



Township Archives
Township of Brick, NJ
401 Chambers Bridge Rd, Brick, NJ 08723

***This File Contains Personal Identifiable
Information of Private Citizen(s).***

Certain information contained in this file is ***Exempt from Release*** under the Open Public Records Act (OPRA) (Public Law 2001, CHAPTER 404 (N.J.S.A. 47:1A-1 et seq.)) and Executive Orders issued by the Governor of New Jersey. The following information ***MUST*** be redacted prior to release:

- Social Security Numbers
- Drivers' License Numbers
- Unlisted Phone Numbers
- Credit Card Numbers
- Bank Account Numbers and Balances

For further information, consult with the Township Clerk, Township Archivist or Township Attorney prior to release.

A handwritten signature in black ink, appearing to read "Bryan J. Dickerson", is written over a horizontal line.

Bryan J. Dickerson, CA, CMR
Township Archivist

Issued: 8 January 2020



CONSTRUCTION PERMIT APPLICATION

Applicant Completes: Sections I, II, III (optional), IV, VI, and VII

C20-002646**I. IDENTIFICATION**

1. Proposed Work Site at: 2770 Hooper Ave Lidl

2. Name of Owner in Fee: Kennedy Mall Associates
Tel. (973) 966-2880 e-mail info@fidelityland.com
Address 641 Shunpike Rd, Chatham, NJ 07928
street municipality zip code

3. Ownership in Fee: Public Private to

4. Principal Contractor: Trademark Sign LLC Tel. (732) 288-1004
Address 631 Herman Rd e-mail Sue@trademark
Jackson, NJ 08527 signllc.com

License No. OR, if new home, Builder Reg. No. Exp. Date

Home Improvement Contractor Registration No. or Exemption Reason (if applicable):

Federal Emp. ID No. 452779494 FAX: (732) 481-2821

5. Architect or Engineer Murdoch Engineering Contact Jere
Address 2 Hummingbird Ct, Howell e-mail projects@murdoch
Tel. (973) 570-8215 FAX: () engineering.com

6. Responsible Person in Charge once Work has Begun Susan Rolis
Tel. (732) 481-2821 FAX: (732) 481-2821

V. FEE SUMMARY (for office use only)

		Update	Update
1. Building	\$ <u>400</u> ✓		
2. Electrical	\$ <u>150</u> ✓		
3. Plumbing			
4. Fire Protection			
5. Elevator Devices			
6. Subtotal			
7. Less 20% for State Plan Review	\$		
8. Subtotal	\$		
9. State Permit Surcharge Fee	\$ <u>14</u>		
10. Subtotal	\$ <u>50</u>		
11. Cert. of Occupancy			
12. Other	\$ <u>1014</u>		
13. TOTAL			

VI. BUILDING/SITE CHARACTERISTICS

(office use only)

1. Number of Stories _____

2. Height of Structure _____

3. Area — Largest Floor _____ sq. ft.

4. New Building Area _____ sq. ft.

5. Volume of New Structure _____ cu. ft.

6. Max. Live Load _____

7. Max. Occupancy Load _____

8. If Industrialized Building: State Approved _____ HUD _____

9. Total Land Area Disturbed _____ sq. ft.

10. Flood Hazard Zone PFIRM AE-8

11. Base Flood Elevation _____ ft.

12. Wetlands yes _____ no _____

a. PROPOSED WORK

- ☐ Minor Work ☐ New Building ☐ Addition ☐ Demolition
- ☐ Repair ☐ Alteration ☒ Renovation ☐ Reconstruction
- ☐ Asbestos Abat. -Subch. 8 ☐ Lead Hazard Abatement ☐ Radon Remediation ☐ Annual Permit

IIb. SUBCODES

(Check all that apply)

- ☐ Building
- ☐ Electrical
- ☐ Plumbing
- ☐ Fire Protection
- ☐ Elevator

TOTAL COST 7300**FOR OFFICE USE ONLY (Optional)**

Est. Cost	Plans Rec'd by	Date Rec'd	Rejection Date	Approval Date	Re-viewer	Resubmission Dates	Re-viewer
<u>7000</u>				<u>10/27/20</u>	<u>REK</u>		
<u>300</u>				<u>9/4/2020</u>	<u>IM</u>		
	<u>Eng</u>	<u>8/04/20</u>		<u>Exempt</u>	<u>CA</u>		

VII. DESCRIPTION OF BUILDING USE**A. RESIDENTIAL (primary use)**

1. State Specific Use: _____
2. Use Group, Proposed: _____
3. Change in Use Group, Indicate Present: _____
4. No. of dwelling units: Total Units Income-restricted
- Gained, Sale _____
- Gained, Rental _____
- Lost, Sale _____
- Lost, Rental _____

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: _____
2. Use Group, Proposed: _____
3. Change in Use Group, Indicate Present: _____

C. MIXED USE -List secondary use(s):

- D. Construct. Classification: Present _____ Proposed _____

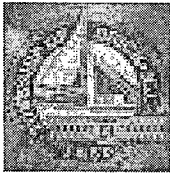
III. PLAN REVIEW (optional)**DO YOU WANT:**

1. ☐ Partial Releases
2. ☐ Prototype Processing

IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

1. ☐ Elevators/Escalators/Lifts/ Dumbwaiters/Moving Walks
2. ☐ High Pressure Boilers
3. ☐ Pressure Vessels
4. ☐ Refrigeration Systems
5. ☐ Cross-Connections/Backflow Preventers
6. ☐ Hazardous Uses/Places of Assembly
7. ☐ Sprinklers/Standpipes
8. ☐ Smoke Control Systems in Open Wells
9. ☐ Underground Storage Tanks
10. ☐ Swimming Pools, Spas and Hot Tubs
11. ☐ LPGas Tanks
12. ☐ Fire Alarm

Flood Zone PFIRM AE-8



Brick Township
401 Chambersbridge Rd
Brick, NJ 08723

Date Issued 12/30/2020
Control Number C-20-002646
Permit Number 20-2592
Permit Issue Date 10/28/2020
Certificate Number 20-2592

Certificate
Construction Code Division
(Certificate of Approval)

Identification

Work Site Location: 2770 HOOPER AVE. Brick Township, NJ Block: 670 Lot: 4 Qual: _____
Owner in Fee: KENNEDY MALL ASSOCIATES
Owner Address: 641 SHUNPIKE RD., CHATHAM NJ 07928
Telephone: _____
Contractor: Trademark Sign LLC
Address: 631 HERMAN ROAD JACKSON NJ 08527
Telephone: (732) 288-1004 Fax: _____ Federal Emp. Number: 45-2779494
License Number or Builders Registration Number: _____

Home Warranty Number: _____ Type of Warranty Plan: ☐ State ☐ Private

Use Group: U Construction Classification: _____

Maximum Live Load: 0 Maximum Occupancy Load: 0

Description of Work/Use: SIGN INSTALLATION - - LIDL ...INSTALL (2) ILLUMINATED MONUMENT SIGNS

Certificate Comments:

☐ **Certificate of Occupancy**

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☒ **Certificate of Approval**

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ **Certificate of Continued Occupancy**

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ **Temporary Certificate of Compliance**

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

☐ **Certificate of Clearance - Lead Abatement 5:17**

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

☐ Total removal of lead-based paint hazards in scope of work

☐ Partial or limited time period (years); see file

☐ **Certificate of Clearance - Asbestos Abatement**

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

☐ Total removal of asbestos hazards in scope of work

☐ Partial or limited time period (years); see file

☐ **Certificate of Compliance**

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ **Temporary Certificate of Occupancy**

The following conditions must be met no later than: or the owner will be subject to fine or order to vacate:

This certificate has an expiration date of:

Conditions to be met:

Fee: \$0.00

Check Number: _____

Collected By: _____

Construction Official

Date Printed: 12/30/2020

U.C.C. F260 (rev. 08/05)

Page 1



LIDL

ELECTRICAL SUBCODE TECHNICAL SECTION



A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 670 Lot 4 Qualification Code _____

Work Site Location 2770 Hooper Ave, Brick
LIDL

Owner in Fee: Kennedy Mall Associates

Tel. (973) 966-2880 e-mail info@fidelityland.com

Address 641 Shunpike Rd Chatham, NJ 07928
street municipality zip code

Contractor: S S Electric Tel. 732 904-6427

Address 63 Loganberry Lane e-mail _____
Toms River, NJ, 08753

Contractor License No. 11413 Exp. Date 3/31/21

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. 146-72-5038 FAX: (____) _____

B. ELECTRICAL CHARACTERISTICS

Use Group Present _____ Proposed _____

[] Pole/Pad # _____ [] Temporary [] Other _____

Building Occupied as Commercial Utility Co. _____

Est. Cost of Elec. Work \$ 300-

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW		Type:	Failure	Failure	Approval Initial
[] No Plans Required		Rough	_____	_____	_____
[] Partial - Underslab Utilities Approved		Barrier-Free	_____	_____	_____
Date: _____ Approved by: _____		Trench	_____	_____	_____
[X] Electric Plans Approved		Temp. Serv.	_____	_____	_____
Date: <u>9-4-2020</u> approved by: <u>[Signature]</u>		Constr. Serv.	_____	_____	_____
Joint Plan Review Required:		TCO	_____	_____	_____
[] Bldg. [] Plumb. [] Fire. [] Elev.		Other	_____	_____	_____
SUBCODE APPROVAL for PERMIT		Service	_____	_____	_____
Date: <u>9-4-2020</u>		Final	_____	<u>12-8-20</u>	<u>[Signature]</u>
Approved by: <u>[Signature]</u>		Barrier-Free	_____	_____	_____
SUBCODE APPROVAL for CERTIFICATE		Temp. Cut-in-Card Date Issued	_____	_____	_____
[] CO [] CCO [X] CA		Final Cut-in-Card Date Issued	_____	<u>12-8-20</u>	_____
Date: <u>12-9-2020</u>		Annual Pool Inspection	_____	_____	_____
Approved by: <u>[Signature]</u>		Date of Grounding and Bonding Certification	_____	_____	_____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant sign/Contractor sign and seal here:

Print name here: Scott H Shen

[X] Licensed Elec. Contractor [] Certif'd Landscape Irrigation Contr. [] Exempt Applicant

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK:

Connect new signs to existing sign circuits

QTY.	SIZE	ITEMS	FEE (Office Use Only)
_____	_____	Lighting Fixtures	_____
_____	_____	Receptacles	_____
_____	_____	Switches	_____
_____	_____	Detectors	_____
_____	_____	Light Poles	_____
_____	_____	Motors—Fract. HP	_____
_____	_____	Emergency & Exit Lights	_____
_____	_____	Communications Points	_____
_____	_____	Alarm Devices/F.A.C. Panel	_____
_____	_____	TOTAL NUMBERS	\$ _____
_____	_____	Pool Permit/with UW Lights	_____
_____	_____	Storable Pool/Spa/Hot Tub	_____
_____	_____	KW Elec. Range/Receptacle	_____
_____	_____	KW Oven/Surface Unit	_____
_____	_____	KW Elec. Water Heater	_____
_____	_____	KW Elec. Dryer/Receptacle	_____
_____	_____	KW Dishwasher	_____
_____	_____	HP Garbage Disposal	_____
_____	_____	KW Central A/C Unit	_____
_____	_____	HP/KW Space Heater/Air Handler	_____
_____	_____	KW Baseboard Heat	_____
_____	_____	HP Motors 1/+ HP	_____
_____	_____	KW Transformer/Generator	_____
_____	_____	AMP Service	_____
_____	_____	AMP Subpanels	_____
_____	_____	AMP Motor Control Center	_____
<u>2</u>	<u>4.4</u>	KW Elec. Sign/Outline Light <u>LED</u>	_____

COMMERCIAL

Administrative Surcharge	\$ _____
Minimum Fee	\$ _____
State Permit Surcharge Fee	\$ _____
TOTAL FEE	\$ _____

ELECTRICAL SUBCODE TECHNICAL SECTION



LIDL

Date Received
Control #
Date Issued
Permit #

5127120
20-10-12

NOTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 670 Lot 4 Qualification Code _____

Work Site Location 2770 Hooper Ave, Brick

Lidl

Owner in Fee: Kennedy Mall Associates

Tel. (973) 9660-2880 e-mail info@fidelityland.com

Address 641 Shunpike Rd. Chatham, NJ 07928

Contractor: S S Electric Tel. (732) 904-6421

Address 63 Loganberry Lane Toms River, NJ 08753

Contractor License No. 11413 Exp. Date 3/31/21

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____

Federal Emp. ID No. 146-72-5038 FAX: (____) _____

B. ELECTRICAL CHARACTERISTICS

Use Group Present _____ Proposed _____

[] Pole/Pad # _____ [] Temporary [] Other _____

Building Occupied as commercial Utility Co. _____

Est. Cost of Elec. Work \$ 300-

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW		Type:	Failure	Failure	Approval
[] No Plans Required		Rough			
[] Partial - Underslab Utilities Approved		Barrier-Free			
Date:	Approved by:	Trench			
		Temp. Serv.			
		Constr. Serv.			
Joint Plan Review Required:		TCO			
[] Bldg. [] Plumb. [] Fire. [] Elev.		Other			
SUBCODE APPROVAL for PERMIT		Service			
Date:	Approved by:	Final			
		Barrier-Free			
SUBCODE APPROVAL for CERTIFICATE		Temp. Cut-in-Card Date Issued			
[] CO [] CCO [] CA		Final Cut-in-Card Date Issued			
Date:	Approved by:	Annual Pool Inspection			
		Date of Grounding and Bonding			
		Certification			

