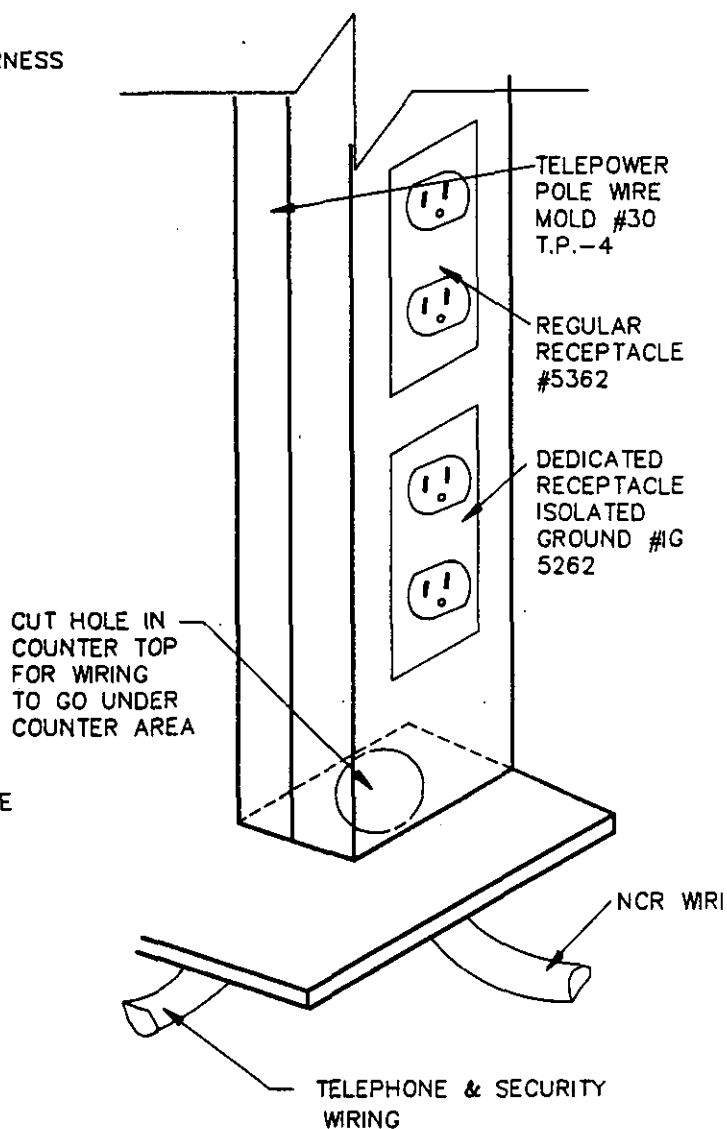
SALES AREA COLUMN
ELEVATIONS

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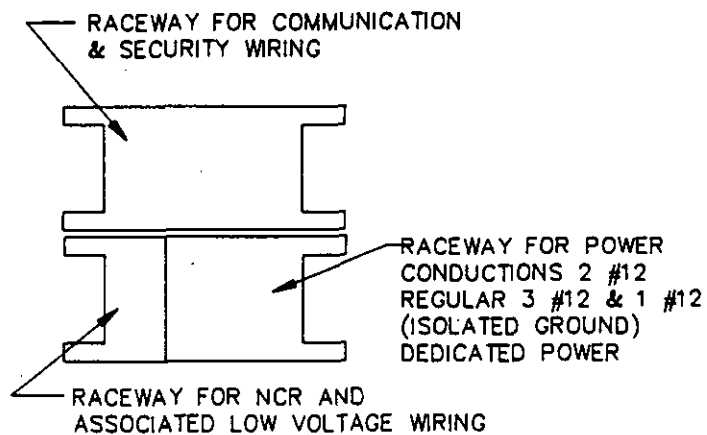
TELE-POLE

NOTE: WHEN REQUIRED G.C. TO PROVIDE POLES AT ALL FREESTANDING FIXTURE DIVIDING WALLS IN SALES AREA. TWIST LOCK RECEPTACLES TO BE PROVIDED.



CROSS SECTION

NOTE: THIS DETAIL TO BE USED ONLY IN SPECIAL CONDITIONS.

