

TOWNSHIP OF BRICK

CONSTRUCTION PERMIT
APPLICATION

Page 1

I. IDENTIFICATION

1. Proposed Work at: 965 WABASH AVE

2. Owner Name: G. BURTON Tel. () - () - ()

Address 108 BIRCH DR. BLDG #8 BRICK N.J. 08723

3. Principal Contractor: SAFE Tel. () - () - ()

Address SAFE

Lic. No. or Builder Reg. No. 019303 Federal Emp. No. _____

4. Architect or Engineer: DCS

Address 323 THIRD ST. LAKEWOOD NJ

5. Responsible Person in Charge of Work SAFE Tel. () - () - ()

II. PROPOSED WORK

A. TYPE OF WORK	B. CATEGORIES OF WORK	Estimated
1. ☐ Minor Work (Single Trade)	Permit/Category	
2. ☐ Small Job (\$5,000 and no Prior Approvals) <i>Complete only I.B., III and IV.A. and Page 2</i>	1. ☐ Building/Structural	\$ <u>38000.00</u>
	2. ☐ Plumbing	\$ <u>39000.00</u>
	3. ☐ Electrical	\$ <u>18000.00</u>
	4. ☐ Fire Protection	
	5. ☐ Other	
	6. ☐ Other	
	TOTAL COST	\$ <u>43,700.00</u>
C. DO YOU WANT:		
1. ☐ Partial Releases 2. ☒ Prototype Processing		

D. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

1. ☐ Elevators/Dumbwaiters
2. ☐ High-Pressure Boilers
3. ☐ Refrigeration Systems
4. ☐ Pressure Vessels
5. ☐ Hazardous Uses/Places of Assembly
6. ☐ Cross-connections/Backflow Preventors
7. ☐ Sprinklers
8. ☐ Smoke Control Systems in Open Wells

III. DESCRIPTION OF BUILDING USE (USE GROUPS)

A. RESIDENTIAL	If new construction, enter no. of dwelling units _____	If other than new construction, enter no. of dwelling units: _____
1. ☐ Hotels (R-1)	Before Construction: _____	After Construction: _____
2. ☐ Multi-Family (R-2)	Net Gain (or loss): _____	
3. ☐ Two Family (R-3b)		
4. ☒ One-Family (R-3a)		
B. NON-RESIDENTIAL		
5. ☐ Theatres with Stage (A-1-A)	16. ☐ Institutional Detention Center (I-1)	
6. ☐ Movie Theatres (A-1-B)	17. ☐ Hospitals, Infirmeries (I-2)	
7. ☐ Night Clubs (A-2)	18. ☐ Group Homes (I-3)	
8. ☐ Restaurants, Libraries, Museums (A-3)	19. ☐ Mercantile (M)	
9. ☐ Religious Assembly (A-4)	20. ☐ Moderate-Hazard Warehouse (S-1)	
10. ☐ Outdoor Assembly (A-5)	21. ☐ Low-Hazard Warehouse (S-2)	
11. ☐ Business (B)	22. ☐ Temporary, Misc. (U)	
12. ☐ Educational (E)	23. ☐ Other	
13. ☐ Moderate-Hazard Factory (F-1)		
14. ☐ Low-Hazard Factory (F-2)		
15. ☐ High-Hazard (H)		

State Specific Use: _____

If Change in Use Group, Indicate Former: _____

IV. BUILDING CHARACTERISTICS

A. OWNERSHIP	
1. ☒ Private (Individual, Corp., Non-profit Inst., Etc.)	
2. ☐ Public (State, County or Local Govt.)	
B. HEATING FUEL	
Principal	Secondary
3. ☒ Gas	☐ Gas
4. ☐ Oil	☐ Oil
5. ☐ Electric	☐ Electric
6. ☐ Solid (Wood, Coal, Etc.)	☐ Solid (Wood, Coal, Etc.)
7. ☐ Propane	☐ Propane
8. ☐ Solar	☐ Solar
9. ☐ Other	☐ Other
C. TYPE OF SEWAGE DISPOSAL	
10. ☒ Public or Private Company	
11. ☐ Private (Septic Tank, Etc.)	
D. TYPE OF WATER SUPPLY	
12. ☒ Public or Private Company	
13. ☐ Private (Well, Etc.)	
E. BUILDING CHARACTERISTICS	
14. No. of Stories <u>2</u>	
15. Height of Structure <u>24</u> Ft.	
16. Area—Largest Floor <u>180</u> Sq. Ft.	
17. Bldg. Area—All Fls. <u>1695</u> Sq. Ft.	
18. Volume of Structure _____ Cu. Ft.	
19. Total Land Area Disturbed <u>4000</u> Sq. Ft.	

LDS BR 10109290

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION

I hereby certify that I am the owner of the property listed on Page 1. This dwelling is to be occupied by myself and is not to be used for any purpose, other than single family residential use.

A. ☐ I further certify that I prepared the plans submitted. This statement is made in accordance with the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)vii.

B. ☐ I further certify that I will perform the work below.

B1. ☐ Building B2. ☐ Electrical B3. ☐ Plumbing

C. ☐ I further certify that a new home will be constructed on this property, for my use and occupancy. I attest that all design, construction, plumbing, or electrical work will be done by me or by subcontractors under my supervision, in accordance with all applicable laws; and further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.A.C. 46:3B-1 et. seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

SIGNATURE _____

DATE _____

II. AGENT SECTION

I hereby certify that the work is authorized by the owner of record and I have been authorized by the owner to make this application as his agent.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☒ Check if contractor.

AGENT NAME GEO BURTON TEL. 477-7304

ADDRESS 108 BIRCH DR BRK

SIGNATURE George Burton

PRIOR APPROVALS CHECKLIST

APPROVALS	LOCAL				COUNTY				REGIONAL				STATE				COMMENTS
	Prelim. Approval		Final Approval		Prelim. Approval		Final Approval		Prelim. Approval		Final Approval		Prelim. Approval		Final Approval		
	Init.	Date	Init.	Date	Init.	Date	Init.	Date	Init.	Date	Init.	Date	Init.	Date	Init.	Date	
☐ Planning Board																	
☐ Zoning Board																	
☐ Sewer Authority																	
☐ Water Authority																	
☐ Fire Department																	
☐ Police Department																	
☐ Health Department																	
☐ Soil Conservation																	
☐ N.J. Dept. of Community Affairs																	
☐ N.J. Dept. of Transportation																	
☐ N.J. Dept. of Environmental Protection																	
☐ Other: _____																	
☐ _____																	
☐ _____																	
☐ _____																	
☐ _____																	
☐ _____																	
☐ _____																	
☐ _____																	
☐ _____																	

SUBCODES AND SPECIAL REGULATIONS APPLICABLE:

EDITION OF CODE ☐ One and Two Family Dwellings _____ ☐ Building _____ ☐ Electrical _____ ☐ Plumbing _____	EDITION OF CODE ☐ Mechanical _____ ☐ Energy _____ ☐ Barrier Free _____ ☐ Other _____	☐ Flood Hazard _____ ☐ As Built Elevation Certification _____ ☐ Other _____
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PERMIT CONTROL

I. PLAN REVIEW STATUS

Updated at time of receipt of drawings and when plans are approved.