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

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Print name here:

☒ Licensed Elec. Contractor [] Certif'd Landscape Irrigation Contr' [] Exempt Applicant

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DESCRIPTION OF WORK:

connect new signs to existing sign circuits

QTY.	SIZE	ITEMS	FEE (Office Use Only)
		Lighting Fixtures	
		Receptacles	
		Switches	
		Detectors	
		Light Poles	
		Motors—Fract. HP	
		Emergency & Exit Lights	
		Communications Points	
		Alarm Devices/F.A.C. Panel	
		TOTAL NUMBERS	
		Pool Permit/with UW Lights	
		Storable Pool/Spa/Hot Tub	
		KW Elec. Range/Receptacle	
		KW Oven/Surface Unit	
		KW Elec. Water Heater	
		KW Elec. Dryer/Receptacle	
		KW Dishwasher	
		HP Garbage Disposal	
		KW Central A/C Unit	
		HP/KW Space Heater/Air Handler	
		KW Baseboard Heat	
		HP Motors 1/+ HP	
		KW Transformer/Generator	
		AMP Service	
		AMP Subpanels	
		AMP Motor Control Center	
		KW Elec. Sign/Outline Light	

To reorder call: ALLEGRA
Marketing • Print • Mail
(609) 390-1400

Administrative Surcharge \$
Minimum Fee \$
State Permit Surcharge Fee \$
TOTAL FEE \$



Laura M. D'Allesandro, Esquire
lmd@delducalewis.com

August 10, 2020

VIA E-MAIL LUIS.MARCELINO@LIDL.US

Luis F. Marcelino Ruiz
Lidl US, LLC
3 Executive Campus, Suite 390
Cherry Hill, NJ 08002

**RE: LIDL US OPERATIONS, LLC
2770 HOOPER AVENUE, BLOCK 670, LOT 4, BRICK, NEW JERSEY**

Dear Luis:

I enclose signed Resolution #R-19-2020, which was memorialized by the Township of Brick on July 22, 2020. The notice of decision was published in the Asbury Park Press on August 4, 2020 and the affidavit of publication was submitted to Township of Brick in order to satisfy the notification requirement. I enclose a copy for your file. The appeal period will expire on September 18, 2020. You have the right to proceed with your plans before the appeal period expires, however, you would be doing so at the risk of someone filing a successful appeal in Superior Court.

Please give me a call if you have any questions regarding the enclosed resolution.

Very truly yours,
DEL DUCA LEWIS, LLC

/s/ *Laura M. D'Allesandro*

Laura M. D'Allesandro, Esquire

LMD:gml
Enclosure

AMENDED FINAL SITE PLAN
LIDL US OPERATIONS, LLC
Block: 670, Lot 4
Property Address: 2770 Hooper Avenue

Resolution: R-19-2020
Application No. PB-2853-A-FSP-C 2/20
Date: July 22, 2020

RESOLUTION OF MEMORIALIZATION OF THE
BRICK TOWNSHIP PLANNING BOARD
AMENDED FINAL SITE PLAN APPROVAL
WITH VARIANCES AND WAIVERS

WHEREAS, Lidl US Operations, LLC, of 3500 South Clark Street, Arlington, Virginia, has made application to the Brick Township Planning Board for amended final site plan approval with variances and waivers for Block 670, Lot 4 on the Township Tax Map pursuant to N.J.S.A. 40:55D-46, -50, and -60; to amend the approved site plans to install signage within the Brick Township River Walk Shopping Center; and

WHEREAS, proof of service as required by law upon appropriate property owners and governmental bodies has been furnished and determined to be in proper order; and

WHEREAS, a public hearing was held on June 24, 2020 both virtually via Zoom and in the Brick Township Municipal Building at which time testimony was given and certain exhibits hereinafter described were presented on behalf of the applicant and all interested parties having had an opportunity to be heard; and

WHEREAS, the Board makes the following factual findings and findings of law:

1. This property is designated as Lot 4, Block 670 on the Municipal Tax Map of the Township of Brick and is located at the intersection of county road Brick Boulevard and Hooper Avenue at the southeast corner, and commonly known as The Riverwalk

*file
Appl.
Alessandro
pohler
HIT
ARH
7/23/20
Zoning, Assessr,*

Shopping Plaza. The property in question is located in the B-3 Highway Development zone where the proposed use is a permitted use/conditional use.

3. Laura M. D'Allesandro, Esquire of the Del Duca Lewis law firm represented the applicant. She called Ben S. Crowder, P.E., of Bohler Engineering as an engineering expert and Luis Marcelino Ruiz, the Project Manager for the site. Mr. Crowder testified that he and/or his office prepared the various plans. He referred to and moved into evidence the following Exhibits during the course of his testimony:

A-1 Sign Details (12 pages)

A-2 Overall site plan

A-3 Prior signage detail

A-4 Photographs of the site (8 pages)

4. The applicant seeks to amend the approved site plan to install a number of signs that require (c) variances. As noted by the applicant's witnesses and Ms. Paxton's report, *infra*, Lidl is a German grocery food chain seeking to locate at the former Cost Cutters building in the Kennedy Mall, commonly known The Riverwalk Shopping Plaza. Lidl has been granted conditionally exempt site plan approval on September 20, 2019 (#CE-29-6/19) to add a 399 sq. ft. loading dock, 205 sq. ft. trash enclosure and 120 sq. ft. generator to support this proposed store. That approval includes an additional 724 sq. ft. of accessory structures and improvements that are incidental and accessory to the principal use of the property, all in compliance with Brick Ordinance §245-39. This application, however, is for the placement of additional signage on the property and requires variances.

5. The Board received into evidence the following reports from its

professionals and Boards:

- a. ARH report dated May 27, 2020 authored by Theodore Wilkinson, PE, Planning Board Engineer.
- b. June 17, 2020 report by Tara B. Paxton, MPA, AIC/PP, Office of Land Use Management
- c. March 24, 2020 report by Brick Township Fire Safety Report authored by Kevin C. Batzel, Bureau Chief/Fire Marshal.
- d. May 13, 2020 report from the Brick Township Architectural Review Committee

6. Mr. Crowder testified as set forth above and indicated that the Cost Cutters store had been vacant for approximately 10 years. The applicant had presented this matter to the Architectural Review Committee and received a favorable recommendation in May, 2020. The requested variances relate to both the location of the signs and the number of signs.

7. Mr. Crowder identified and marked into evidence Exhibit A-1 sign details. He testified that he prepared and/or supervised all of the plans submitted as exhibits regarding this application. Mr. Crowder testified that the center is approximately 13 acres in size and is located in the B-3 Highway Development Zone. The applicant proposes to take over approximately 24,000 sq. ft. of the building structure to locate the Lidl grocery store. Various improvements are being made to the site in conjunction with the conditionally exempt site plan including improvements required by the Americans with Disabilities Act, the trash enclosure, a generator and upgrade of utilities. It is anticipated that a grand opening will occur in October 2020.

8. Signage includes building mounted signs and two new road signs. The applicant has received Ocean County Planning Board approval therefore on May 6, 2020.

9. The shopping center is located at the intersection of Brick Boulevard and Hooper Avenue. The application seeks to mount signage on the building itself as well as signs on Hooper Avenue and Brick Boulevard. The request for the sign on Hooper Avenue is as a result of the need to alert motorists to the means of ingress and egress to the site and specifically the Lidl store, on Hooper Avenue because the entrance for the property is a significant distance from the building area where Lidl will be located. Moreover, if a motorist were to proceed on Hooper Avenue to Brick Boulevard, it could negotiate a left turn, but due to the median and island, there is no means for motorists to access the site southbound on Brick Boulevard. Only the northbound traffic on Brick Boulevard can enter and exit the site. Mr. Crowder identified the remaining exhibits as set forth above and utilized same in his testimony. The applicant proposes and has the consent of the landlord to place a panel sign with the Lidl name at the top of the signage tower above the Buffalo Wild Wings panel. Two signs were proposed as internally illuminated wall signs on the building structure itself. The proposed sign on Hooper Avenue denoted as sign C-2 shall be located at the Hooper Avenue entrance to the site and its parking lot, but approximately 600 ft. from the store. There are existing non-conformities of signs on Hooper Avenue and this proposed sign would be a monument sign. The Ordinance requires 300 ft. between signs and the two existing signs on Hooper Avenue are approximately 36 ft. apart. This proposed new sign would be 240.1 ft. from the other signage on Hooper Avenue. A 25 ft. setback is required for signs. This proposed sign, a monument sign, is proposed to be located at a 9 ft. setback in an existing landscaped area. All signs proposed are outside of sight triangles for the entrance and exits to the shopping center.

10. This sign on Hooper Avenue, moreover, is 106 ft. away from the Brick Garden Apartments but Brick's Ordinance requires signage to be 200 ft. away from residential areas and thus a variance is sought for that. The height and area of all the signs do comply with the Ordinance. In accordance with the recommendations from the Architectural Review Committee, the Hooper Avenue sign as well as the proposed sign C-1 on Brick Boulevard are to be monument signs with a brick veneer at the base of those signs.

11. As referenced above sign D is the panel sign that will go on the large tower located on Brick Boulevard. This tower is an existing non-conformity that the placement of a panel sign on will have no detrimental effect on the previous non-conformity of this existing sign. There is a pole sign for Buffalo Wild Wings on the Brick Boulevard frontage. The proposed sign C-1 to be located just north of the entrance/exit on Brick Boulevard is proposed to be 10 ft. in height with a total of 30 sq. ft. of sign area. The sign does conform to the area and height requirements but the location of a third sign on Brick Boulevard necessitates a variance inasmuch as two are permitted per Ordinance. Again a 300 ft. distance is required from signage on Brick Boulevard and this proposed sign C-1 would only be 112.2 ft. from another sign. The two existing signs on Brick Boulevard are 2.1 ft. off the roadway (Buffalo Wild Wings) and 1.2 ft. off the roadway (the tower sign). The proposed Lidl sign on Brick Boulevard would be 5.1 ft. off the roadway but outside the sight triangle area. To locate it without the request for a variance would place the sign in the middle of the parking lot, which in the opinion of Mr. Crowder was a basis for the request for the variances.

12. In addressing Mr. Wilkinson's report, Mr. Crowder agreed to all of Mr.

Wilkinson's technical issues and shall modify the plans accordingly. Discussion was had about the location of sign C-1 on Brick Boulevard, but Mr. Crowder and Luis Marcelino Ruiz, indicated that the landlord will not permit a location of the Lidl sign before the Buffalo Wild Wings sign further south on Brick Boulevard. Mr. Ruiz indicated they addressed three possible locations for the sign C-1 and this is the only area that would be permitted by the landlord. Mr. Wilkinson has observed other signs for Lidl stores and indicated that he has seen signs only 5 ft. in height and asked whether this 10 ft. height sign could be reduced. Mr. Ruiz indicated this is the smallest sign that can be produced and that was backed up by Mr. Crowder's indications that it was sufficiently set back to not interfere with sight triangles, nor interfere with the vision of the other signs on Brick Boulevard.

13. Mr. Wilkinson's report addressed the specific variances sought as follows:
 - a. A variance from §245-314(c)(6)(c) wherein the applicant proposes 3 signs whereas the Ordinance permits 1 sign per 500 linear feet and the site frontage currently has 2 signs
 - b. A variance for sign setback of 5.1 ft. (Brick Boulevard) and 9 ft. (Hooper Avenue) whereas 25 ft. is required by Ordinance
 - c. A variance where sign separation of 300 ft. is required by the Ordinance and the proposals are for 112.2 ft. and 240.1 ft. from existing signs
 - d. A variance from the Ordinance requirement of 200 ft. of setback from a residential zone and the applicant seeks to have a new sign within 106 ft. of the residential zone and a continuation of a sign of 103 ft. from the residential zone.
 - e. A variance from the Ordinance permitting only a total of 2 façade signs, as 3 new façade signs are proposed (2 north elevation, 1 west elevation)
14. Mr. Wilkinson's report also references waivers requested by the applicant to which Mr. Wilkinson advised that it was acceptable to grant the waivers as noted in his

report.

15. Finally, in addressing Mr. Wilkinson's report, the applicant's project manager indicated that none of the proposed signs would have any changing advertisements or scrolling features.

16. The Board's planner, Ms. Paxton, after hearing the testimony of the applicant's engineer rendered an opinion that the proposed variances sought were appropriate.

17. Reference was made to the Fire Safety report of Mr. Batzel which noted it had no objections to the signs proposed but referenced other site improvements that are to be completed by the landlord but shall not cross-reference into this proposed amended site plan inasmuch as same stands on its own.

18. No members of the public appeared at the hearing, nor virtually or via email to voice any position concerning approval or denial of this application.

19. Based upon the foregoing findings and conclusions, the Board accepts the testimony of the applicant's engineer as well as the applicant's Project Manager in support of this application as set forth in the amended site plan and as to be modified in accordance with the testimony presented. Accordingly for the reasons set forth upon the record by the applicant's engineer, the applicant's Project Manager and the Board's professional staff, the Board finds that the amended final site plan approval should be granted with the variances requested, and same can be granted without substantial detriment to the public and will not substantially impair the intent and purposes of the zone plan, zoning ordinance or the master plan of the Township of Brick.