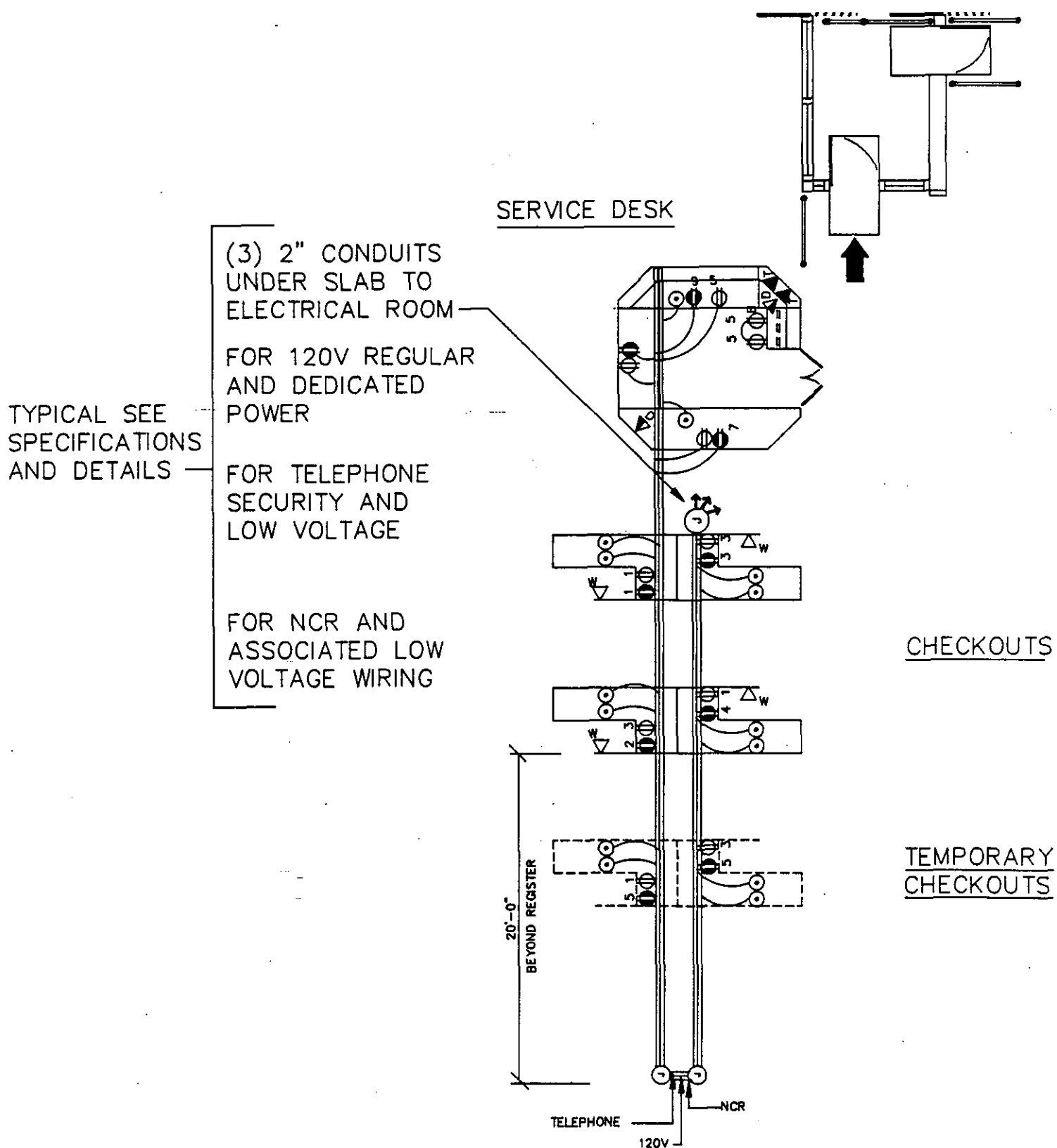


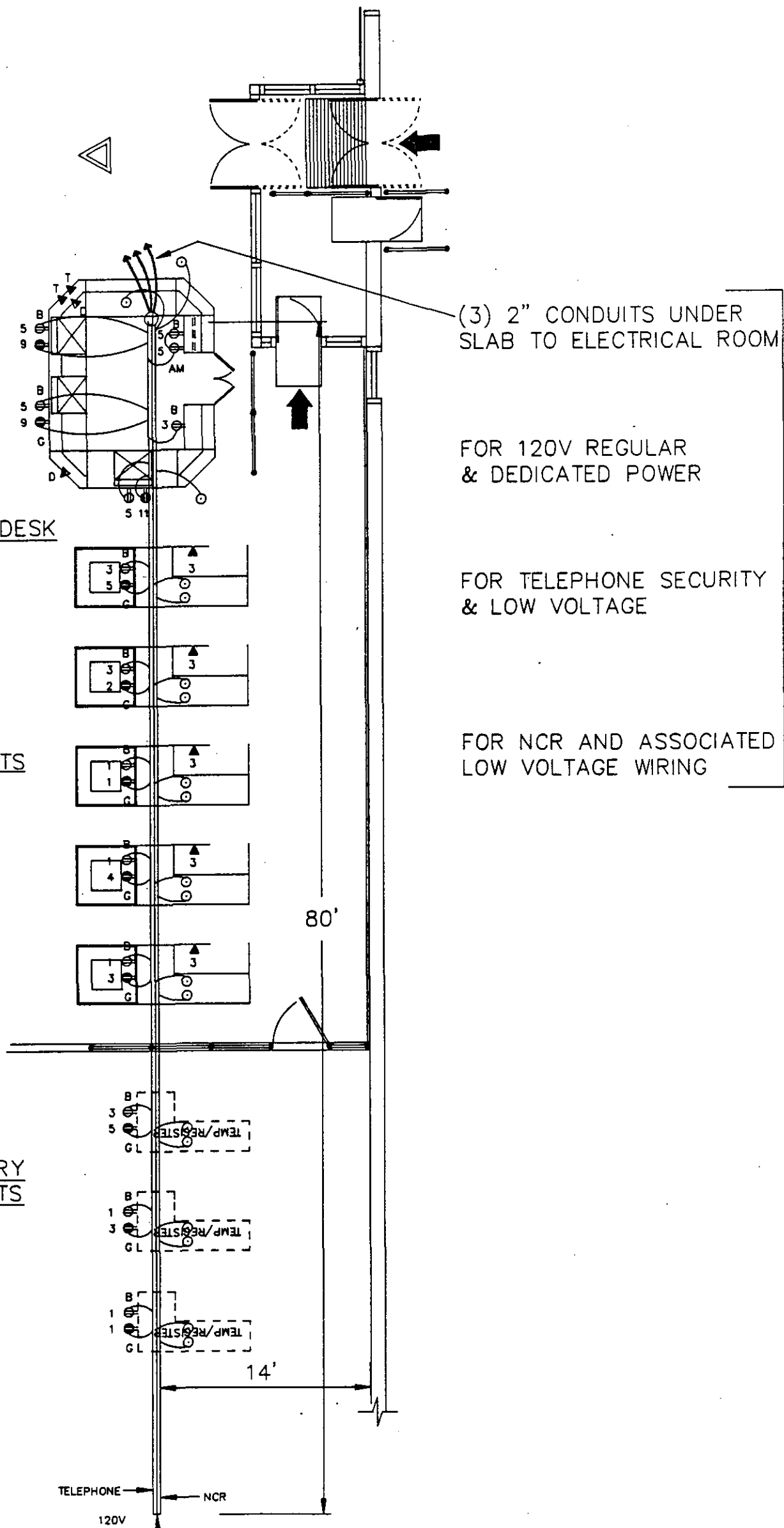
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TELE-POLE DETAILS