- ☐ PARTIAL RELEASES
☐ PROTOTYPE PLAN - FILE LOCATION AND NO.

Plan Review Required	Type of Work	Plans Received By Date	Approval Date	Reviewer	Comments
☒	BUILDING Footings/Foundations Framing Architectural	10/25/89 60	11-3-89 11/3		
☒	PLUMBING		11/3/89		
☒	ELECTRICAL	11-3-89	11-14-89		
☒	FIRE PROTECTION		11-13-89		
☐	OTHER				

Updated 11/3/89 1255

II. PERMIT/INSPECTION STATUS

Updated at time of permit and after final approvals.

Issue Date	Category	Revisions	Final Inspection	Comments
1	ALL CONSTRUCTION BUILDING Footings/Foundations Framing Architectural Other		5-1-90 1008	
	PLUMBING		4-30-90	15.00 due
	ELECTRICAL		4-23-90 134	
	FIRE PROTECTION		4-23-90	
	OTHER		4-19-90	

III. CERTIFICATES ISSUED

CERTIFICATES TO BE ISSUED:

- ☐ Temporary Certificate of Occupancy
☐ Date Expired _____ Date Issued _____
☐ Temporary Certificate of Occupancy
☐ Date Expired _____
☒ Certificate of Occupancy
No. 5838 Date 5-10-90
☐ Certificate of Continued Occupancy
No. _____
☐ Certificate of Approval
No. _____
☐ None

IV. ON-GOING INSPECTIONS

On-going Inspections Required
(See Page 1, II.D.)

Date Posted to
Log and Ticker

V. FEE SUMMARY

Initial fee collection recorded in A; all others in section B.

A. COLLECTED AT TIME OF CONSTRUCTION PERMIT ISSUANCE

	AMOUNT
BUILDING	\$ 136.39
PLUMBING	100.00
ELECTRICAL	20.
FIRE PROTECTION	
OTHER	
SUBTOTAL	\$ 256.39

- LESS: 20% of subtotal (when plan review performed by state agency).

D.C.A. TRAINING FEE .0006 x 19484 11.49
CERTIFICATE OF OCCUPANCY 38.48

TOTAL COLLECTED WHEN PERMIT ISSUED \$ 332.18

B. COLLECTED AFTER CONSTRUCTION PERMIT ISSUANCE

	AMOUNT
CERTIFICATE OF OCCUPANCY	15.00
OTHER	
OTHER	
- LESS: Refunds	
TOTAL COLLECTED AFTER PERMIT ISSUED	\$

C. TOTAL CONSTRUCTION FEES COLLECTED

	AMOUNT
COLLECTED WITH PERMIT (VA)	\$
COLLECTED AFTER PERMIT (VB)	\$
TOTAL	\$



CERTIFICATE

Date Issued 5-10-90
Control #
Permit # 58378

IDENTIFICATION

Block 522.29 Lot 11,12
Work Site Location 965 Wabash Avenue
Owner in Fee George Burton
Address 108 Birch Dr., Bldg. 8
Brick, NJ
Tele. ()
Contractor same
Address
Tele. ()
Lic. No. or Bldrs. Reg. No.
Federal Emp. No.
or Social Security No.

Home Warranty No. 089594
Use Group R-3 1 hour
Maximum Live Load
Description of Work/Use:

Single family dwelling

Type of Warranty Plan: ☒ State ☐ Private
Construction Classification
Maximum Occupancy Load

CERTIFICATE OF OCCUPANCY/APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ CERTIFICATE OF APPROVAL

This serves notice that said building, structure, or equipment has been constructed or installed in accordance with the New Jersey Uniform Construction Code, and is approved for use and/or occupancy.

☐ CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ TEMPORARY CERTIFICATE OF OCCUPANCY

If this is a Temporary Certificate of Occupancy the following conditions must be met no later than _____, 19____ or the owner will be subject to a fine or order to vacate:

Arthur J. Cierzo
CONSTRUCTION OFFICIAL

Fee \$
Paid ☐ Check No.
Collected by:

TOWNSHIP OF BRICK



APPLICATION FOR CERTIFICATE

PERMIT NO. <u>5838</u>
DATE ISSUED <u>11-16-89</u>
Block <u>527-88</u> Lot <u>11-12</u>
Subdivision <u>CEPMS 4000</u> Page <u>1</u>
Notice No. _____

IDENTIFICATION

OWNER:

Name GEO. BURTON

Address 104 BIRCH DR.

Town/State/Zip BRICK, N.J. 08723

CONSTRUCTION LOCATION:

Address 96 WABASH DR

BRICK, N.J. 08723

Tel. _____

CONSTRUCTION

☒ CERTIFICATE OF OCCUPANCY

☐ CERTIFICATE OF APPROVAL

☐ CERTIFICATE OF CONTINUED OCCUPANCY

☐ TEMPORARY CERTIFICATE OF OCCUPANCY

USE GROUP: A-3A Previous _____

Current _____

FINAL COST OF CONSTRUCTION: \$ 42,000.00

(Include value of any new structure, all on-site improvements, built in furnishings and fixtures and all integral equipment exclusive of process or manufacturing equipment.)

A set of "As-Built" or amended drawings is required if the building or structure deviates from the approved plans filed with the construction permit. Use space below to describe any deviations from approved plans:

If you are requesting a Temporary Certificate of Occupancy, please explain why in the space below.

I hereby attest, that to the best of my knowledge, all work has been completed in accordance with the approved plans, permit and Regulations. Incomplete items listed on a Temporary Certificate of Occupancy will be completed by the date on the Certificate.