NOW, THEREFORE, BE IT RESOLVED by the Brick Township Planning Board

on this 22nd day of July 2020, that the application for Amended Preliminary and Final Site Plan approval is hereby granted subject to the following conditions:

1. The applicant shall amend its site plan in accordance with the representations made at the hearing and in accordance with the requests set forth in the reports of Mr. Wilkinson and Ms. Paxton as detailed above.

2. The applicant must submit proof of payment of all currently due taxes to the Brick Township Planning Board.

3. The applicant must post all bonds and guarantees as required and recommended by this Board and the Township Board Engineer. Moreover, the applicant must post all required engineering and inspection fees.

4. All representations and statements made by the applicant, as well as the applicant's representatives and witnesses, shall be considered and deemed to be relied upon by the Board in rendering this decision and to be an express condition of this Board's actions in approving the subject application. Any misstatement or misrepresentation, whether by mistake or change in circumstance, shall be deemed a breach of this condition of approval and shall subject this application to further review on this Board's own motion.

5. In the event the Planning Board determines that it reasonably relied upon any misstatement or misrepresentation, then and in that event any approvals previously given may be rescinded and any improvements at the time in place on the premises in question shall not be in compliance with the ordinances of the Township of Brick.

6. No building permit shall be issued until the Board Secretary confirms that the Planning Board professional fees have been paid in full. In the event a building permit is issued and there are outstanding Planning Board professional fees, a stop work order will

be filed against the applicant/contractor until all professional fees have been paid.

7. In the event there is an existing violation, the applicant shall have thirty (30) days from the date the Notice of Decision was published to correct the violation. Failure to correct the existing violation within the time prescribed will result in the issuance of a summons.

8. The applicant must comply with all conditions outlined in Schedule A attached hereto.

9. The applicant shall apply for and receive approvals from all other municipal, county, state and federal agencies having regulatory jurisdiction over this development as may be required.

BE IT FURTHER RESOLVED that the Planning Board Secretary shall cause notification of this favorable Resolution to be published in an official newspaper of the Brick Township within ten (10) days of the adoption of this Resolution.

Certified copies of this Resolution shall be forwarded to the applicant, the Township Construction Official, Zoning Officer and all other parties in interest.

I, Pamela O'Neill, Secretary of the Planning Board of the Township of Brick, County of Ocean, State of New Jersey, do hereby certify that I am duly authorized to certify Resolutions. I certify that the foregoing Resolution was adopted by the Planning Board of the Township of Brick at a meeting held on the 22nd day of July 2020.

R-19-2020
PB-2853-A-FSP-C 2/2020
LIDL US OPERATIONS, LLC

July 22, 2020

VOTE ON MEMORIALIZATION

MOVED BY: Councilman Mummolo

SECONDED BY: Ms. Lambusta

VOTING IN THE AFFIRMATIVE: Mr. Nugent, Ms. Lambusta, Ms. Della Volle
Mr. Philipson, Mr. Clayton, Councilman Mummolo,
Mr. Occhiogrosso, Mr. Osipovitch, Mr. Aiello
Mr. Cooke

VOTING IN THE NEGATIVE

INELIGIBLE TO VOTE:

PRESENT BUT NOT VOTING: Mr. Osipovitch

ABSTAINING:

ABSENT: Mr. Gross

CERTIFICATION

I, PAMELA O'NEILL/Secretary to the Planning Board of the Township of Brick,
County of Ocean, State of New Jersey, do hereby certify that I am duly authorized to
certify Resolutions. I certify that the foregoing Resolution was adopted by the Planning
Board of the Township of Brick at a regular meeting held on the 22nd of July 2020



PAMELA O'NEILL/Secretary
Planning Board/Zoning Board

ATTACHMENT "A"

BRICK TOWNSHIP PLANNING BOARD

STANDARD CONDITIONS FOR SITE PLAN APPROVAL

RESOLUTION: R-19-2020

PAGE: 11

CASE NO. PB-2853-A-FSP-C

1. Applicant shall obtain certification by the Local Soil Conservation District of a plan for soil erosion and sediment control in accordance with N.J.S.A. 4:24-39 et seq., commonly known as the "Soil Erosion and Sediment Control Act."

2. All materials, methods of construction and details shall be in conformance with the current "Engineering Specifications and Construction Details" of the Township of Brick, which are on file in the office of the Township Engineer.

3. Applicant shall obtain all approvals required by any Federal, State, County or Municipal agency having regulatory jurisdiction of this development. Upon receipt of such approval(s), the applicant shall supply a copy of the permit(s) to the Board. In the event that any other agency requires a change in the plans approved by this Board, the applicant must reapply to the Brick Township Planning Board for approval of that change.

4. Applicant shall submit this entire proposal for re-approval should there be any deviation from the terms and conditions of this Resolution or the documents submitted as part of this application, all of which are made a part hereof and shall be binding on the applicant.

5. Applicant shall provide a statement from the Brick Township Tax Collector that all taxes are paid in full as of the date of this Resolution and as of the date of the fulfillment of any condition(s) of this Resolution.

6. Prior to the issuance of a construction permit, the applicant shall furnish the Township Clerk with a cash bond and performance guarantee in an amount to be determined by the Township Engineer.

7. Applicant shall post an inspection fund with the Township Clerk in an amount to be determined by the Township Engineer.

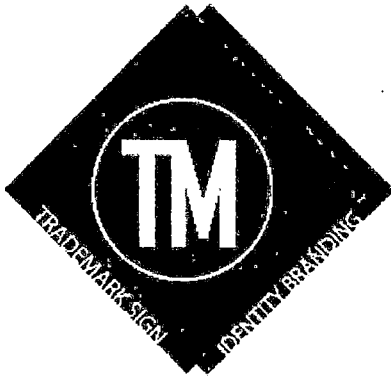
8. No soil shall be removed from the site without the written approval of the Township Council.

9. The applicant shall comply with all provisions and pay all fees established under Article VB (Mandatory Development Fees) of Chapter 190 of the Code of the Township of Brick.

10. For all residential uses the subdivider or site plan applicant shall provide for a trash receptacle.

11. In order to insure uniformity of trash receptacles and compatibility with the automatic trash collection system, all trash can receptacles required herein shall be obtained from the Township of Brick.

12. Applicant shall provide proof of application for Title NJSA 39:5 A-1 to the Planning Board.



TRADEMARK SIGN

631 Herman Rd. Jackson. NJ 08527

RECEIVED

AUG 20 2020

BUILDING

Date: 8/19/20

To Nichol Ponsi:

Enclosed are revised engineered drawings for the previously submitted applications for the freestanding Lidl signs to be located at 2770 Hooper Ave: Block 670 Lot 4. A copy of the engineering permit application has been included. Sorry for the inconvenience. If there are any questions or additional information required please do not hesitate to contact me directly at sue@trademarksignllc.com or at 732-288-1004 x 1.

Thank you,

Susan Rolls

ENGINEERING PERMIT APPLICATION

RECEIVING CLERK: _____

PERMIT #: _____

BLOCK: 670 LOT: 4 ADDRESS: 2770 Hooper Ave**IDENTIFICATION:**

1. WORK SITE ADDRESS: 2770 Hooper Ave
2. NAME OF OWNER IN FEE: Kennedy, Mall Associates
ADDRESS: 641 Shunpike Rd PHONE #: ⁹⁷³ () 966-2880
Chatham NJ 07928 FAX #: ⁹⁷³ () 966-6161
3. PRINCIPAL CONTRACTOR: Trademark Sign LLC
ADDRESS: 631 Herman Rd PHONE #: ⁷³² () 288-1004
Jackson NJ 08527 FAX #: ⁷³² () 481-2821
4. ARCHITECT OR ENGINEER: Murdoch Engineering
ADDRESS: 2 Hummingbird Ct Howell PHONE #: ⁹⁷³ () 570-8215
5. RESPONSIBLE PERSON FOR WORK: Susan Rolis
ADDRESS: 631 Herman Rd Jackson NJ 08527
PHONE #: ⁷³² () 288-1004 FAX #: ⁷³² () 481-2821 E-MAIL: Sue@trademark
signllc.com

PROJECT DESCRIPTION: ☐ GRADING/CLEARING ☐ ROAD OPENING☐ SOIL REMOVAL/FILL ☐ RETAINING WALL ☐ POOL☐ BULKHEAD/DOCK ☐ DWELLING ☐ TREE REMOVAL☒ OTHER monument signsLENGTH: MS. 44' WIDTH: 1.2' HEIGHT: 10'
9.17' 1.2' 20'**FEE SUMMARY:**

APPLICATION FEE: \$ _____

REVIEW FEE: \$ _____

INSPECTION FEE: \$ _____

OTHER: \$ _____

BOND(S): \$ _____

TOTAL: \$ _____

SPECIAL CONDITIONS:

OCEAN COUNTY SOILS: _____

DRAINAGE EASEMENTS: _____

UTILITY EASEMENTS: _____

CONSERVATION EASEMENTS: _____

FEMA REQUIREMENTS: _____

D.E.P. PERMITS: _____

BOARD APPROVAL: ☐ PB ☐ ZB

APPLICATION NUMBER: _____

APPROVED DATE: _____

ENGINEERING REVIEW:

DATE RECEIVED: _____ DATE REJECTED: _____ DATE APPROVED: _____ INITIALS: _____

ENGINEERING PERMIT APPLICATION

RECEIVING CLERK: _____

PERMIT #: _____

BLOCK: C670 LOT: 4 ADDRESS: 2770 Hooper Ave**IDENTIFICATION:**

1. WORK SITE ADDRESS: 2770 Hooper Ave
2. NAME OF OWNER IN FEE: Kennedy, Mall Associates
ADDRESS: 641 Shunpike Rd PHONE #: ⁹⁷³ () 966-2880
Chatham, NJ 07928 FAX #: ⁹⁷³ () 966-6161
3. PRINCIPAL CONTRACTOR: Trademark Sign LLC
ADDRESS: 631 Herman Rd PHONE #: ⁷³² () 288-1004
Jackson, NJ 08527 FAX #: ⁷³² () 481-2821
4. ARCHITECT OR ENGINEER: Murdoch Engineering
ADDRESS: 2 Hummingbird Ct Howell PHONE #: ⁹⁷³ () 570-8215
5. RESPONSIBLE PERSON FOR WORK: Susan Rolis
ADDRESS: 631 Herman Rd, Jackson, NJ 08527
PHONE #: ⁷³² () 288-1004 FAX #: ⁷³² () 481-2821 E-MAIL: Suc@trademark
signllc.com

PROJECT DESCRIPTION: ☐ GRADING/CLEARING ☐ ROAD OPENING
☐ SOIL REMOVAL/FILL ☐ RETAINING WALL ☐ POOL
☐ BULKHEAD/DOCK ☐ DWELLING ☐ TREE REMOVAL
☒ OTHER monument signs

LENGTH: 5.44' WIDTH: 1.2' HEIGHT: 10'
9.17' 1.2' 20'

FEE SUMMARY:

APPLICATION FEE: \$ _____

REVIEW FEE: \$ _____

INSPECTION FEE: \$ _____

OTHER: \$ _____

BOND(S): \$ _____

TOTAL: \$ _____

SPECIAL CONDITIONS:

OCEAN COUNTY SOILS: _____

DRAINAGE EASEMENTS: _____

UTILITY EASEMENTS: _____

CONSERVATION EASEMENTS: _____

FEMA REQUIREMENTS: _____

D.E.P. PERMITS: _____

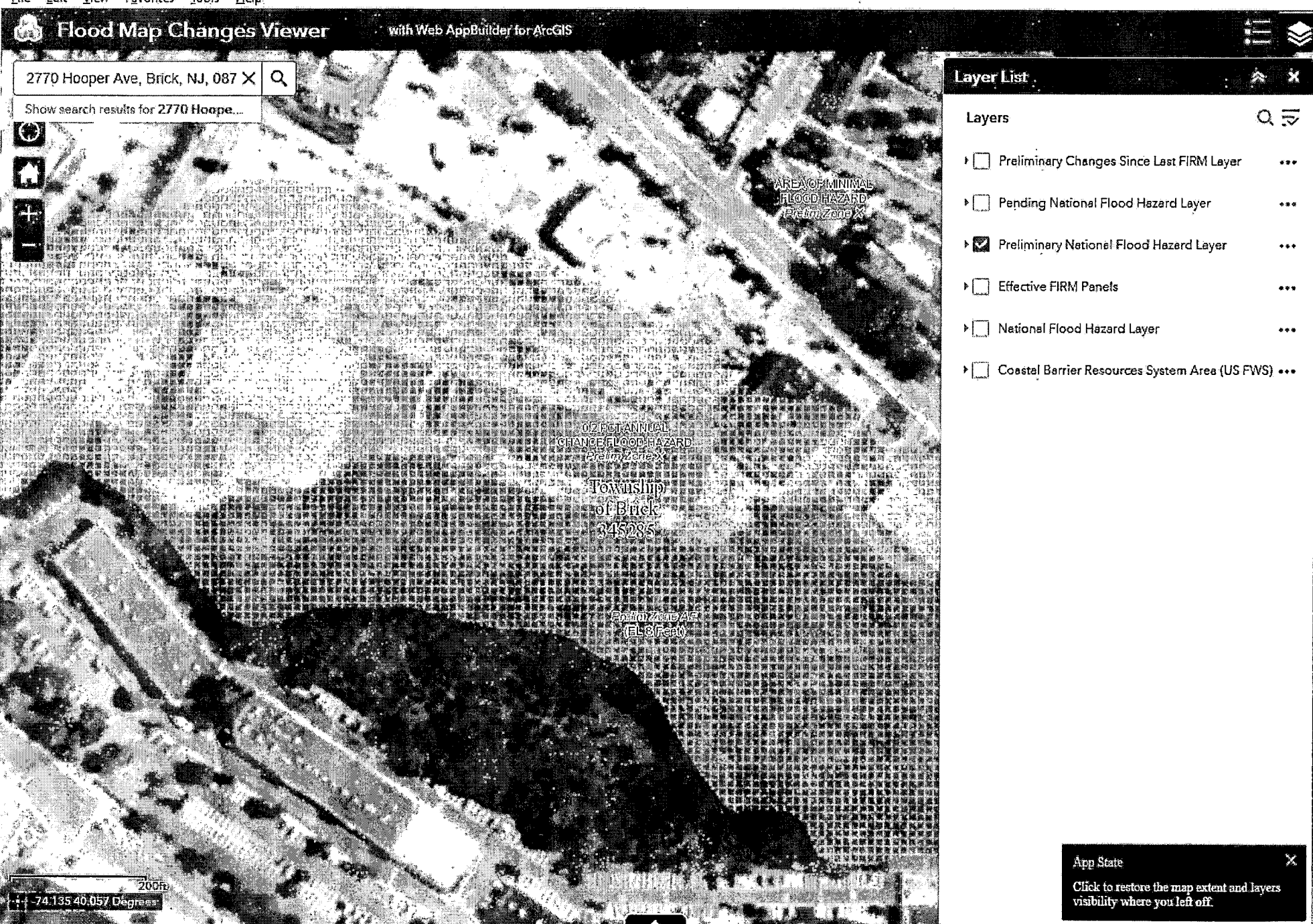
BOARD APPROVAL: ☐ PB ☐ ZB

APPLICATION NUMBER: _____

APPROVED DATE: _____

ENGINEERING REVIEW:

DATE RECEIVED: 8/27/20 DATE REJECTED: _____ DATE APPROVED: 9/2/20 Exempt INITIALS: MA



- Layer List
- Layers
- ☐ Preliminary Changes Since Last FIRM Layer ...
 - ☐ Pending National Flood Hazard Layer ...
 - ☒ Preliminary National Flood Hazard Layer ...
 - ☐ Effective FIRM Panels ...
 - ☐ National Flood Hazard Layer ...
 - ☐ Coastal Barrier Resources System Area (US FWS) ...

App State

Click to restore the map extent and layers visibility where you left off.



CONSTRUCTION PERMIT

Date Issued 10/28/20
Control # C-20-002646
Permit # 20-2542

IDENTIFICATION Block: 670 Lot: 4 Qualifier _____
Work Site Location: 2770 HOOPER AVE. Brick Township, NJ Contractor Trademark Sign LLC
Address 631 HERMAN ROAD JACKSON NJ 08527
Owner in Fee KENNEDY MALL ASSOCIATES
641 SHUNPIKE RD. CHATHAM NJ 07928 Telephone: (732) 288-1004
Lic. No. or Bldrs. Reg. No. _____
Federal Employee No. 45-2779494

Is hereby granted permission to perform the following work:

- ☒ BUILDING ☐ PLUMBING ☐ LEAD HAZARD ABATEMENT
☒ ELECTRICAL ☐ FIRE PROTECTION ☐ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT (Subchapter 8 only) ☐ OTHER

DESCRIPTION OF WORK:

SIGN INSTALLATION - LIDL INSTALL (2) ILLUMINATED MONUMENT SIGNS

Note: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$7,300

PAYMENTS (Office Use Only)

Building	\$400
Electrical	\$150
Plumbing	\$0
Fire Protection	\$0
Elevator Devices	\$0
Other	\$0.00
DCA Training Fee	\$14
CO Fee	
Other	\$0
Total	\$564
Check No.	<u>1552</u>
Cash	\$0
Credit	\$0
Collected By	<u>KW</u>

+50
614

U.C.C. F170
equiv (rev 1/04)

1 WHITE - INSPECTOR

2 CANARY - OFFICE

3 PINK - TAX ASSESSOR

4 GOLD - APPLICANT

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that the work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval granted.

☒ Required inspections for all subcodes for one- and two-family dwellings are as follows:

1. The bottom of footing trenches before placement of footings, except that in cases of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
2. Foundations and all walls up to grade level prior to back filling.
3. All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and /or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.
4. Installation of all finished materials, sealings of exterior joints, plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

BUILDING	\$400.00
ELECTRIC	\$150.00
PLUMB	\$0.00
FIRE	\$0.00
OTHER	\$0.00
TOTAL	\$550.00

Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

☒ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

☒ A complete copy of released plans must be kept on the job site.

If you do not understand any of this information, please ask.

RECEIVING CLERK _____
DATE REC'D _____

ZONING PERMIT APPLICATION

PERMIT # 20-01218
DATE ISSUED 10/28/20

BLOCK: 670 LOT: 4 QUALIFIER: _____ SITE ADDRESS: 2770 Hooper Ave

IDENTIFICATION:

1. NAME OF OWNER IN FEE: Kennedy Mall Associates
COMPLETE ADDRESS: 641 Shunpike Rd
Chatham, NJ 07928
PHONE # 973-966-2880 EMAIL: info@fidelityland.com
2. NAME OF APPLICANT: Trademark Sign LLC - Susan Rolls
APPLICANT ADDRESS: 631 Herman Rd
Jackson, NJ 08527
PHONE # 732-288-1004 EMAIL: Sue@trademarksignllc.com
3. RESPONSIBLE PERSON FOR WORK: Susan Rolls
PHONE # 732-288-1004 FAX # 732-481-2821
4. SIGNATURE OF APPLICANT: [Signature]

FOR OFFICE USE ONLY

FEE SUMMARY:

APPLICATION FEE: \$ 50-
OTHER: \$ _____
TOTAL: \$ 50-

REQUIRED BY APPLICANT

RESIDENTIAL: _____
COMMERCIAL: X
EXISTING USE: _____
PROPOSED USE: Lid1

BOARD APPROVAL: X PB _____ ZB _____
RESOLUTION #: R-19-2020
APPROVAL DATE: 7/22/20

PROJECT DESCRIPTION: (PLEASE CHECK APPLICABLE WORK & DESCRIBE)

*NEW BUILDING: _____ *ADDITION _____ *ALTERATION _____ *PORCH _____ *DECK _____

POOL: ABOVE GROUND _____ IN GROUND _____ FENCE: HEIGHT _____ TYPE _____ MATERIAL _____

HEIGHT: _____ (*IF APPLICABLE)

OTHER monument signs (new) ~~_____~~

DESCRIPTION: C1 = 10' from grade to top of sign x 5.44', C2 = 20' from grade x 9.17', _____

ZONING REVIEW:

DATE REVIEWED: 8-27-20 DATE DENIED: _____ DATE APPROVED: 8-27-20 INTLS: [Signature]

(SEE BACK PAGE)

TOWNSHIP OF BRICK ZONING CHECKLIST

1) Four(4) copies of plot plan containing:

- All existing and proposed structures
- All dimensions of the lot and structures
- All setbacks from the structures to the property lines
- All adjacent streets and waterways
- If applicable, include a copy of the Zoning Board of Adjustment Resolution, the date that the map was signed, and/or the date that the subdivision map was filed with the Ocean County Clerk, along with the file map and number.

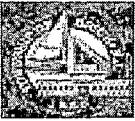
2) Two copies of the plans with dimensions and heights noted:

- Floor plans and elevations
- Signed site plans
- Property map
- Survey map

Choose which is applicable for submission

3) Plot plans and building plans must match for complete review

NOTE: NO PARTIAL, TAPED, FAXED, REDUCED OR ENLARGED COPIES CAN BE ACCEPTED



Brick Township
401 Chambers Bridge Rd.
Brick, NJ 08723
(732) 262-1041

Date Issued:

Application Number: ZA-20-01028

Application Date: 8/25/2020

Project Number:

Permit Number:

Fee:

10/28/20

20-01218

\$50.00

Zoning Permit

Worksite **2770 HOOPER AVE.**
Location: **Brick Township, NJ 08723**

Owner: **KENNEDY MALL ASSOCIATES**
Address: **641 SHUNPIKE RD.**
CHATHAM, NJ 07928

Applicant: **Trademark Sign LLC**
Address: **631 HERMAN ROAD**
JACKSON, NJ 08527

Block: 670 Lot: 4 Qualifier: _____ Zone: B-3

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Present Use: Retail Store

☐ Non Conforming Use

☐ Non Conforming Structure

Proposed Use: Retail Store LIDL

Work Description:

Sign - Monument Signs for "Lidl".

Resolution of memorialization from the Planning Board. Amended Final Site Plan approval with variances and waivers.

Resolution No. R-19-2020

Application No. PB-2853-A-FSP-C-2/20

Approval Date: July 22, 2020

Additional Zoning Permit is required for additional work.

Application Approved Date: 8/27/2020

Upon review it was determined that the Zoning Permit:

☒ Permitted by Ordinance

☐ Permitted by Variance approved on: _____

☐ Approved with Conditions

☐ Valid Nonconforming Use/Structure is established by

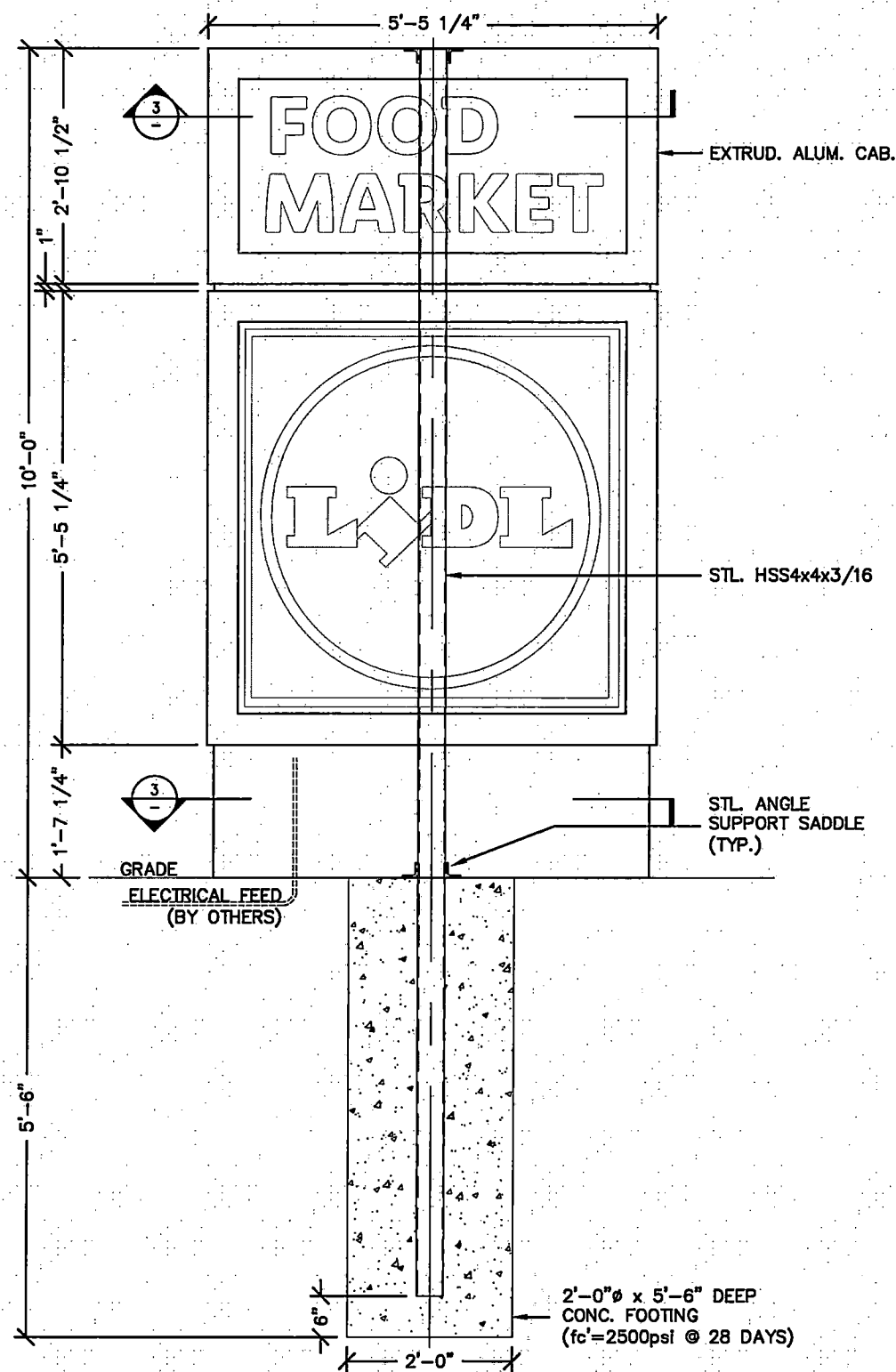
☐ Zoning Board of Adjustment

☐ Zoning Officer

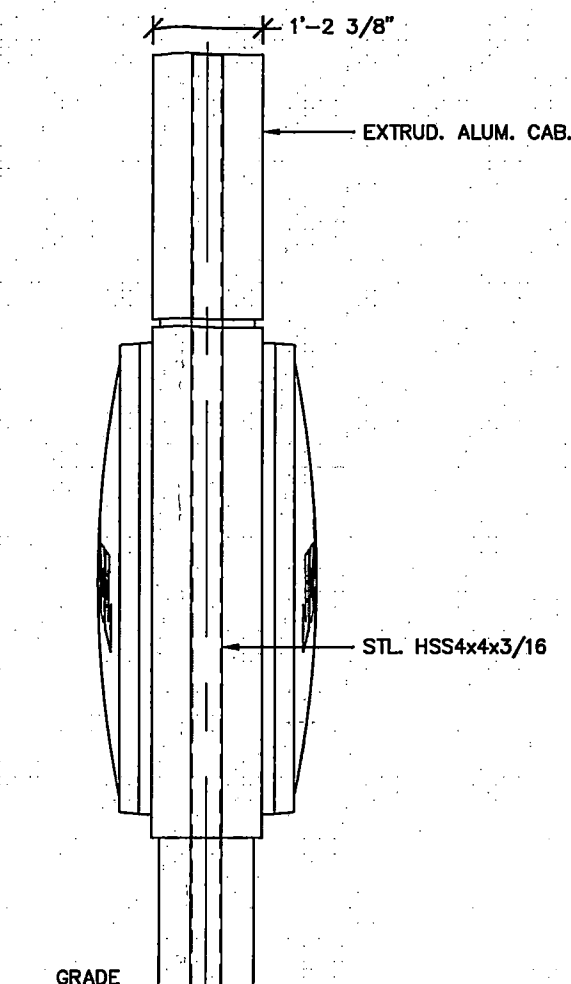
Christopher J. Romano, Zoning Officer

8/27/2020

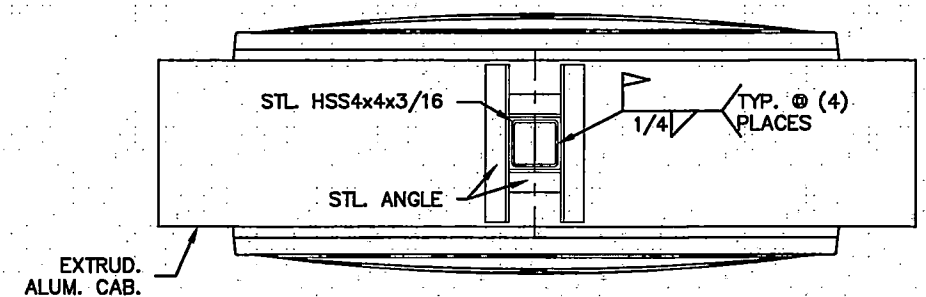
Date



1 SIGN C1 - ELEVATION SECTION
SCALE: 1/2" = 1'-0"



2 END
SCALE: 1/2" = 1'-0"



3 CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

TOWNSHIP OF BRICK

RELEASED FOR PERMIT INITIAL DATE

Building Subcode _____

Plumbing Subcode _____

Fire Subcode _____

Electrical Subcode _____

Plan Reviewer _____

Plans Released _____

Construction Official _____

DESIGN SPECIFICATIONS	
IBC: 2018: with NJ amendments	
ASCE: 7-16 Minimum Design Loads for Buildings & Other Structures	
ACI 318-14 Building Code Requirements for Structural Concrete	
ANSI/AISC 360-10 Specification for Structural Steel Buildings	
DESIGN LOADS	
Wind V = 120 mph	
Exposure C	
Risk Cat. II	
Grnd: Snow Pg = 20 psf	

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS

2 HUMMINGBIRD CT.
HOWELL, NJ 07731
(973) 570-8215

John Murdoch 4/24/2020
John Murdoch, PE
Professional Engineer
NJ PE Lic. #48980

- GENERAL NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE.
 2. STRUCTURAL STEEL SQUARE TUBE SHALL CONFORM TO ASTM A500 GRADE B, FY=46 KSI MIN.
 3. STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36.
 4. WELDING SHALL CONFORM TO AWS D 1.1 & AISC SPECS.
 5. ALL WELDING TO BE PERFORMED BY CERTIFIED WELDER.
 6. ISOLATE ALUMINUM FROM STEEL.
 7. ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
 8. ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF UL48 AND SECTION 600 OF NEC.
 9. UL AND DATA LABELS REQUIRED.
 10. SIGNS TO BE 6-FT HORIZONTAL & 12-FT VERTICAL FROM HIGH VOLTAGE WIRES.
 11. CONCRETE TO HAVE $f'_c=2500$ PSI MIN. @ 28 DAYS.

FEDERAL HEATH
VISUAL COMMUNICATIONS
4602 NORTH AVENUE, OCEANSIDE, CA 92056
(760) 941-0715

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ART DESIGN REFERENCE #23-55531-10-R14

NO.	REVISIONS	DATE	BY
1	ADDED SIGNS C1&C2 FOR SEALING	22APR20	JPH
2			
3			
4			
5			
6			
7			
8			
9			
10			

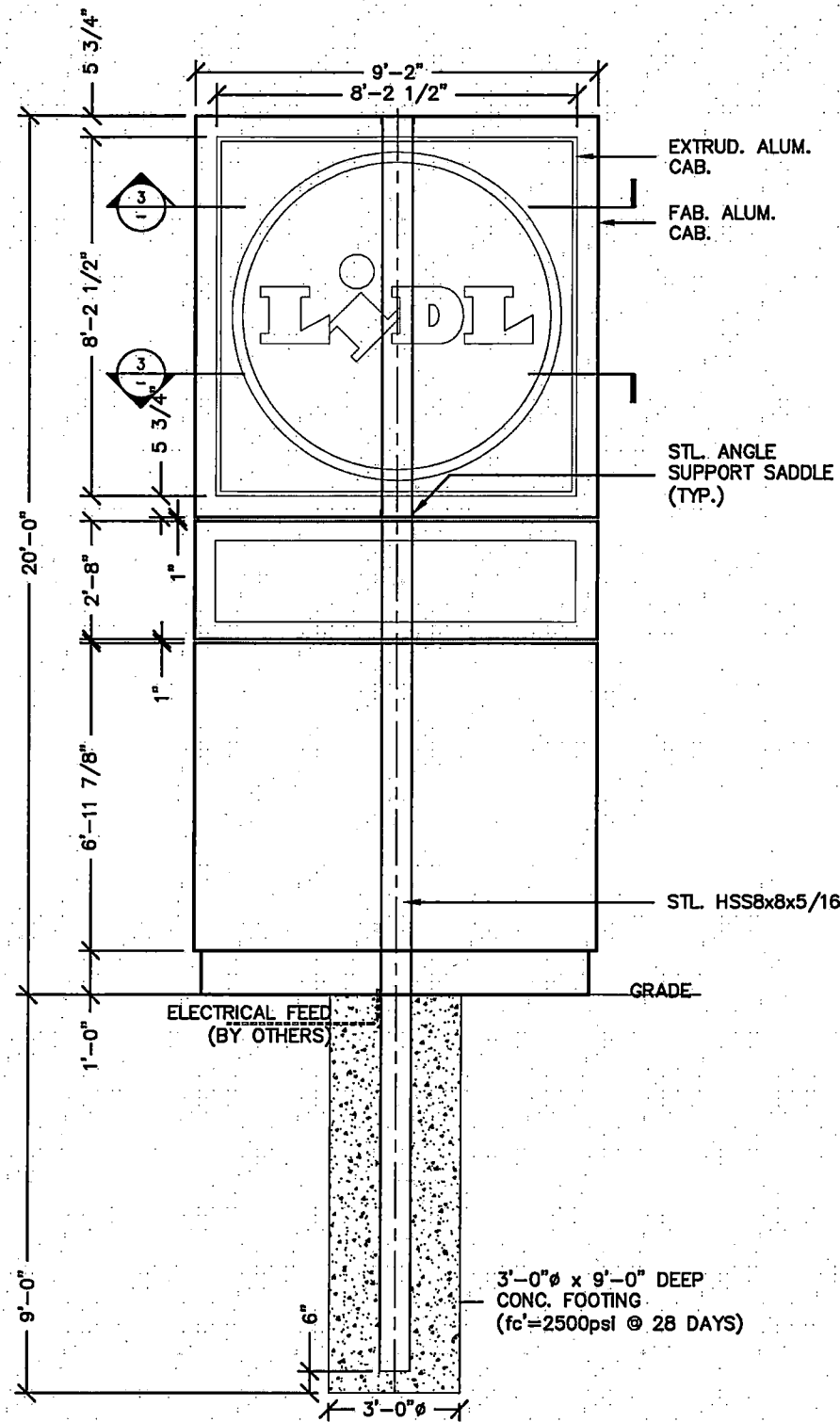
LIDL
2770 HOOPER AVE
BRICK, NJ 08723

LIDL BRICK, NJ 23-55531-10 REV A.dwg

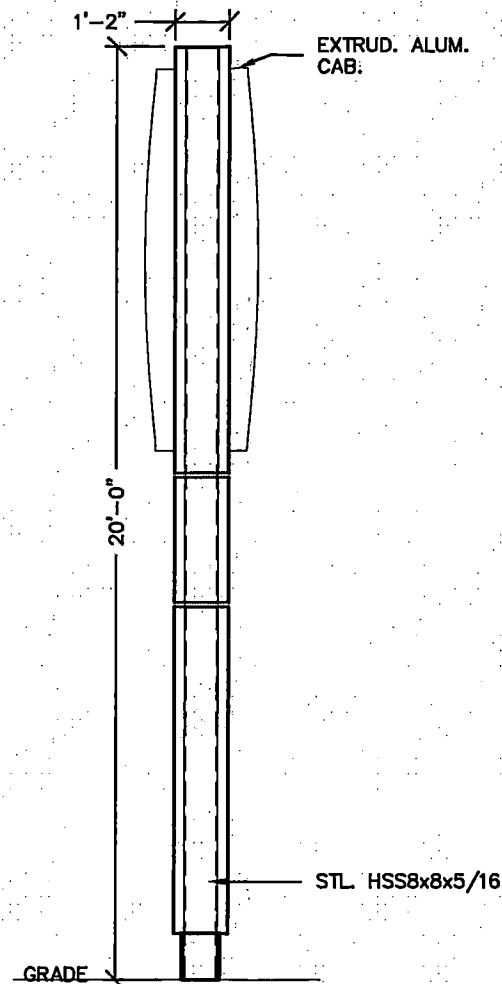
DESIGN NO: S-0303820A	PROJECT MGR.: M. KIRBY
DRAWN BY: PAT HODGKINS/PH	DATE: 17MAR20
JOB NO: 23-55531-10	

SHEET NO: S-4
OF: 5

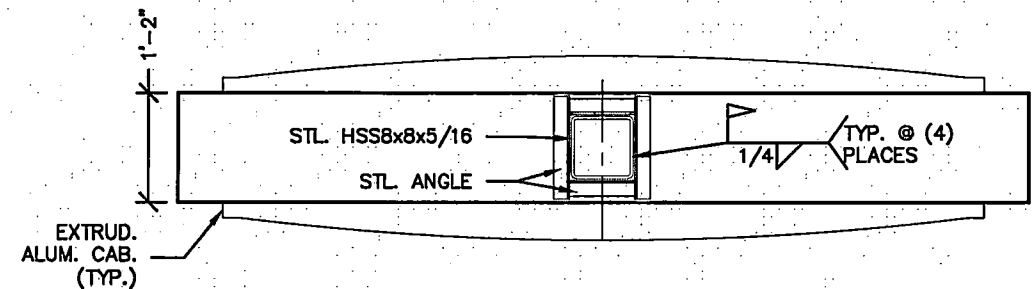
FILE COPY



1 SIGN C2 ELEVATION SECTION
SCALE: 1/4" = 1'-0"



2 END
SCALE: 1/4" = 1'-0"



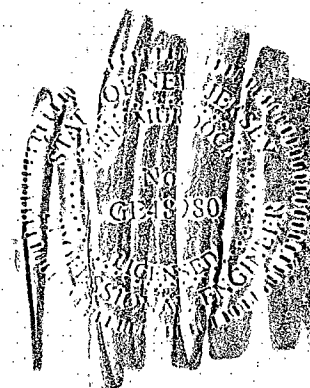
4 PLAN SECTION
SCALE: 1/2" = 1'-0"

TOWNSHIP OF BRICK
RELEASED FOR PERMIT INITIAL DATE
Building Subcode _____
Plumbing Subcode _____
Fire Subcode _____
Electrical Subcode _____
Plan Reviewer _____
Plans Released _____
Construction Official _____

DESIGN SPECIFICATIONS	
IBC: 2018	with NJ amendments
ASCE: 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-10	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 120 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 20 psf

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE.
- STRUCTURAL STEEL SQUARE TUBE SHALL CONFORM TO ASTM A500 GRADE B, FY=46 KSI MIN.
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- ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF UL48 AND SECTION 600 OF NEC.
- UL AND DATA LABELS REQUIRED.
- SIGNS TO BE 6-FT HORIZONTAL & 12-FT VERTICAL FROM HIGH VOLTAGE WIRES.
- CONCRETE TO HAVE: f'c=2500 PSI MIN. @ 28 DAYS.