ME
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(3) 2" CONDUITS UNDER SLAB TO ELECTRICAL ROOM

FOR 120V REGULAR & DEDICATED POWER

FOR TELEPHONE SECURITY & LOW VOLTAGE

FOR NCR AND ASSOCIATED LOW VOLTAGE WIRING

TYPICAL- SEE SPECIFICATIONS & DETAILS

SERVICE DESK

CHECKOUTS

TEMPORARY CHECKOUTS

80'

14'

TELEPHONE
120V
NCR

NEW ROOFTOP UNIT SCHEDULE							
UNIT #1	CARRIER MODEL #	EVAPORATOR CFM	ARI TOTAL COOLING	HEATING CAPACITY OUTPUT	VOLTAGE DATA	CURB DIMEN & UNIT WEIGHT	ACCESSORIES
HVAC-1	48 DR 016	5600	184 MBH	216 MBH	460V-3Ø	5'-7"x6'-2" 2030 LBS	CURB, ECONOMIZER
HVAC-2	48 DF 024	7650	237 MBH	360 MBH	460V-3Ø	10'-0"x6'-6" 3575 LBS	CURB, ECONOMIZER
HVAC-3	48 DF 024	8500	241 MBH	360 MBH	460V-3Ø	10'-0"x6'-6" 3575 LBS	CURB, ECONOMIZER
HVAC-4	48 LD 004	1200	37.4 MBH	61.5 MBH	460V-3Ø	6'-0"x2'-9" 795 LBS	CURB, T'STAT SUB-BASE
HVAC-5	48 LD 004	900	35.4 MBH	61.5 MBH	460V-3Ø	6'-0"x2'-9" 795 LBS	CURB, T'STAT SUB-BASE
HVAC-6	48 DR 012	4030	123 MBH	183 MBH	460V-3Ø	5'-7"x6'-2" 1610 LBS	CURB, ECONOMIZER

DIFFUSER AND RETURN GRILLE SCHEDULE					
SYMBOL	CFM RANGE	ROUND NECK SIZE	PANEL SIZE	RECTANGLE NECK SIZE	METAL-AIRE MODEL #
(A)	1250-1750	SEE DRAWING	48" X 24"	42" X 18"	M6-R4-D5
(B)	625-1225	SEE DRAWING	24" X 24"	18" X 18"	M6-S4-D5
(C)	400-600	SEE DRAWING	24" X 24"	15" X 15"	M6-S4-D5
(D)	220-375	SEE DRAWING	24" X 24"	12" X 12"	M6-S4-D5
(E)	125-200	SEE DRAWING	24" X 24"	9" X 9"	M6-S4-D5
(F)	UP TO 125	SEE DRAWING	24" X 24"	6" X 6"	M6-S4-D5
(G)	100-225	-	-	10" X 6"	VHD
(H)	250-450	-	-	18" X 8"	VHD
(J)	475-600	-	-	24" X 6"	VHD
(1)	UP TO 4000	-	48" X 24"	-	CC-5-TB
(2)	UP TO 2000	-	24" X 24"	-	CC-5-TB
(3)	UP TO 1000	-	12" X 12"	-	CC-5-TB
(4)	UP TO 1000	-	-	24" X 12"	RH
(5)	1000-2000	-	-	24" X 24"	RH
(6)	2000-4000	-	-	48" X 24"	RH