SIGNED: _____

☒ Owner

☐ Agent

OWNER/AGENT

George Burton



CONSTRUCTION PERMIT

Date Issued 11-16-89
Control #
Permit # 5838

NOTIFICATION Block 522.29 Lot 11, 12

Work Site Location Walwash Ave. Contractor same

Address _____

Owner in Fee Buxton

Address 100 Birch Dr

Telephone (____) _____

Lic. No. or Bldrs. Reg. No. _____

Federal Emp. No. _____

or Social Security No. _____

**0003*

5837

Exp. Date

52229

LDT

1112 H

Whereby granted permission to perform the following work:

BUILDING ☐ PLUMBING ☐ OTHER _____

ELECTRICAL ☐ FIRE PROTECTION _____

DESCRIPTION OF WORK:

Reselling 19484

11.64

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 43,700

C. Form F-170A

43,700

Ag. Arjo

CONSTRUCTION OFFICIAL

1 WHITE OFFICE

2 CANARY - TAX ASSESSOR

3 PINK - JACKET

4 GOLD - APPLICANT

PAYMENTS (Office Use ONLY)

Building _____ PLUMBING _____

Plumbing _____ FIRE _____

Electrical _____ PLAN ROOM _____

Fire Protection _____ D.C.A. _____

Other _____ C / D _____

Other _____ TOTAL _____

DCA Training Fee _____ CHECK _____

Cert. of Occ. _____ CHANGE _____

Other 11-16-89 NO. 5 0049A005

Total _____

Check No. _____

Cash _____

Collected By: B.

A. IDENTIFICATION

APPLICANT – Complete unshaded areas only

When changing contractors, notify this office

Owner GEORGE BOLTON

Contractor SAME

Address 108 BIRCH DR.
BRICK N.J.

Address _____

Tel. (____) _____

Tel. () -

Work Site Address 707 WABASH AVE
BRICK.

Lic. No. 0 19303

Federal Emp. No. _____

CERTIFICATION IN LIEU OF OATH:

(Complete for Minor Work and Small Job Only)

I hereby certify that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his agent.

AGENT SIGNATURE

B. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Give detail description including materials used, dimensions, etc.

~~FRAME~~ Slab
GARAGE.
2 - STORIES
3 - BEDROOMS

TYPE OF WORK:

- ☒ New Building
☐ Addition
☐ Alteration/Renovation
 ☐ Roofing
 ☐ Siding
 ☐ Other _____
☐ Demolition
☐ Miscellaneous
 ☐ Fence
 ☐ Sign
 ☐ Pool
 ☐ Elevator
 ☐ Other *19484 Cn Fr*

[illegible] See Plans

C. BUILDING CHARACTERISTICS

USE GROUP: K-3 Present _____ Proposed _____

No. of Stories 2 Total Building Area—All Floors 1695 Sq. Ft.

Height of Structure 22 Ft. Volume of Structure _____ Cu. Ft.

1800 4000

D. COMMENTS

JOB SUMMARY

PLAN REVIEW

Date Initials

11-3-19 1/11

☐ No Plans Required

☒ All

☐ Footing/Foundation

☐ Frame

☐ Architectural

☐ Other

INSPECTIONS FINAL

☐ CO ☐ CCO ☐ CA

INSPECTIONS

Type

Failure Dates

Approved Date

☒ Footing/Foundation

☐ Slab

☒ Frame

☐ Architectural

☒ Insulation

☒ Finishes

☐ Energy

☐ Mechanical

Maximum Occupancy Load:

Maximum Live Load:

Fire Grading:

[Handwritten Signature]
5/11/19

11-20-89
1-16-90
1-18-90
5/11/19

A. IDENTIFICATION

APPLICANT - Complete unshaded areas only

When changing contractors, notify this office

Owner G. BURTONContractor SAMEAddress 108 BIRCH DR
BRICK NJ.Address SAMETel. () [REDACTED]Tel. () [REDACTED]Work Site Address 965 WABASH AVE
BRICK.Lic. No. 019303Federal Emp. No. [REDACTED]

CERTIFICATION IN LIEU OF OATH:

(Complete for Minor Work and
Small Job Only)I hereby certify that the proposed work
is authorized by the owner of record
and I have been authorized by the
owner to make this application as his
agent.

AGENT SIGNATURE

B. TECHNICAL SITE DATA

B1. SPRINKLERS

TYPE: ☐ Wet ☐ Dry ☐ Other [REDACTED]Area Sprinkled: ☐ Full ☐ Partial (specify in comments)No. of Heads: [REDACTED] No. of Spare Heads: [REDACTED]☐ Valves Supervised - Method: [REDACTED]Water Supply - Source: [REDACTED] Size: [REDACTED]FD Connection Location: [REDACTED]Estimated Cost of Work: \$ [REDACTED]

FEE

B2. SPECIAL SUPPRESSION SYSTEMS

TYPE: ☐ Dry Chemical ☐ CO₂☐ Halon ☐ Foam☐ Other [REDACTED]Manual Pull: ☐ Yes ☐ NoLocations: [REDACTED]Estimated Cost of Work: \$ [REDACTED]

B3. ALARM

TYPE: ☐ Manual ☒ AutomaticSupervision Type: ☐ Local ☐ Central☐ Proprietary ☐ Remote LocationEstimated Cost of Work: \$ 50.00

FEE

B4. STAND PIPES

Pipe Size: [REDACTED] Pump Size: [REDACTED]Water Source: [REDACTED] Size: [REDACTED]FD Connection Location: [REDACTED]Hose Station: ☐ Yes ☐ NoEstimated Cost of Work: \$ [REDACTED]

B5. OTHER

S.D. & Eggers Warden

Subtotal

Minimum Fire Protection Fee (If Applicable)

Total Fire Protection Fee (Greater of Minimum
or Subtotal)

20

C. FIRE PROTECTION CHARACTERISTICS

USE GROUP K-3A Present [REDACTED] Proposed [REDACTED]Heating Systems - Location: [REDACTED]

D. COMMENTS

☒ CO ☐ CCO ☐ CA
 INSPECTIONS FINAL
 Approved By: [Signature]
 Date: 11-9-99
☐ No Plans Required
☐ Plan Review Approved
Photo copy

CO ☒ CA ☐ CO ☐

INSPECTIONS FINAL

Approved By:

Date:

☐ Plan Review Approved☐ No Plans Required

INSPECTIONS

Fire Suppression Test

Fire Alarm Test

Smoke Test

TCO

Other-

Other /

Type

Failure Date

Approval Date

4-23-90

4-23-80

H-33-90

Completed with Love

A. IDENTIFICATION

APPLICANT – Complete unshaded areas only

When changing contractors, notify this office

Owner GEO. BURTON

Contractor Nilsen Plumbing

Address 965 W DORSET AVE
BRICK NJ

Address 241 Cherry Quay Rd.
Brick NJ

Tel. (____) _____

Tel. () 920 1695

Work Site Address 965 WABASH AVE
BRICK HT.