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HOWELL, NJ 07731
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Jere Murdoch, PE
Professional Engineer
NJ PE Lic. #48980

4/24/2020

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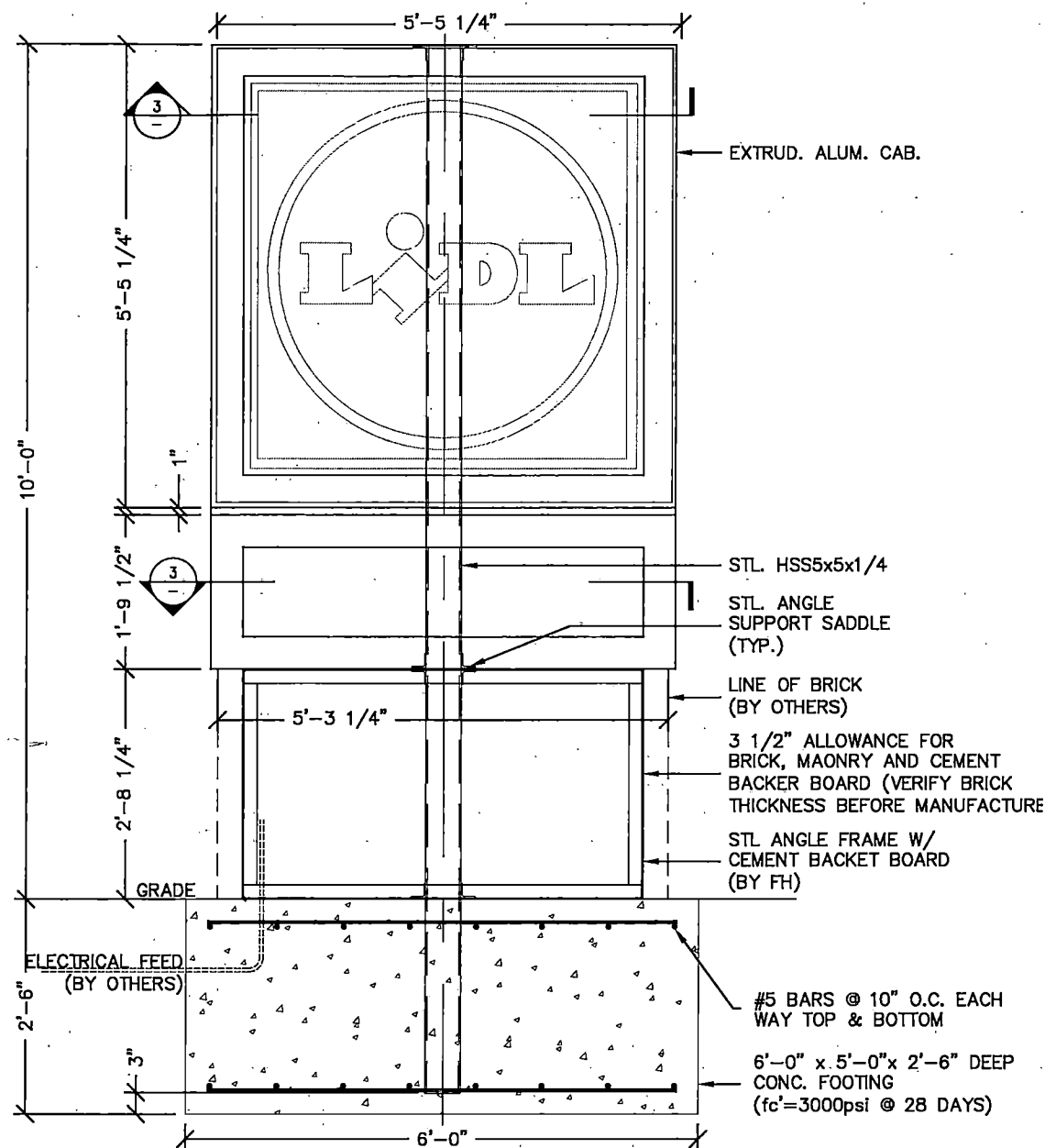
NO.	REVISIONS	DATE	BY
1	ADDED SIGNS C1&C2 FOR SEALING	22APR20	JPH
2			
3			
4			
5			
6			
7			
8			
9			
10			

LIDL
2770 HOOPER AVE
BRICK, NJ 08723

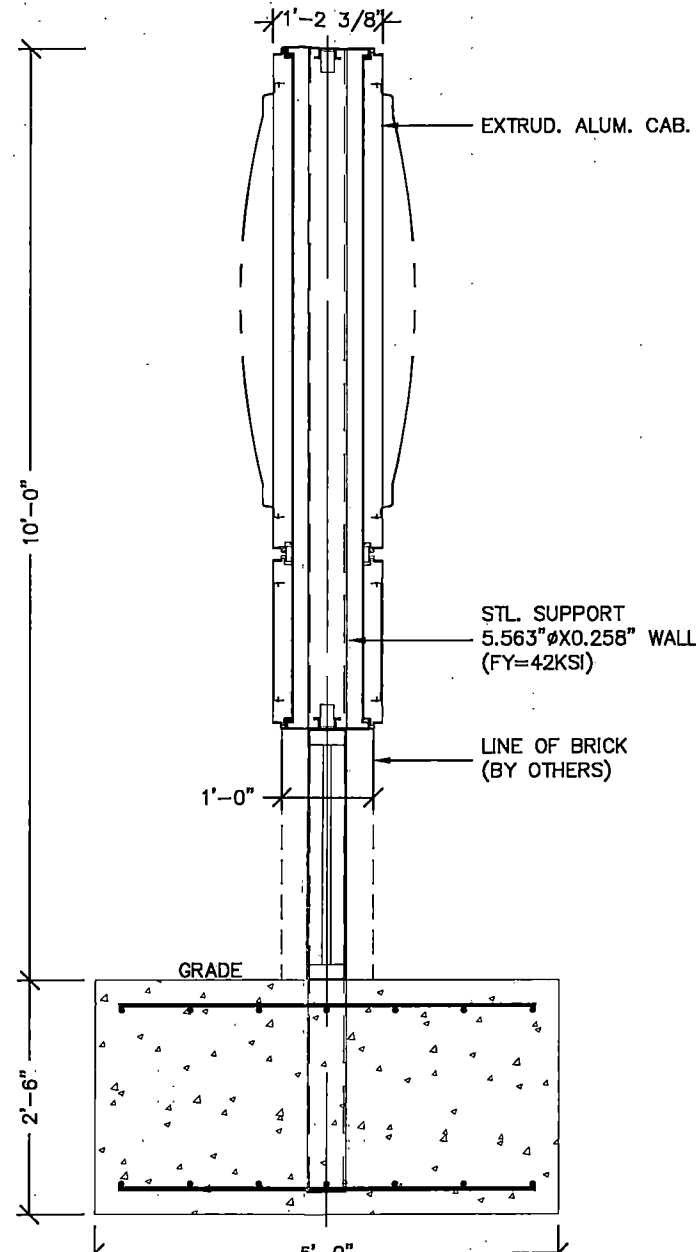
LIDL BRICK, NJ 23-55531-10 REV A.dwg

DESIGN NO: S-0303820A	PROJECT MGR.: M. KIRBY	SHEET NO: S-5
DRAWN BY: PAT HODGKINS/PH	DATE: 17MAR20	OF: 5
JOB NO: 23-55531-10		

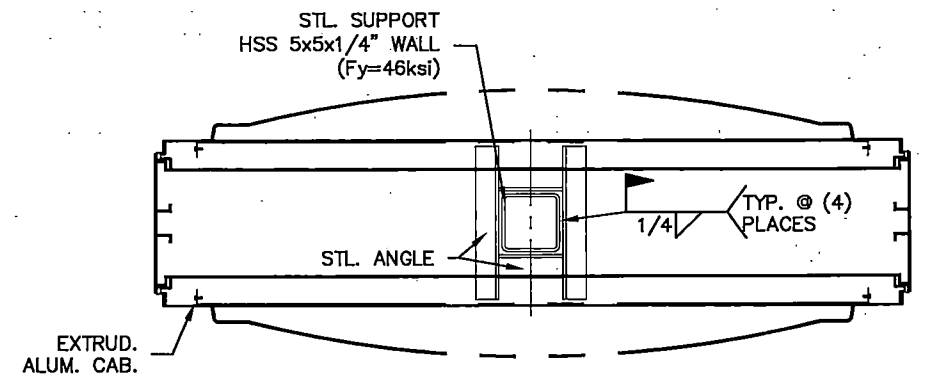
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1 SIGN C1 - ELEVATION SECTION
SCALE: 1/2" = 1'-0"



2 END
SCALE: 1/2" = 1'-0"



3 CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

TOWNSHIP OF BRICK
RELEASED FOR PERMIT
Building Subcode
Plumbing Subcode
Fire Subcode
Electrical Subcode
Plan Reviewer
Plans Released
Construction Official

DESIGN SPECIFICATIONS	
IBC 2018 with NJ amendments	
ASCE 7-16 Minimum Design Loads for Buildings & Other Structures	
ACI 318-14 Building Code Requirements for Structural Concrete	
ANSI/AISC 360-10 Specification for Structural Steel Buildings	
DESIGN LOADS	
Wind V = 125 mph	
Exposure C	
Risk Cat. II	
Grnd. Snow Pg = 20 psf	

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS
2 HUMMINGBIRD CT
HOWELL, NJ 07731
(973) 824-3333
Jere Murdoch, P.E.
Professional Engineer
NJ License #18880

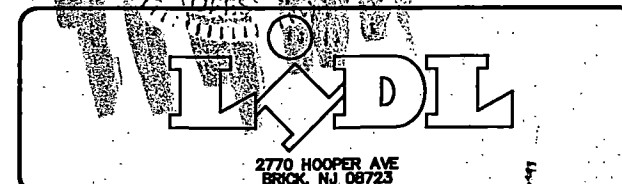
- GENERAL NOTES:
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE.
 - STRUCTURAL STEEL SQUARE TUBE SHALL CONFORM TO ASTM A500 GRADE B, FY=46 KSI MIN.
 - STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36.
 - WELDING SHALL CONFORM TO AWS D 1.1 & AISC SPECS.
 - ALL WELDING TO BE PERFORMED BY CERTIFIED WELDER.
 - ISOLATE ALUMINUM FROM STEEL.
 - ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
 - ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF UL48 AND SECTION 600 OF NEC.
 - UL AND DATA LABELS REQUIRED.
 - SIGNS TO BE 6-FT HORIZONTAL & 12-FT VERTICAL FROM HIGH VOLTAGE WIRES.
 - CONCRETE TO HAVE fc=2500 PSI MIN. @ 28 DAYS.
 - DESIGN IS BASED ON 125 MPH WIND, 3-SEC GUST, EXPOSURE C.

FEDERAL HEATH
VISUAL COMMUNICATIONS
4602 NORTH AVENUE, OCEANSIDE, CA 92056
(760) 941-0715

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ART DESIGN REFERENCE #23-55531-10-R18

NO.	REVISIONS	DATE	BY
1	ADDED SIGNS C1&C2 FOR SEALING	22APR20	JPH
2	REV TO SPREAD FOOTER AND BRICK FRAME C1&C2	29MAY20	JPH
3	REM A1 & B.	17AUG20	JPH
4			
5			
6			