EXHAUST FAN SCHEDULE						
FAN NO.	AIR FLOW CFM	STATIC PRESSURE INCHES W.C.	HP	VOLTAGE	MAKE AND MODEL NO.	ACCESSORIES
EF-1,2	150	0.125	64 W	120V-Ø	GREENHECK SP-17	WSP WALL DISCHARGE
EF-3	90	0.125	43 W	120V-Ø	GREENHECK SP-8	WSP WALL DISCHARGE
EF-4	300	0.125	172 W	120V-Ø	GREENHECK SP-27	RDSP ROOF DISCHARGE

CONTROLS FOR PACKAGED ROOFTOP EQUIPMENT SHALL BE T7400B/W7401A THERMOSTATS AS MANUFACTURED BY HONEYWELL'S ENERGY PRODUCTS DIVISION. THE T7400B PROGRAMMING MODULES SHALL BE MOUNTED IN A LOCKABLE PANEL AND LOCATED ADJACENT TO THE ENERGY MANAGEMENT EQUIPMENT.

THE T7400B/W7401A SYSTEM SHALL INCLUDE A SPACE AND A DISCHARGE AIR SENSOR AND CONTROLS NECESSARY FOR INTERFACING TO THE ECONOMIZER SUPPLIED WITH THE PACKAGED ROOFTOP EQUIPMENT.

REFER TO MM-6, MM-7 AND MM-8 FOR ENERGY MANAGEMENT CONTROL SPECIFICATIONS.

PLEASE USE THE FOLLOWING UPDATED HVAC SPECIFICATIONS AS A GUIDE IN CONSTRUCTING A MARSHALLS' STORE. THESE SPECIFICATIONS ARE VALID FOR NEW CONSTRUCTION AS WELL AS MAJOR REMODELING USING NEW EQUIPMENT.

THE OVERVIEW OF HVAC REQUIREMENTS FOR A TYPICAL NEW MARSHALLS' STORE IS A 30,000 SQ. FT. SPACE WITH 70 TONS OF COOLING (200-635 SQ. FT. PER TON), NATURAL GAS HEATING AND INTERGRATED ECONOMIZER. THE ROOF TOP EQUIPMENT WILL BE MANUFACTURED BY CARRIER, LENNOX, OR TRANE COMPANIES. UTILIZING A DUCTED SUPPLY AND A CEILING PLENUM RETURN SYSTEM. THE EQUIPMENT WILL BE CONTROLLED BY A HONEYWELL MODEL W7020H ENERGY MANAGEMENT SYSTEM.

THE MARSHALLS' STORE WILL BE DIVIDED INTO FOUR SEPARATE DESIGN ZONES AS FOLLOW:

SALES AREA: 400 SQ. FT. PER TON 1 CFM PER SQ. FT.

OFFICE AREA: 300 SQ. FT. PER TON 1.3 CFM PER SQ. FT.

STOCK ROOM: 635 SQ. FT. PER TON .70 CFM PER SQ. FT.

FITTING ROOM: 300 SQ. FT. PER TON 1.3 CFM PER SQ. FT.

IN ADDITION:

A 200,000 BTU GAS FIRED UNIT HEATER WILL BE INSTALLED ADJACENT TO THE STOCK ROOM RECEIVING DOOR, CONTROLLED BY A SEPARATE REMOTE THERMOSTAT.

THE ENTRANCE VESTIBULE WILL HAVE AND ELECTRIC 2000 WATT FAN FORCED HEATER WITH AN INTEGRAL THERMOSTAT.

A 2" EMPTY ELECTRICAL CONDUIT WILL BE RUN THROUGH THE CEILING PLENUM SPACE FROM THE FRONT ELECTRICAL ROOM TO THE CASH OFFICE.

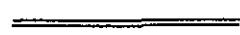
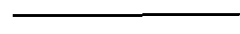
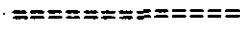
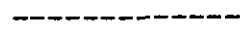
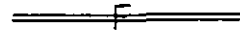
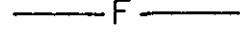
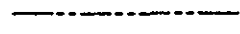
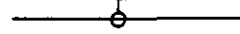
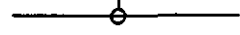
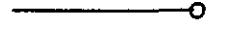
PROVIDE EXHAUST FANS IN ALL TOILET ROOMS, JANITOR CLOSET, AND LOUNGE.

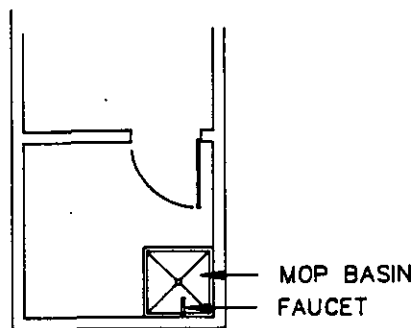
AIR BALANCE REPORT FOR ENTIRE SYSTEM TO BE SUBMITTED TO MARSHALLS FOR APPROVAL.