Lic.No./Bus. Permit 1858
Federal Emp. No. _____

CERTIFICATION IN LIEU OF OATH:

(Complete for Minor Work and Small Job Only)

I hereby certify that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his agent.

David M. Nelson
AGENT SIGNATURE

B. TECHNICAL SITE DATA

List all fixtures

TYPE OF WORK:

No.	Fixture	Fee	No.	Fixture	Fee	Fee
2	Water Closet/Bidet/Urinal	\$ 10.-		Garbage Disposal	\$	COLUMN 1 \$ 60.-
1	Bathtub	5.-	1	Air Conditioner Unit	15.-	COLUMN 2 \$ 40.-
3	Lavatory/Sink	15.-		Indirect Connection		SUBTOTAL \$
	Shower/Floor Drain			Sewer Ejector		Minimum Plumbing Fee
1	Washing Machine	5.-		Grease Trap		(If applicable) \$
1	Dishwasher	5.-		Interceptor		Total Plumbing Fee
	Commercial Dishwasher			Backflow Device		(Greater of Minimum
1	Water Heater	5.-		Reduced Pressure		or Subtotal) \$ 100.-
1	Domestic Boiler/ Furnace	15.-	2	Backflow Device		
	Steam Boiler			Vent Stack	10.-	
1	Water Util. Connection			Solar System		
1	Sewer Util. Connection			Other GAS PIPING	15.-	
2	Hose Bibb			Other		
	Water Cooler			Other		
	COLUMN 1	\$ 60.-		COLUMN 2	\$ 40.-	

C. PLUMBING CHARACTERISTICS

USE GROUP: _____ Present _____ Proposed

Drainage — Material ABS Size 3"

Building Sewer— Material ARS Size 3"

Water Service—	Material	Size
	Polu	3/4

D. COMMENTS

JOB SUMMARY

☐ No Plans Required
☒ Plan Review Approved
 Date: 11-3-89
 Approved By: [Signature]

INSPECTIONS FINAL

☒ CO ☐ CCO ☐ CA

Date: 4-30-90

☐ Slab
☒ Rough
☐ Water
☐ Sewer
☐ Energy
☐ Mechanical
☐ TCO

INSPECTIONS

Type

Failure Dates

Approval Date

12/5/90





CUT-IN-CARD

MUNICIPALITY B-T.

LOCATION 965 Walbrook Ave

UTILITY CO P.P.

BLK 52299 LOT 1112

OWNER Gear Burton

OCCUPANT

"Installation in the above premises has been inspected and is in accordance with N.E.C. utility and DCA requirements."

☒ FINAL ☐ TEMPORARY

This approval void after 100 days

SERVICE 100

RANGE

WATER HEATER

AIR COND

ELECT HEAT

MISC DW

COMMENTS

DATE 4-23-90 PERMIT # 12619

INSPECTOR B. L. Loring

Insp. Lic # 29

Elec. 104

P. 1. 11. 90

**THE BRICK TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY**

1551 HIGHWAY 88 WEST
BRICK, NEW JERSEY 08724
458-7000

CERTIFICATE OF COMPLIANCE

Date...5/10/90.....

NAME...George Burton.....

ADDRESS.....108 Birch Drive, Bldg...8...Brick, NJ.....

PROPERTY LOCATION.....955 Wabaash Avenue.....

Account No...I722405..... Block...522-29..... Lot...11-12.....

I hereby certify that the above applicant has complied with all Rules
and Regulations of this Authority and has paid all required fees and charges.

For the Authority *m-mclary*

SIZING FOR WATER AND SEWER SERVICES

Property Owner GEORGE BURTON Date 11-3-88

Property Address 965 WABASH AVE. Block 522-29 Lot 11-12

Zoning _____ Use Group _____

Contractor NIELSEN License No. Registration 1858

Water Main Size _____ Water Pressure _____ Sewer Main Size _____

Plumbing Fixtures	Number	(sfu)	Water Units	(dfu)	Drainage Units
1. Water Closet	<u>2</u>	<u>(3)</u>	<u>6</u>	<u>()</u>	<u>()</u>
2. Lavatory	<u>2</u>	<u>(1)</u>	<u>2</u>	<u>()</u>	<u>()</u>
3. Bath Tub	<u>1</u>	<u>(2)</u>	<u>2</u>	<u>()</u>	<u>()</u>
4. Shower Stall		<u>()</u>		<u>()</u>	<u>()</u>
5. Kitchen Sink	<u>1</u>	<u>(2)</u>	<u>2</u>	<u>()</u>	<u>()</u>
6. Service Sink		<u>()</u>		<u>()</u>	<u>()</u>
7. Laundry Tray		<u>()</u>		<u>()</u>	<u>()</u>
8. Dishwasher	<u>1</u>	<u>(1)</u>	<u>1</u>	<u>()</u>	<u>()</u>
9. Washing Machine	<u>1</u>	<u>(3)</u>	<u>3</u>	<u>()</u>	<u>()</u>
10. Urinal		<u>()</u>		<u>()</u>	<u>()</u>
11. Floor Drain		<u>()</u>		<u>()</u>	<u>()</u>
12. Drinking Fountain		<u>()</u>		<u>()</u>	<u>()</u>
13. Air Conditioner (water cooled)		<u>()</u>		<u>()</u>	<u>()</u>
14. Dental Unit		<u>()</u>		<u>()</u>	<u>()</u>
15. Lawn Sprinkler No. of Heads		<u>()</u>		<u>()</u>	<u>()</u>
16. Fire Sprinkler No. of Heads		<u>()</u>		<u>()</u>	<u>()</u>
17.		<u>()</u>		<u>()</u>	<u>()</u>
18.		<u>()</u>		<u>()</u>	<u>()</u>

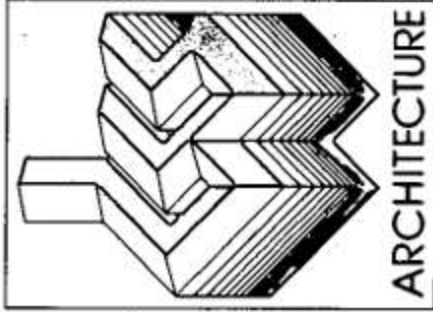
Total

Gallons per minute 10.4

Size of Service 3/4"

Date: 11-3-88

Approved: J.W. Sp
Brick Township Plumbing Inspector



DCS ARCHITECTURE

morgan m. davis
william s. chester
richard stutesman

January 22, 1990

RECEIVED

JAN 24 1990

BUILDING

Mr. Art Cierzo
Bricktown Building Dept.
401 Chambersbridge Road
Bricktown, New Jersey 08723

Re: George Burton
Lot 11, Block 522.29
Our Commission No. 750109

Dear Mr. Cierzo:

In reference to our telephone conversation regarding Commission No. 750109, a revision has been made to include vinyl siding as an optional material instead of cedar shakes. Enclosed are two sealed copies of revised Cross Section, Sheet 6 of 8 to be inserted into the sets submitted to you for permit by Mr. Burton.