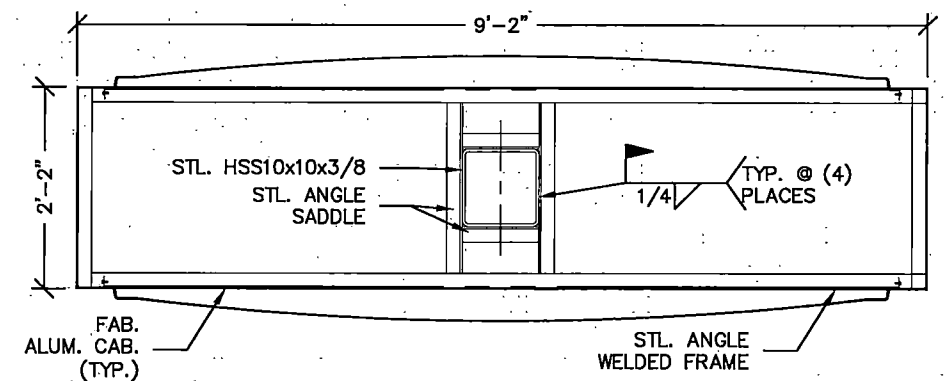
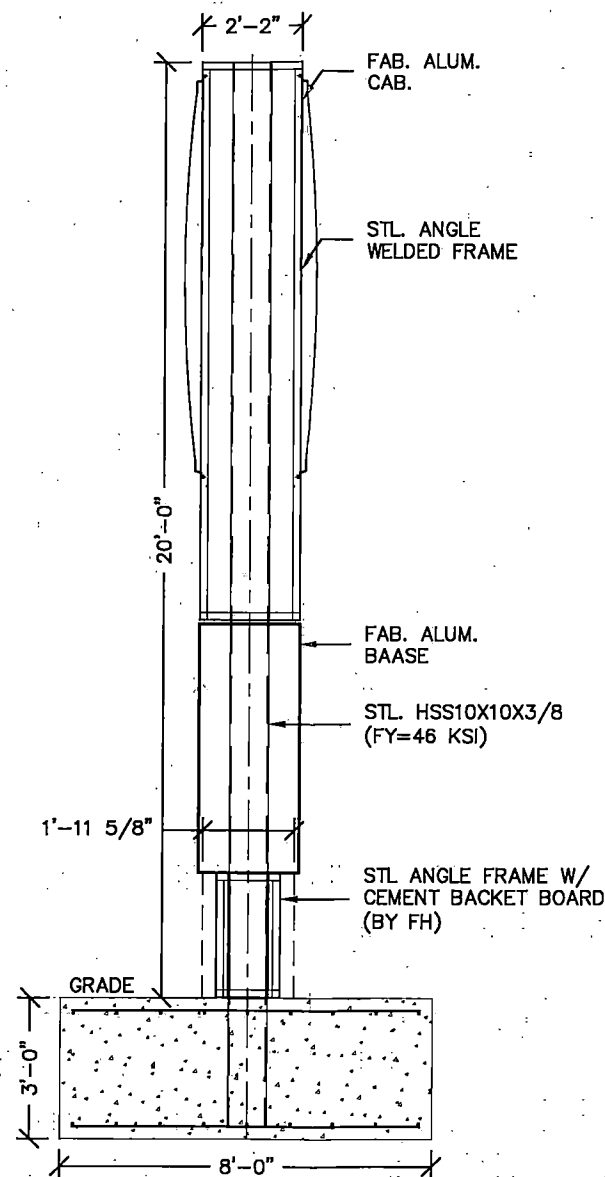
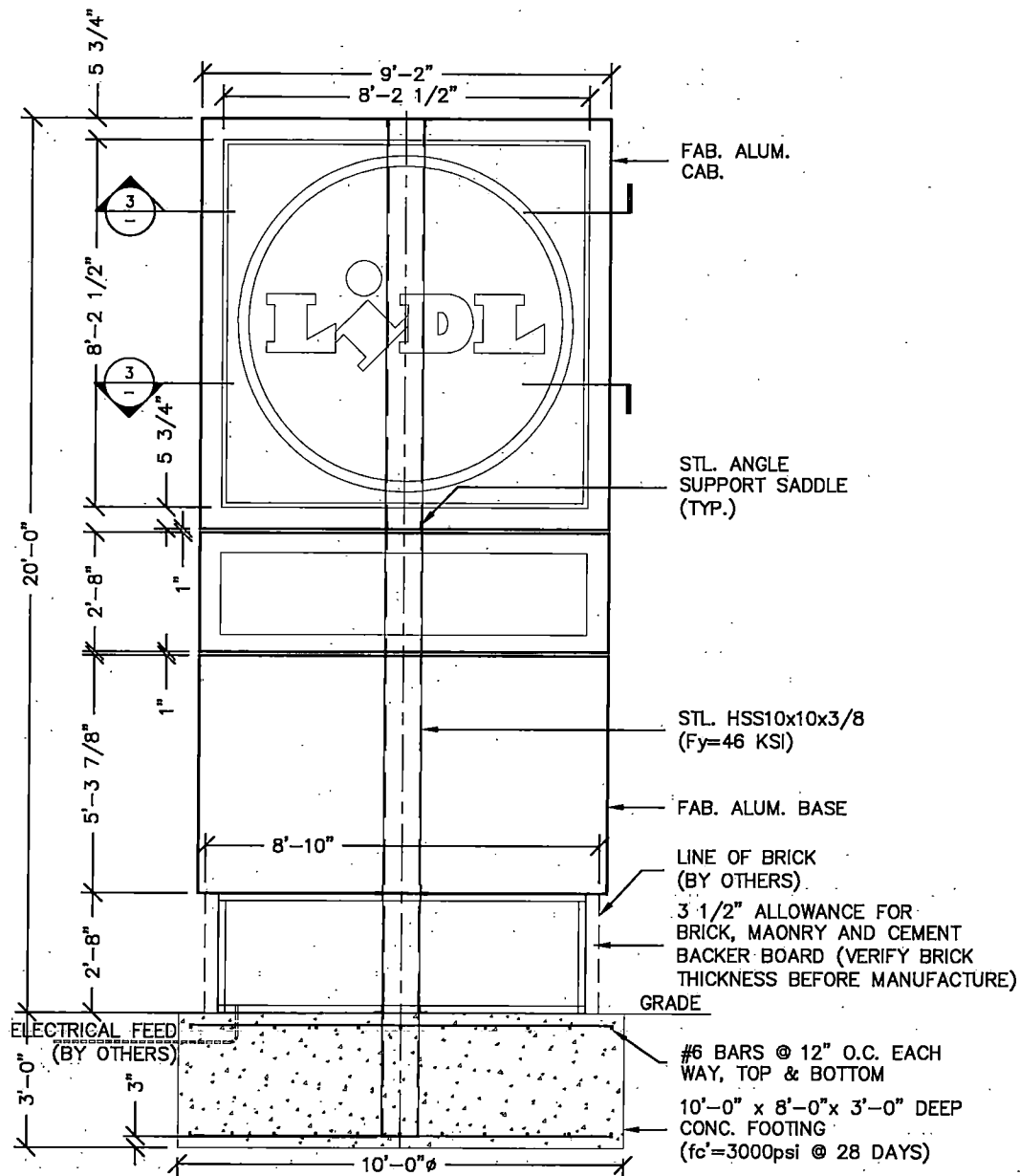


LIDL BRICK, NJ 23-55531-10 REV C.dwg

DESIGN NO: S-0303820C	PROJECT MGR.: M. KIRBY
DRAWN BY: PAT HODGKINS/PH	DATE: 17MAR20
JOB NO: 23-55531-10	

SHEET NO: S-1
OF: 2

FILE COPY



DESIGN SPECIFICATIONS	
IBC 2018 with NJ amendments	
ASCE 7-16 Minimum Design Loads for Buildings & Other Structures	
ACI 318-14 Building Code Requirements for Structural Concrete	
ANSI/AISC 360-10 Specification for Structural Steel Buildings	
DESIGN LOADS	
Wind: V = 125 mph	
Exposure: C	
Risk Cat: II	
Grid: Snow Pg = 20 psf	

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS

2 HUMMINGBIRD CT
HOWELL, NJ 07731
(973) 570-8215

Jerry Murdoch, PE
Professional Engineer
NJ PE Lic. #48980

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE.
- STRUCTURAL STEEL PIPE SHALL CONFORM TO NOTED SPECIFICATIONS.
- STRUCTURAL STEEL SHAPES AND PLATES SHALL CONFORM TO ASTM A36.
- WELDING SHALL CONFORM TO AWS D 1.1 & AISC SPECS.
- ALL WELDING TO BE PERFORMED BY CERTIFIED WELDER.
- ISOLATE ALUMINUM FROM STEEL.
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
- ALL ELECTRICAL WORK TO CONFORM TO THE REQUIREMENTS OF UL48 AND SECTION 600 OF NEC.
- ALL DATA LABELS REQUIRED.
- SIGNS TO BE 6-FT HORIZONTAL & 12-FT VERTICAL FROM HIGH VOLTAGE WIRES.
- CONCRETE TO HAVE f'c=2500 PSI MIN. @ 28 DAYS.
- DESIGN IS BASED ON 125 MPH WIND, 3-SEC GUST, EXPOSURE C.

FEDERAL HEATH
VISUAL COMMUNICATIONS
4802 NORTH AVENUE, OCEANSIDE, CA 92058
(760) 941-0715

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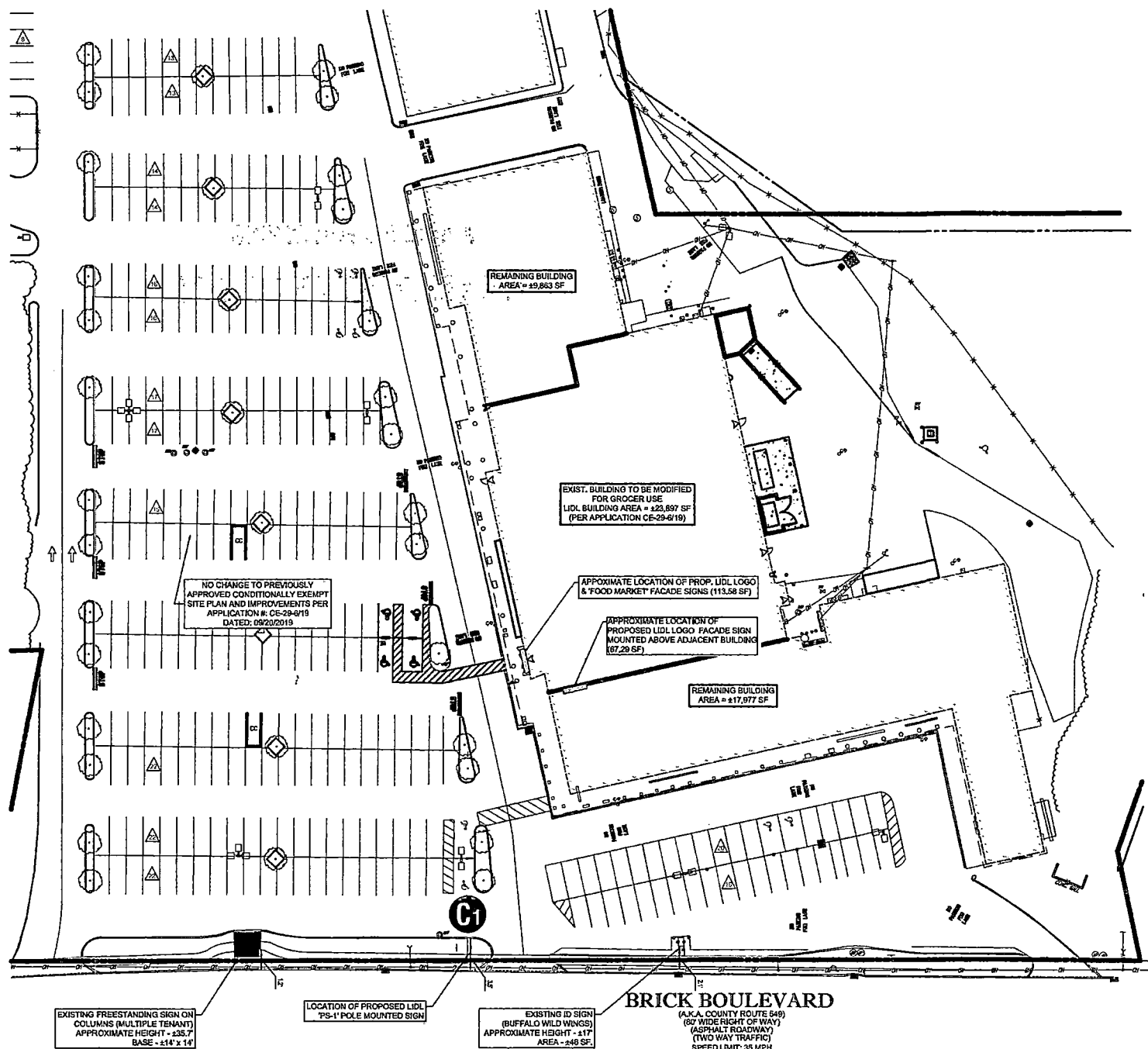
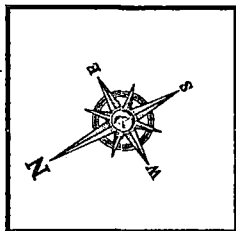
ART DESIGN REFERENCE #23-55531-10-R18

NO.	REVISIONS	DATE	BY
1	ADDED SIGNS C1&C2 FOR SEALING	22APR20	JPH
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3	REM A1 & B	17AUG20	JPH
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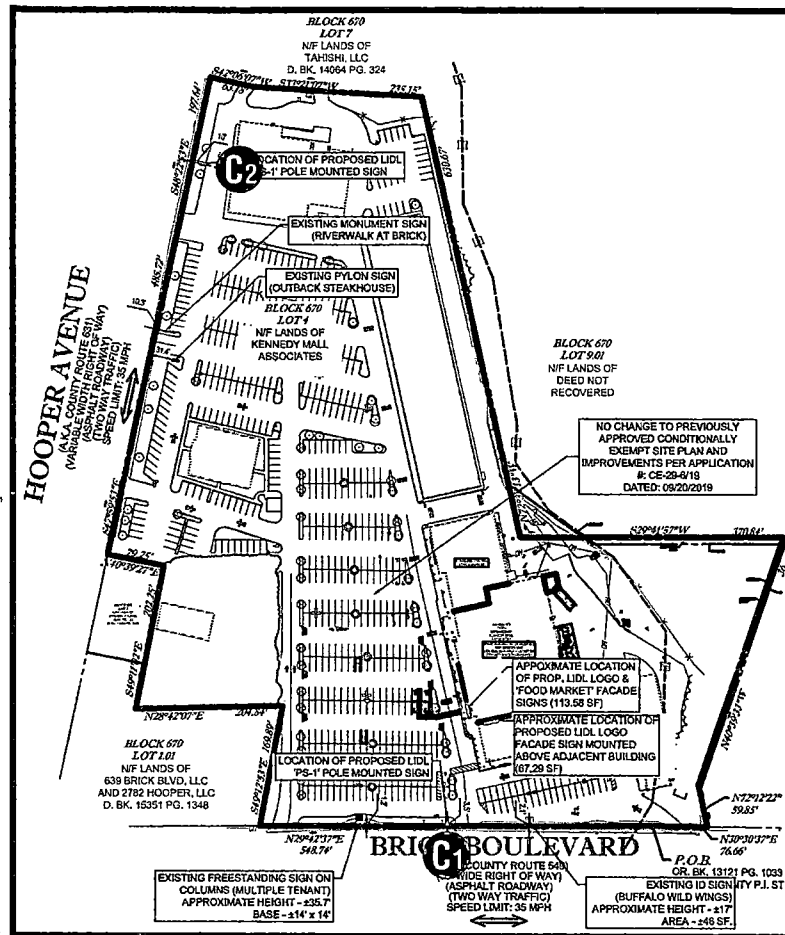
LIDL
2770 HOOPER AVE
BRICK, NJ 08723

DESIGN NO: S-0303820C	PROJECT MGR.: M. KIRBY
DRAWN BY: PAT HODGKINS/PH	DATE: 17MAR20
JOB NO: 23-55531-10	

SHEET NO: S-2
OF: 2



PARTIAL ENLARGED SITE PLAN OF BUILDING (NTS)



SITE PLAN (NTS)

SIGNAGE SCHEDULE:

- C1** MS-3A D/F MONUMENT SIGN ONE (1) REQ. | 54.3 SQ.FT.
- C2** MS-1A D/F MONUMENT SIGN ONE (1) REQ. | 183.2 SQ.FT.