ELECTRIC HEATER SCHEDULE					
MARK NO.	MANUFACTURER	MODEL	TOTAL CAPACITY KW	ELECTRIC	
				VOLT	PH
EH-1	MARKEL	870	2	208	1
EH-2	MARKEL	780	2	208	1
EH-3	MARKEL	780	1.5	208	1

GAS FIRED UNIT HEATER SCHEDULE								
MARK NO.	MANUFACTURER	MODEL	CAPACITY MBH		FLUE IN.	MOTOR HP	ELECTRIC	
			INPUT	OUTPUT			VOLT	PH
GUH-1	REZNOR	XL-200	200	154	8"OV	1/6	115	1

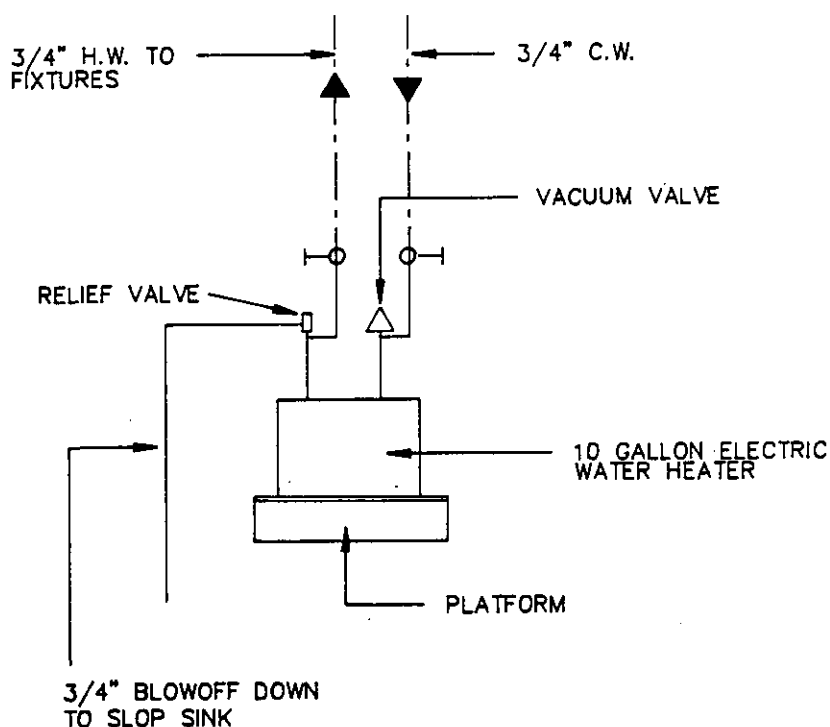
		COOLING REQUIREMENTS				ASHRAE DESIGN HEATING REQUIREMENTS				VENTILATION
DESIGNATION	TYPICAL SIZE SQ. FT.	DESIGN SPECS.		TYPICAL SUPPLY		4000 OR MORE DEGREE DAYS PER YEAR		LESS THAN 4000 DEGREE DAYS PER YEAR		C.F.M.
		SQ. FT. PER TON	CFM PER SQ. FT.	TONS	CFM	BTH PER SQ. FT.	TYPICAL SUPPLY (BTH)	BTH PER SQ. FT.	TYPICAL SUPPLY (BTH)	
AREA MAN. OFFICE	180	300	1.3	.5	200	23	3800	9	1440	

	SOIL (S.) OR WASTE (W.) UNDER FLOOR
	SOIL (S.) OR WASTE (W.) ABOVE FLOOR
	VENT (V.) UNDER FLOOR
	VENT (V.) ABOVE FLOOR
	FIRE MAIN (F.) UNDER FLOOR
	FIRE MAIN (F.) ABOVE FLOOR
	COLD WATER (C.W.) PIPING
	HOT WATER (H.W.) PIPING
	SEWER
	DOMESTIC WATER SERVICE BELOW FLOOR
	DOMESTIC WATER SERVICE ABOVE FLOOR
	GAS (G.) PIPING
	SHUT OFF VALVE
	GAS COCK
	PIPE UP
	PIPE DOWN
CO.	CLEANOUT
F. CO.	FLOOR CLEANOUT
W.H.A.	WATER HAMMER ARRESTOR
H.B.	HOSE BIBB
W.H.	WALL HYDRANT
V.S.	VENT STACK
C.I.	CAST IRON
F.D.	FLOOR DRAIN
P.1	WATER CLOSET: AMERICAN STANDARD 2221.018, WITH SLOAN 110-3 FLUSH VALVE AND CHURCH SEAT #9900-C, WHITE
P-1A	WATER CLOSER (HANDICAPPED) AMERICAN STANDARD 9468.018, WITH SLOAN 110-3 FLUSH VALVE AND CHURCH SEAT #9900-C, WHITE
P-2	LAVATORY: AMERICAN STANDARD 0194.076 WITH SELF-CLOSING CHICAGO FAUCETS 406-E-12
P-2A	LAVATORY: (HANDICAPPED) AMERICAN STANDARD 9141.011 WITH A.S. FAUCET 7516.172
P-2B	LAVATORY: (COUNTER SET) AMERICAN STANDARD 0476.028 WITH SELF-CLOSING CHICAGO FAUCET 404-E-12.
P-3	URINAL: AMERICAN STANDARD 6501.010 WITH SLOAN ROYAL FLUSH VALVE 186.
P-4	MOP SERVICE BASIN, FIAT SB-3636 (36" X 36" X 6") WITH 2 BUMPER GUARDS, 18 GAUGE MOP HANGER 839-CC AND ELJER FAUCET 830-AA.
P-5	WATER COOLER - HALSEY-TAYLOR WM8A OR EQUAL
P-6	WATER COOLER - (HANDICAPPED) HALSEY-TAYLOR
P-7	HOSE B.BB - WOODFORD, 1/2" ϕ W/INTEGRAL VACUUM BREAKER
P-8	10 GAL. CLCC HOT WATER HEATER. SEE ELEC. DRAWINGS FOR WATTAGE AND VOLTAGE.