Should you have any further questions, please do not hesitate to contact this office.

Very truly yours,

DCS ARCHITECTURE

Susan L. Duncan
Residential Associate

SLD:tw

Enc.

cc: Mr. George Burton

RESOLUTION

Whereas, Donato Brezzi and Carole M. Brezzi have applied to the Board of Adjustment of the Township of Brick for permission to construct a single family dwelling on an undersized lot at premises located at Wabash Avenue, Township of Brick, and known as Block 522.29 Lot 11 on the Tax Map of the Township of Brick;

which premises are in an R7.5 zone and whereas, the Board after carefully considering the evidence presented by the applicant and of the adjoining property owners and general public has made the following factual findings:

1. Applicant proposes to construct a two story single family dwelling on a 40 x 100 lot, 4000 sq. feet in an R7.5 zone, with 75' frontage, 90' depth and 7500 sq. feet the minimum required for the zone.
2. Applicants have amended their application to provide for a 33' rear yard setback.
3. Applicants have proven that they made efforts to either buy or sell adjoining property in an effort to bring the property into conformity.
4. Detailed plans have been submitted which, subject to conditions, describe its appearance, prove its compliance with building codes and will conform to the neighborhood and enhance the neighborhood.
5. The application will conform to all setback requirements and will not violate any traditional zoning purposes such as light, air and open space.
6. The relief requested can be granted without substantial detriment to the public good, and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

NOW, THEREFORE BE IT RESOLVED by the Board of Adjustment of the Township of Brick, on this 22nd day of March, 1989 that the application of Donato and Carole Brezzi be granted subject, however, to the following conditions:

1. Shutters to be added to all windows.
2. Aluminum siding on sides and rear of house, cedar shakes on front of home.

Pursuant to the paragraph 44A-22 of the Ordinances of the Township of Brick, entitled Expiration of Variances: any variance from the terms permitting the erection or alteration of any structure or structures or permitting specified use of any premises shall have been actually commenced on each and every structure permitted by said variance, or unless such permitted use has actually been commenced, within nine (9) months from the date of entry of the Judgement, or determination of the Board of Adjustment; except, however, that the running of the period of limitation herein provided shall be tolled from the date of filing an appeal from the decision of the Board of Adjustment to the governing body or to a Court of competent jurisdiction, until the termination in any manner; of such appeal or proceeding.

Any construction commenced within the nine (9) month period provided for in this section shall be complete within the eighteen (18) months of the date of entry of the judgement of the Board of Adjustment; except, however, that the running of the period of limitation shall be tolled from the date of filing of the appeal from the decision of the Board of Adjustment to the governing body or to a Court of competent jurisdiction, until the termination in any manner such appeal or proceeding.

Applicants attention is also drawn to paragraph 44A-36 of the Ordinances of the Township of Brick and the applicant should be aware that there is a continuing duty on the part of the applicant, subsequent to the granting of the variance to maintain the municipal taxes in order to obtain a building permit and Certificate of Occupancy thereafter of the structure to be erected herein approved.

ROLL CALL VOTE

Moved by: Kelly

Seconded by: Lancellotti

Those in favor: Acropolis, Lancellotti, Kelly,
Underwood

Those opposed: Leahy, Gross

Those not voting:

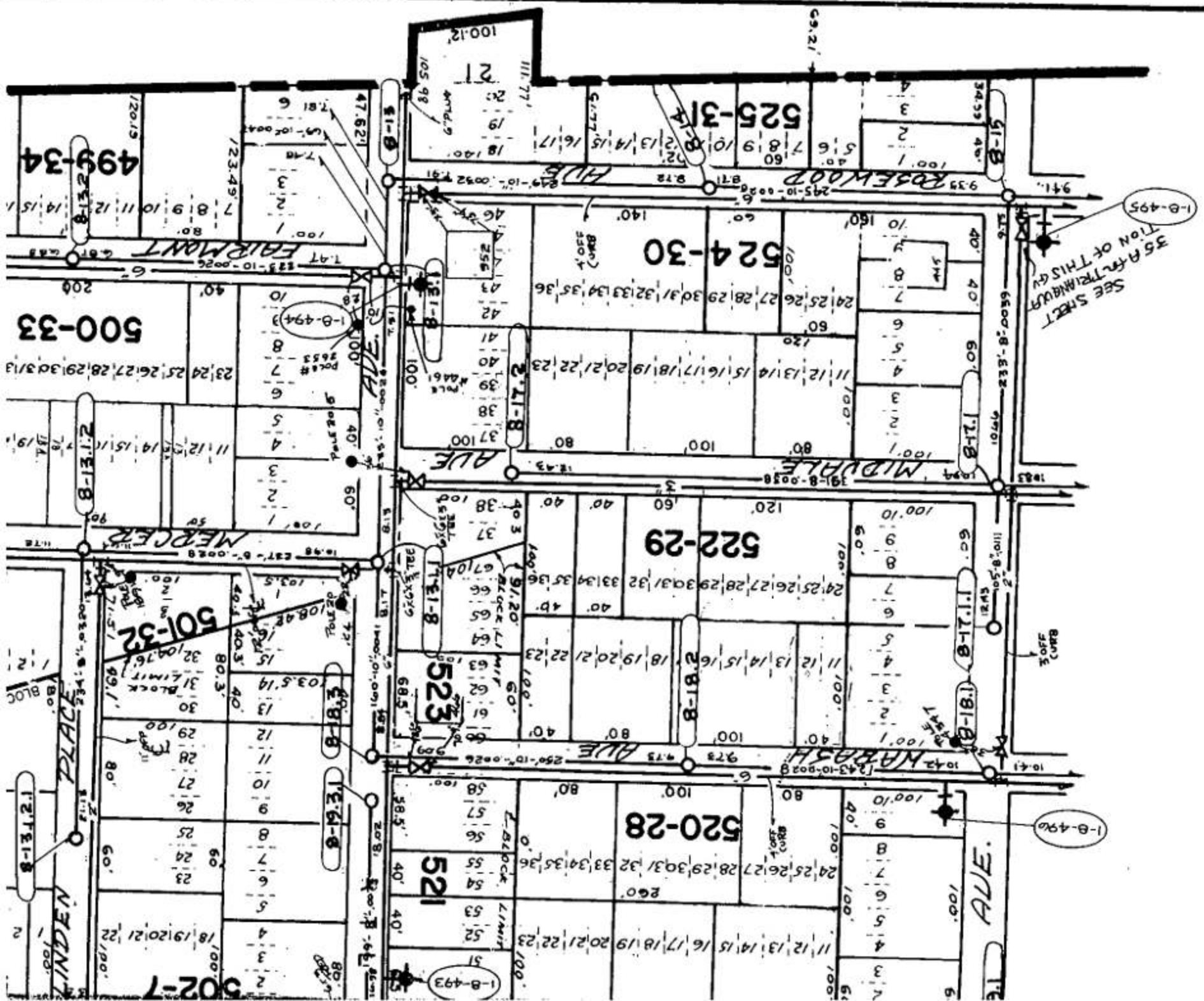
Those absent: Taubenkimel, Saverino, Fox