APPROVED FOR ZONING

S-2720
CHRIS ROMANO, ZONING OFFICER

GENERAL NOTE

• INSTALLER SHALL VERIFY WALL CONDITIONS IN THE FIELD • TYPE, SIZE & QUANTITY OF FASTENERS TO BE DETERMINED • ALL BOLT HOLES TO BE DRILLED OR PUNCHED • ISOLATE ALL ALUMINUM FROM STEEL.

NEW & REMODEL CONSTRUCTION

ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

INSTALLER REQUIREMENTS FOR EIFS WALLS
IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

INSTALLER REQUIREMENTS

ALL INSTALLATION (MOUNTING) HARDWARE AND SECONDARY WIRING COMPONENTS, CONDUIT & CONNECTORS, ETC ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

ALL WALL PENETRATIONS TO BE SEALED WITH SILICONE TO HELP PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

ALL ELECTRICAL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF THE N.E.C. AND U.L. 48 ALONG WITH OTHER APPLICABLE STATE & LOCAL CODE REQUIREMENTS. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

120V - 20 AMP (PRIMARY ELECTRICAL SERVICE) CIRCUITS AND FINAL CONNECTION TO EACH SIGN, TO WITHIN 6 FT TO BE BY THE CUSTOMER'S CERTIFIED ELECTRICIAN. NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN TO MEET FEDERAL HEATH SIGN COMPANY REQUIREMENTS

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND & NEUTRAL, PER CIRCUIT) AND SHALL NOT BE SHARED WITH OTHER LOADS (SUCH AS LIGHTING, A/C and OTHER EQUIPMENT). PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO THE BREAKER PANEL IS REQUIRED.

NUMBER AND SIZE OF CIRCUITS FOR EACH SIGN MUST MEET FEDERAL HEATH SIGN REQUIREMENTS.

WARRANTY NOTICE

CERTAIN ELECTRICAL COMPONENTS OF SIGNS WILL FAIL PREMATURELY IF NOT SHUT OFF FOR A PERIOD OF TIME, ONCE EACH DAY. FOR BEST PERFORMANCE WE RECOMMEND THAT SIGNS BE CONNECTED TO AN AUTOMATIC CONTROLLING DEVICE SUCH AS AN EMERGENCY MANAGEMENT SYSTEM, TIME CLOCK OR PHOTO CELL TO CONTROL THE DAILY SHUT-OFF PERIOD. FAILURE TO FOLLOW THESE RECOMMENDATIONS CAN CAUSE DAMAGE TO ELECTRICAL COMPONENTS OF THE SIGN AND VOID THE WARRANTY. SOME DIMMING DEVICES WILL ADVERSELY AFFECT THE ELECTRICAL COMPONENTS OF THE SIGN IF IT IS ATTACHED TO, CAUSING FAILURE. ANY DIMMING OF THE SIGN WITHOUT CONSULTATION WITH FEDERAL HEATH SIGN CO. WILL VOID THE WARRANTY.

FEDERAL HEATH

VISUAL COMMUNICATIONS

www.FederalHeath.com

1128 Beville Road, Suite E Daytona Beach, FL 32114

(386) 255-1901 • Fax (386) 258-0211

Manufacturing Facilities:
Oceanside, CA - Eufess, TX - Jacksonville, TX
Delaware, OH - Racine, WI
Office Locations:
Oceanside, CA - Las Vegas, NV - Laughlin, AZ
Idaho Falls, ID - Eufess, TX - Jacksonville, TX - San Antonio, TX
Houston, TX - Corpus Christi, TX - Indianapolis, IN
Louisville, KY - Knoxville, TN - Grafton, WI - Delaware, OH
Willowbrook, IL - Tunica, MS - Atlanta, GA
Tampa, FL - Daytona Beach, FL - Orlando, FL

Building Quality Signage Since 1901

Revisions:
R12 2-08-19 CA - Sign B; Add Opt 2; Revy mount at 25% larger than orig layout layout.
R13 1-17-19 IG - add 2nd sign & an right sign.
R14 8-15-19 JP/JDR - Update B to be "Food Market" removed option 1
R15 8-20-19 CHC Update Food Market to fit under logo in width
R16 9-20-19 WJ/CX Add Sign D
R17 11-20-19 BW Add dimensions for replacement faces (D).
R18 12-6-19 CHC Replace site plan
R19 12-11-19 BW Add photo note to sign C2.
R20 12-22-19 CHC Update style of Sign C to MS-1a
R21 1-2-20 BW Revise location of sign C1.

Colors Depicted In This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.

Client Approval/Date: _____

Landlord Approval/Date: _____

R11 1-23-20 CHC Revise Sign C1 to MS-3a 10' monument. No change to C2
R12 2-03-20 JD/JDR Replacement faces above the Dollar Tree. Signing TBD - 2 options
R13 3-06-20 JD/JDR Added TRESA DETAILS For wall signs and updated wall section
R14 3-13-20 JD/CHC Insert new elevation, verify width of Sign B & set on logo width.
R15 3-24-20 JB Update elevations. Remove Sign D option 1
R16 5-7-20 BW Add survey dimensions for sign B.
R17 5-26-20 JB Monu. add brick bases
R18 7-31-20 WJ/CX Sign C remove estimate no. & changed brick base by others. Sign D update color.

Account Rep: **Matt Smith**

Project Manager: **Marylou Kirby**

Drawn By: **Jesthan Delcano / JK**

Underwriters Laboratories Inc. **nec** ELECTRICAL TO USE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS
ALL ELECTRICAL SIGNS ARE TO COMPLY WITH U.L. 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS INCLUDING THE PROPER GROUNDING AND BONDING OF ALL SIGNS.

Project / Location:

LIDL

Store Number: 1425
2770 Hooper Avenue
BRICK, NJ 08723

Job Number: **23-55531-10**

Date: **May 03, 2019**

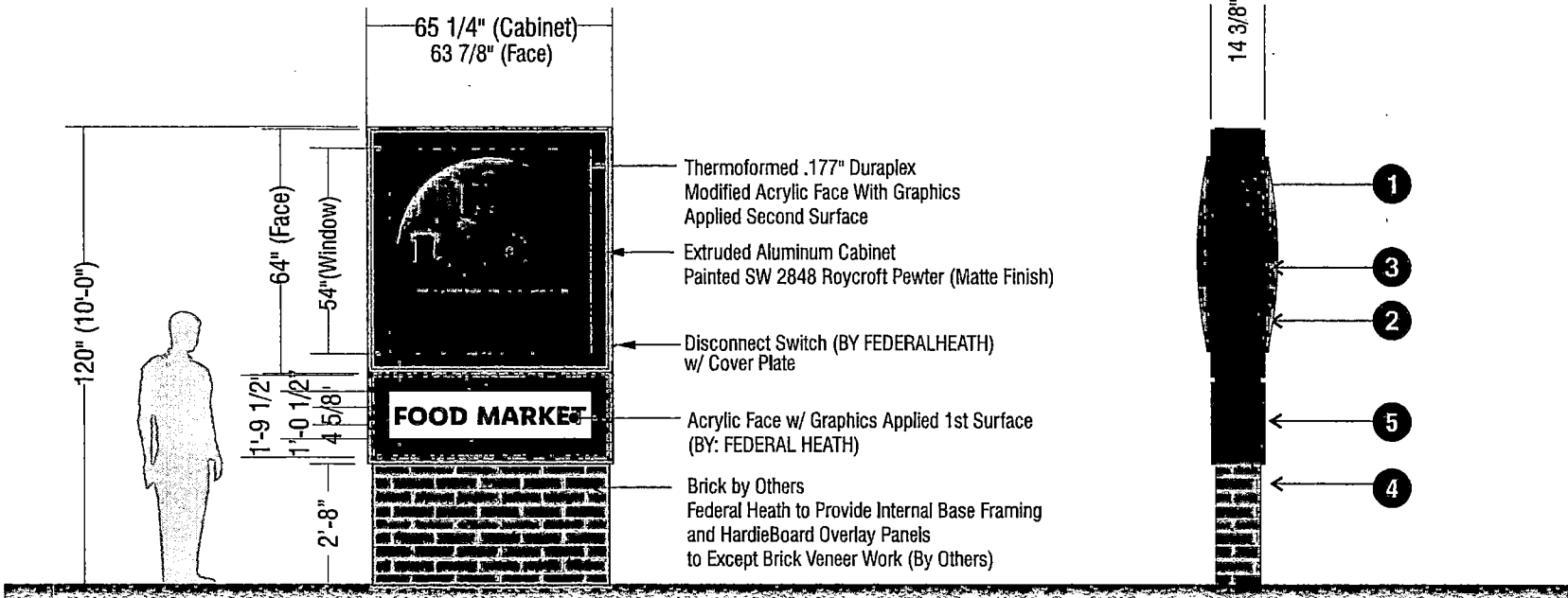
Sheet Number: **1** of **12**

Design Number: **23-55531-10 R18**

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TOP VIEW



MS-3A DOUBLE FACED INTERNALLY ILLUMINATED MONUMENT SIGN
scale 1/4"=1'-0" **54.3 SQ.FT.**

SIDE ELEVATION

STANDARD INSTALL IS TO BE DIRECT PIPE EMBEDMENT INTO CONCRETE FOOTING PER FH ENGINEERING SPECS WHEN APPLICABLE. ACCESS AND NONSTANDARD FIELD CONDITIONS MAY REQUIRE SITE SPECIFIC ENGINEERING WITH ADDITIONAL COSTS APPLIED.

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 600 OF THE NEC, UL 48 AND OR OTHER APPLICABLE LOCAL CODES, INCLUDING THE PROPER GROUNDING AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT SWITCH, AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A) OF THE NEC.

ELECTRICAL REQUIREMENTS	
Total: T.B.D. Amps	REFER TO PAGE 1 FOR ADDITIONAL ELECTRICAL AND INSTALLATION INFORMATION & REQUIREMENTS
# of 120V, 20A Circuits Req'd T.B.D.	
ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND	

Specifications:

- 1. - D/F fabricated aluminum sign cabinet w/ steel structure
- 2. - (2) thermoformed .117" Duraplex modified acrylic faces with second surface translucent graphics
- 3. - Internal illumination: Principal Quik Stik Shallow 360 PL-QS96-PW-SH
- 4. Bricks - By Others
- 5. Secondary Faces of .177 White Acrylic with First Surface Translucent Vinyl Graphics.

Face Color Specifications:

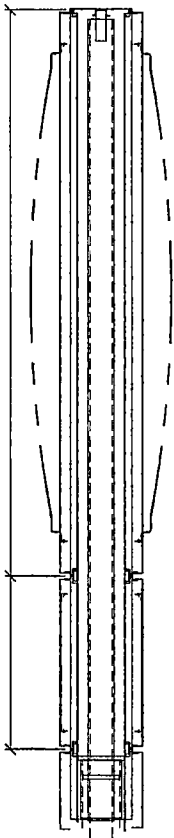
- PMS 2154c Blue ("L", "D", "I" & Background)
- PMS 485 Red ("I" & Circle Border)
- PMS Yellow C (Circle)

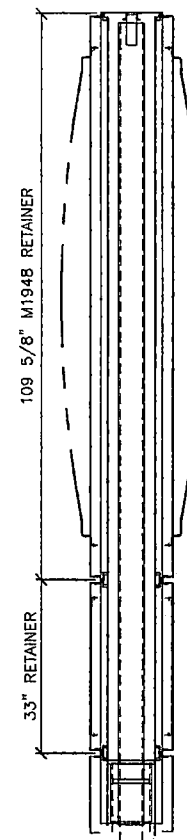
Translucent Vinyls | Cross reference

- 3M 3630-47 Patriot Blue
- 3M 3630-143 Poppy Red
- Oracal 8800-021 Yellow

Notes:

- "LIDL" (LOGO) Sign Faces Provided By Others.
- Sign To Be Installed In Accordance w/ The Requirements Of Article 600 Of The National Electrical Code.





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