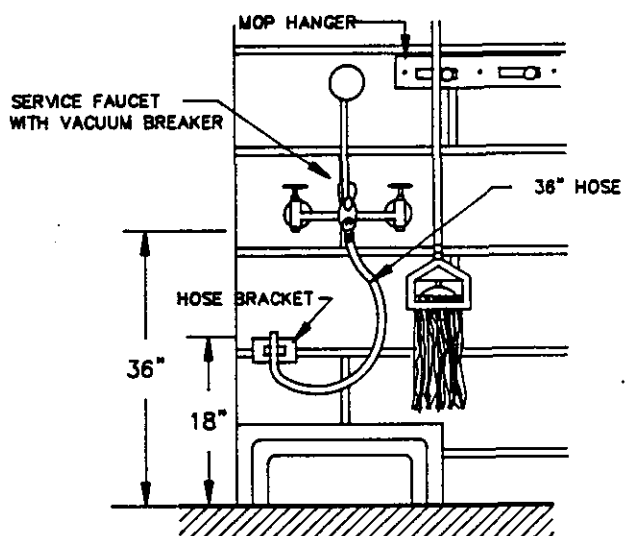
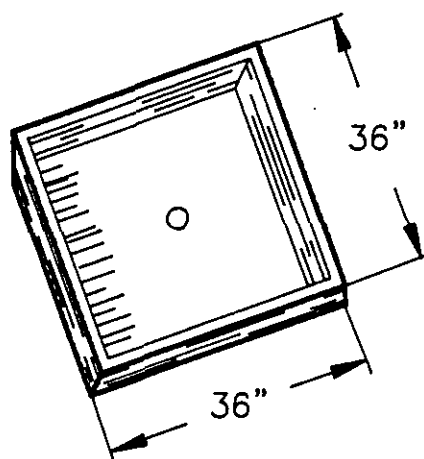
JANITOR'S CLOSET

SCALE: 1/8"=1'-0"



DOMESTIC WATER HEATER

N.T.S.



NOTES:

WATER HEATER: FURNISH AND INSTALL IN JANITOR'S CLOSET ONE (1) - 10 GALLON STORAGE, ELECTRIC GLASSLINED RUUD "RUUDGLAS MASTER" ENERGY MISER WATER HEATER #PE-10 (1-617-235-5300) OR EQUAL HAVING ONE 2000 WATT ELEMENT, 277 VOLT, SINGLE PHASE. FURNISH AND INSTALL ON WATER HEATER A WATTS RELIEF AND VACUUM VALVE TO MEET CODE REQUIREMENTS. ELECTRICAL CONNECTIONS BY ELECTRICAL CONTRACTOR. WARRANTY PERIOD SHALL BE NO LESS THAN 5 YEARS FROM THE INSTALLATION DATE. WATER HEATER TO BE MOUNTED ON A PLATFORM 9'-0" A.F.F. OVER THE SLOP SINK.

MOP SERVICE BASIN OF PRECAST TERRAZZO, BY FIAT PRODUCTS MODEL SB-3636 36" X 36" X 6" TO BE FITTED WITH (2) ALUMINUM BUMPER GUARDS WITH VINYL INSERT ON ALL FOUR SIDES.

MOP HANGER, FIAT #839-CC. 24" LONG X 3" WIDE, 18 GAUGE #302 STAINLESS STEEL ATTACHED WITH FLAT HEAD SLOTTED MACHINE SCREWS, INCLUDED.