CERTIFICATION

I, Carole Metro Koehler, Clerk to the Board of Adjustment of the Township of Brick, County of Ocean, State of New Jersey, do hereby certify that the foregoing Resolution was duly passed by the said Board of Adjustment of the Township of Brick at a meeting held on the 15th day of March, 1989.

Carole Metro Koehler

Carole Metro Koehler
Secretary
Brick Township
Board of Adjustment



THE BRICK TOWNSHIP
MUNICIPAL UTILITIES AUTHORITY

1551 Highway 88 West
Brick, New Jersey 08724
(201) 458-7000

MAIL

STATEMENT OF UTILITY SERVICES

APPLICANT: NAME George Burton TEL. [REDACTED]

ADDRESS 108 Birch Drive Brick, New Jersey

PROPERTY IN QUESTION:

BLOCK 522-29 LOT(S) 11-12 ADDRESS Wabash Ave.

BTMUA ACCOUNT NUMBER I722405

SINGLE FAMILY RESIDENTIAL (IN EXISTING SUB-DIVISIONS ONLY)

1. UTILITY SERVICE CAN BE PROVIDED. APPLICATION
FOR SERVICE IS REQUIRED.

CONNECTION WILL BE PROVIDED AS FOLLOWS:

WATER WABASH AVE
(STREET)

WATER ✓ SEWER ✓

SEWER WABASH AVE
(STREET)

2. UTILITY SERVICE CANNOT BE PROVIDED AT THIS DATE.
APPLICATION IS NOT REQUIRED.

3. UTILITY SERVICE IS PLANNED FOR CONSTRUCTION
DURING THE BUDGET YEAR ENDING MARCH 31, 19____.
SERVICE MAY BE AVAILABLE SOME TIME THEREABOUT.

ALL OTHER DEVELOPMENT

EXISTING BRICK TOWNSHIP MUA LINES ARE AS SHOWN ON ATTACHED
TAX MAP DRAWING NO. _____.

APPLICANT/DEVELOPER IS REQUIRED TO SUBMIT A FORMAL DEVELOPER
APPLICATION TO THE AUTHORITY AS SET OUT IN BRICK TOWNSHIP ZONING
ORDINANCE NO. 354-79 AS AMENDED, AND AS REQUIRED BY BRICK TOWNSHIP
MUA RULES AND REGULATIONS (LATEST REVISION).

DATE: 10.27.89

NOTE: STATEMENT GOOD FOR
90 DAYS ONLY

SIGNED: *James E. [Signature]*

UTILITY SERVICES FOR NEW HOMES

1. OBTAIN "STATEMENT OF UTILITY SERVICES" AND SIZING SHEET AT BTMUA.
2. FILL OUT SIZING SHEET AND HAVE APPROVED BY THE BRICK TOWNSHIP PLUMBING INSPECTOR.
3. APPLICATION FOR UTILITIES SHOULD BE MADE TO BTMUA AS EARLY AS POSSIBLE, AT WHICH TIME THE SIZING SHEET, SIGNED BY THE TOWNSHIP PLUMBING INSPECTOR, MUST BE SUBMITTED.

APPLICATIONS WITHOUT THE SIGNED SIZING SHEET WILL NOT BE ACCEPTED.

A. DEPOSIT OF \$130 IS REQUIRED.

LEAD TIME FOR TAPS TO BE INSTALLED IS BETWEEN 6 AND 8 WEEKS, WEATHER PERMITTING; HOWEVER, TAPS WILL NOT BE SCHEDULED FOR INSTALLATION UNTIL AT LEAST A FOUNDATION EXISTS. FOR INFORMATION ON SCHEDULED INSTALLATIONS, CONTACT THE AUTHORITY OPERATIONS OFFICE.

4. AFTER THE TAPS HAVE BEEN INSTALLED, SEWER AND WATER SERVICE PERMITS ARE TO BE OBTAINED AT THE BTMUA (PERMIT FEE OF \$15 FOR EACH SERVICE).

5. ONCE YOUR SERVICE LINES HAVE BEEN CONNECTED, CALL THE CUSTOMER ACCOUNT DIVISION AT BTMUA TO ARRANGE FOR AN OUTSIDE INSPECTION.

INSPECTIONS WILL NOT BE MADE UNLESS THE PERMIT HAS BEEN OBTAINED.

6. WATER METER

A METER AND A REMOTE READOUT WILL BE INSTALLED.

IF YOU ARE BUILDING ON A SLAB BASE, PLEASE MAKE ARRANGEMENTS WITH YOUR BUILDER TO RUN A PAIR OF WIRES (18 GAUGE, 2 CONDUIT SOLID BELL WIRE) FROM THE INSIDE METER LOCATION TO WHERE THE OUTSIDE READOUT IS TO BE LOCATED, OR CALL THE BTMUA TO DO SO. THIS MUST BE DONE PRIOR TO INSTALLATION OF SHEET ROCK FOR INTERIOR WALLS.

AFTER ALL INSPECTIONS HAVE BEEN COMPLETED, CALL THE CUSTOMER ACCOUNT DIVISION AT BTMUA TO SCHEDULE THE WATER METER INSTALLATION.

7. CERTIFICATE OF COMPLIANCE

THE C.C. WILL BE ISSUED AFTER THE METER IS INSTALLED AND ALL REQUIREMENTS MET, AT WHICH TIME ANY OPEN TAP FEES AND PERMIT FEES MUST BE PAID IN FULL.

8. INITIAL SERVICE CHARGES

IF THE OWNER DESIRES, THE APPLICABLE INITIAL SERVICE CHARGES MAY BE PAID IN QUARTERLY INSTALLMENTS (PLUS INTEREST) ACCORDING TO AN ESTABLISHED PAYMENT PLAN. SEE OUR CUSTOMER ACCOUNT DIVISION FOR DETAILS.

L&H PLUMBING
190 OBERLIN AVE. N.
LAKEWOOD, NJ, 08701

GEORGE BURTON 477-7304

Thursday, October 12, 1989

BUILDING REPORT: BURTON

Reference city: Long Branch, New Jersey Latitude: 40 deg.
Design temperatures: Heating: 0 Cooling: 95 Daily range: 18

Building is 2 stories high
Volume: 12640.0 cu.ft.
50% of wall area exposed to wind

Total ventilation:	Summer:	84 CFM	Winter:	251 CFM
Required ventilation:	Summer:	52 CFM	Winter:	67 CFM
Air distribution flow:	Summer:	1169 CFM	Winter:	752 CFM
Hydro distribution flow:	Summer:	2.6 GPM	Winter:	1.7 GPM
Air Changes/Hour:	Summer:	0.40	Winter:	1.19

Total Floor Area: 165.00 sq. ft
Window Area (sq. ft.)

NE: 57.00
SE: 60.00
SW: 33.00
NW: 38.00

Total Window Area: 188.00 sq. ft.
Window/Floor ratio: 1.14
Btu/(Floor area): 300.67

Total heating load: 49611 Btuh

Latent cooling load: 3306 Btuh
Sensible cooling load: 24435 Btuh
Total cooling load: 27741 Btuh
Sensible to total load ratio: 88%

Average heat loss: 3.92 Btuh per cu.ft.
Average heat gain: 2.19 Btuh per cu.ft.

L&H PLUMBING
190 OBERLIN AVE. N.
LAKEWOOD, NJ, 08701

GEORGE BURTON 477-7304

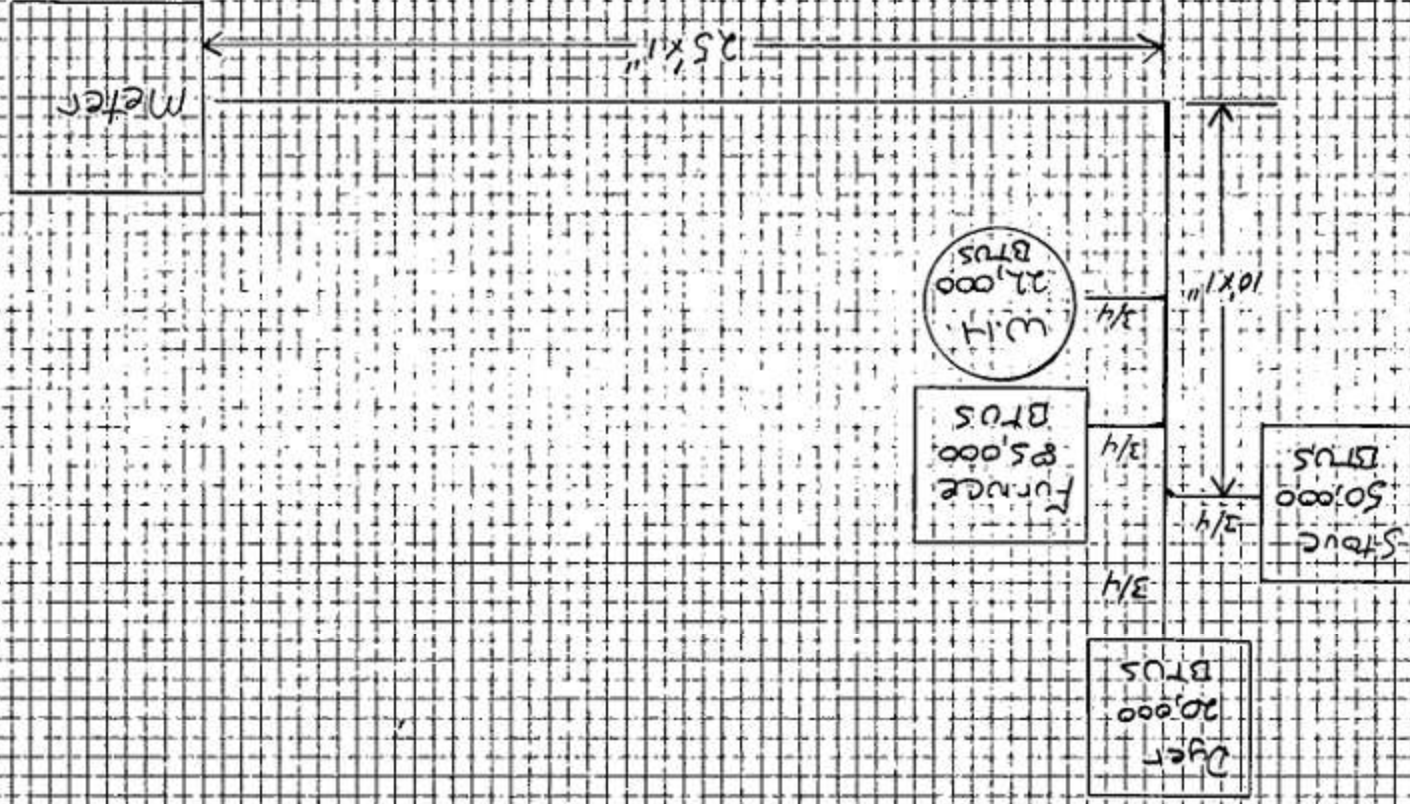
Thursday, October 12, 1989

BURTON

Room Summary Load Report (Btuh)

Room Name	Total Heating	Total Cooling	Sens. Cooling	Latent Cooling	Required Heating CFM/GPM	Required Cooling CFM/GPM	Max Required CFM/GPM
ENTRY/STAIRS	7099	2498	2251	247	108/0.2	108/0.2	108/0.2
PLAY	6685	5075	3931	1144	101/0.2	188/0.4	188/0.4
UTILITY	4604	2269	2124	145	70/0.2	102/0.2	102/0.2
LAV	1743	648	595	53	26/0.1	28/0.1	28/0.1
DINING	3886	2249	2126	123	59/0.1	102/0.2	102/0.2
LIVING	6187	4248	3573	675	94/0.2	171/0.4	171/0.4
BED 3	2728	2057	1972	85	41/0.1	94/0.2	94/0.2
BED 2	4051	2420	2276	144	61/0.1	109/0.2	109/0.2
MAS BED	4742	2497	2323	174	72/0.2	111/0.2	111/0.2
BATH	1006	582	550	32	15/0.0	26/0.1	26/0.1
KITCHEN	1710	2248	2185	63	26/0.1	105/0.2	105/0.2
HALL	550	161	144	17	8/0.0	7/0.0	8/0.0