SERVICE FAUCET: ELJER FAUCET #830-AA. CHROME PLATED WITH VACUUM BREAKER, INTEGRAL STOPS, ADJUSTABLE WALL BRACE, PAIL HOOK AND 3/4" HOSE THREAD ON SPOUT, 30" HOSE AND HOSE BRACKET AS SHOWN ABOVE, BODY INLETS 8" CENTER TO CENTER. FOUR ARM HANDLES. CENTER OF SPOUT OUTLET FROM BACK OF WALL FLANGE 8"

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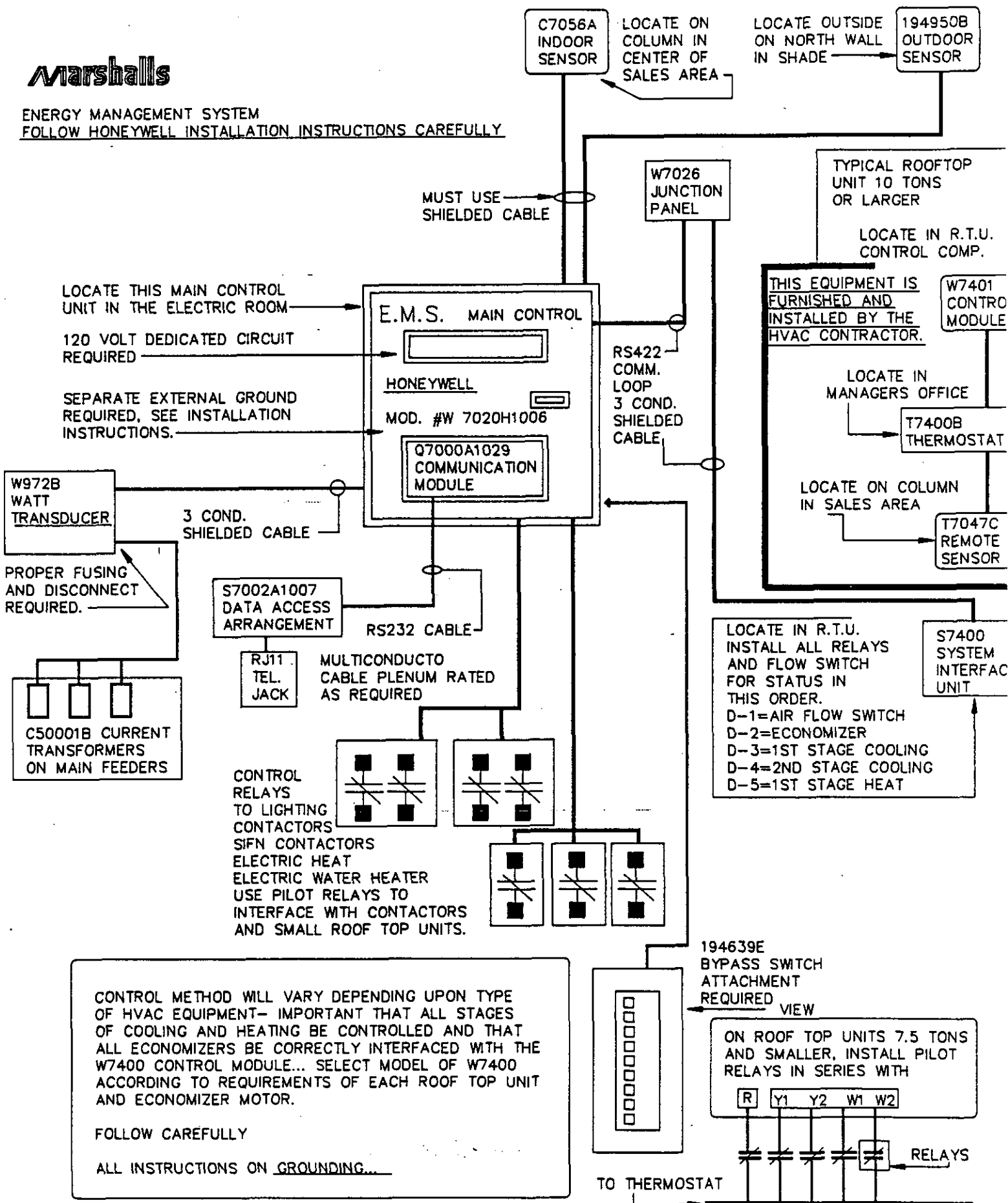
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JANITOR'S CLOSET
PLUMBING DETAILS

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ENERGY MANAGEMENT SYSTEM
FOLLOW HONEYWELL INSTALLATION INSTRUCTIONS CAREFULLY



THE BUILDING MANAGEMENT SYSTEM SHALL CONTROL STORE LIGHTING, SIGNS AND UNIT HEATERS. IT SHALL INTERFACE WITH THE HONEYWELL T7400B/W7401A THERMOSTATS SUPPLIED AND INSTALLED BY THE HVAC CONTRACTOR (SEE MM3).

KEY ENGINEERING, 426A PAKACHOAG STREET, AUBURN, MASS., SHALL BE CONTACTED FOR AN INSTALLED QUOTATION FOR THE HONEYWELL BUILDING MANAGEMENT SYSTEM. KEY SHOULD BE CONTACTED REGARDING ANY QUESTIONS ABOUT THE INSTALLATION OF THE SYSTEM OR THE INTENT OF THIS SPECIFICATION. CONTACT BOB FAIR OF KEY ENGINEERING AT: (617) 832-2905.

IF KEY ENGINEERING IS NOT USED FOR INSTALLATION, MARSHALLS HAS THE RIGHT TO INSPECT THE SUSTEM INSTALLATION AND SUBMIT DEFICIENCIES TO THE SPECIFICATIONS TO THE LANDLORD FOR IMMEDIATE CORRECTION.

THE CONTROL SYSTEM CONSISTS OF THE FOLLOWING EQUIPMENT.:

- | | |
|--|---|
| QUANTITY 1 - W7020H 1006 | MICROPROCESSOR WITH TIME-OF-DAY PROGRAMMING, DEMAND LIMIT CONTROL, DUTY CYCLING AND OPTIMUM START/STOP. THE W7020H SHALL BE LOCATED NEAR THE MAIN ELECTRIC PANELS. |
| QUANTITY 1 - Y7002A1019 | COMMUNICATION MODULE AND MODEM FOR ACCESS TO THE W7020H OVER PHONE LINES. AN RJ11W OR RJ12W TELEPHONE JACK SHLL BE SUPPLIED AND LOCATED WITHIN 5 FEET OF THE W7020H PANEL. |
| QUANTITY 1 - W972B1000
3 - C5001B1009 | WATT TRANSDUCER AND CURRENT TRANSFORMERS SHALL BE MOUNTED AROUND THE BUILDINGS ELECTRICAL SERVICE AND PROPERLY WIRED TO THE W972B1000. SHIELDED WIRE SHALL BE USED TO TIE THE W972B SIGNAL TO THE W7020H MICRO-PROCESSOR. A SCALE FACTOR SHALL BE PROGRAMMED INTO THE W7020H SO THAT ACCURATE KW AND KWH READINGS WILL BE OBTAINED. |
| QUANTITY - S7400A1005 | SYSTEM INTERFACE AND MONITOR PANEL. ONE S7400A 1005 MUST BE SUPPLIED FOR EACH T7400B/W7401A THERMOSTAT. THE S7400A SHALL BE LOCATED IN THE ROOFTOP UNIT AND PROPERLY INTERFACED WITH THE THERMOSTAT SYSTEM. AUXILIARY CONTACTS FOR 1ST AND 2ND STAGE COMPRESSOR, HEATING, BLOWER, AND EXONOMIZER SHALL BE WIRED TO THE S7400A EVENT AND ELAPSED TIME COUNTER INPUTS. THESE INPUTS WILL BE USED FOR DIAGNOSING CURRENT EQUIPMENT OPERATION AND FOR TOTALIZING EQUIPMENT RUN TIMES. ALL S7400 SYSTEM INTERFACE MONITORS SHALL BE WIRED TO A W7026A 1005 JUNCTION PANEL WHICH, IN TURN, IS WIRED TO THE W7020H MICROPROCESSOR. ALL WIRING FROM THE S7400A, W7026A AND W7020H SHALL BE SHIELDED CABLE. ALL WIRING TO THE EVENT AND ELAPSE TIMER IMPUTS OF THE S7400A SHALL BE SHIELDED CABLE. |

BUILDING MANAGEMENT SYSTEM - INSTALLATION NOTES

THE W7020H UNIT COMES WITH A C7056A1001 SPACE SENSOR AND A 194950E OUTDOOR AIR SENSOR. THE OUTDOOR AIR SENSOR SHALL BE PLACED IN A SHIELD AND MOUNTED ON A NORTH FACING OUTSIDE WALL. THE C7056A1001 SPACESENSOR SHALL BE LOCATED IN THE CENTER OF THE SALES AREA. ALL SENSOR WIRING SHALL BE SHIELDED CABLE.

- STORE SALES AREA LIGHTING SHALL BE BROKEN OUT INTO TWO EVENLY DISTRIBUTED SECTIONS EACH CONTROLLING 1/2 OF THE SALES AREA LIGHTING. THE LIGHTING CONTACTORS SHALL BE CONTROLLED FROM CHANNELS 1 AND 2 OF THE W7020H MICRO-PROCESSOR.
- OUTSIDE SIGN AND VESTIBULE LIGHTING SHALL BE CONTROLLED FROM THE THIRD CHANNEL OF THE W7020H.
- RECEIVING AND STOCKROOM UNIT HEATERS SHALL BE CONTROLLED FROM CHANNEL 4 OF THE W7020H. THIS OUTPUT FROM THE W7020H SHALL INTERFACE WITH THE UNIT HEATER THERMOSTAT ALLOWING THE W7020H TO ENABLE OR DISABLE THE UNIT HEATERS.
- EACH T7400B/W70401A AND S7400A INTERFACE MODULE SHALL BE DEDICATED TO A SEPARATE CHANNEL ON THE W7020H MICRO-PROCESSOR. THE S7400A SHALL BE ADDRESSED TO CORRESPOND TO THE CHANNEL ASSIGNMENT.

Marshall's

SCALE:

DATE: 3/1/88

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EMS DESCRIPTION &

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