965 WABASH AVE



NIELSEN
Plumbing & Heating
241 Cherry Quay Road
Brick, N.J. 08723
820-1695



DEPARTMENT OF COMMUNITY AFFAIRS
DIVISION OF HOUSING AND DEVELOPMENT
BUREAU OF HOMEOWNER PROTECTION
NEW HOME WARRANTY PROGRAM

CN 805
Trenton, New Jersey 08625

CERTIFICATE OF PARTICIPATION

In New Home Warranty Security Fund

OWNER ☐ CHECK IF FOR COMMON ELEMENTS*

NAME OF OWNER WHO WILL BE FIRST RESIDENT. (WHEN USED FOR COMMON ELEMENTS, ENTER NAME OF CONDOMINIUM DEVELOPMENT. SEE INSTRUCTIONS.)
GRACE GOSTAFERD & JANET SULLIVAN

NEW DWELLING LOCATION

STREET NAME AND NUMBER
905 WABASH DR

BUILDING
N/A

CITY
BRICK NJ

UNIT NUMBER
0872-3

ZIP
08723

BLOCK NUMBER
522029

LOT NUMBER
11-12

MUNICIPALITY
CEDARWOOD PARK

COUNTY
OCEAN COUNTY

COMMENCEMENT DATE OF WARRANTY

COMMENCEMENT DATE
month **5** day **28** year **90**

(The date of closing or first occupancy, whichever occurs first.)

NOTE: Any change in the commencement date must be reported to the Bureau.

OWNER: ANY DISAGREEMENT WITH INFORMATION ON THIS CERTIFICATE MUST BE REPORTED TO THE NEW HOME WARRANTY PROGRAM WITHIN 45 DAYS FROM ITS RECEIPT.

☐ CHECK IF EXCLUSION SHEET IS INCLUDED

CHECK TYPE OF HOME:

SINGLE/FAMILY ☒ TWO-FAMILY ☐
(single title)

CONDOMINIUM ☐ TOWNHOUSE ☐

*NOTE: A SEPARATE CERTIFICATE OF PARTICIPATION IS REQUIRED FOR EACH INDIVIDUAL BUILDING IN A CONDOMINIUM DEVELOPMENT. A PREMIUM PAYMENT IS NOT REQUIRED.

OWNER NOTE:
A HOMEOWNER BOOKLET MUST BE GIVEN WITH THIS CERTIFICATE BY YOUR BUILDER-WARRANTOR. IF NOT RECEIVED--WRITE TO THE ABOVE ADDRESS.

This certifies that the above described dwelling unit carries a New Home Warranty issued pursuant to the New Home Warranty and Builders' Registration Act, Chapter 46:3B-1 et seq. Said warranty is valid for varying periods of 1, 2, and 10 years subject to the terms

NOTE: See reverse side for assignment of property.

VALIDATION STAMP
NUMBER

089594 APR 25 90

WARRANTY NUMBER

PLEASE REMOVE ALL CARBON PAPER BEFORE RETURNING

MUNICIPAL COPY

PLOT PLAN REVIEW CHECK LIST

FIELD CHECK (MUNICIPAL ENGINEER-IF NECESSARY)

Signature _____ Dated _____ Accepted _____
 Comments: _____
 Signature _____ Dated _____
 Comments: _____

D. PLOT PLAN APPROVAL (MUNICIPAL ENGINEER)

Signature KHS Dated 11-16-89 Accepted _____
 Comments: See front + plod

Signature KHS Dated 11/3/89 Rejected _____
 Comments: D Show home & lot
② Check list items

E. C. O. APPROVALS

1. Field Inspection (Inspector)

Signature _____ Dated _____ Accepted _____
 Comments: _____

Signature KHS Dated 3/24/90 Rejected _____
 Comments: See front cover

2. Temporary C. O. (Municipal Engineer)

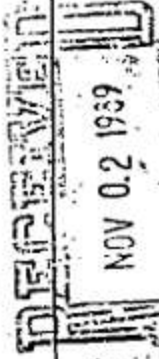
Signature _____ Dated _____ Accepted _____
 Comments: _____

Signature _____ Dated _____ Rejected _____
 Comments: _____

3. Final C. O. (Municipal Engineer)

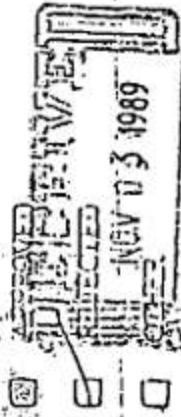
Signature _____ Dated _____ Accepted _____
 Comments: _____

Signature _____ Dated _____ Rejected _____
 Comments: _____



MUNICIPAL ENGINEER

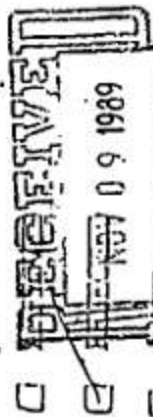
INSPECTION NO. _____

DATE 11/3/89BY AKG

COMMENTS:

- ① Show home & lot
② Check list items

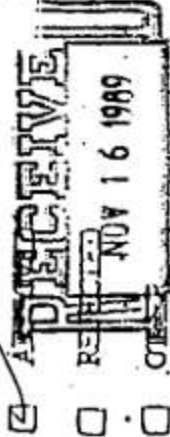
MUNICIPAL ENGINEER

INSPECTION NO. 2DATE 11/9/89BY AKG

COMMENTS:

- Drainage must work to
Street. Even only allowed
for front Drainage. All weeds
have been cleared from lot

MUNICIPAL ENGINEER

INSPECTION NO. 3DATE 11/16/89BY AKG

COMMENTS:

Revision OK

MUNICIPAL ENGINEER

INSPECTION NO. 4DATE 3-29-90BY AKG☐ APPROVED☒ REJECTED☐ OTHER

COMMENTS: Scale on left side lower spot/
Along Drainage to be taken out/2 stalls/
Asphalt Ck's etc -

20000 & Debris across Front to be 76

Also Roof Pipe Runing to Street is A Tightly Thread.

Must be covered w/ something on road towards fire

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED☐ REJECTED☐ OTHER

COMMENTS: _____

INSPECTION NO. 1

DATE

11/3/89

BY

MSJ☐ APPROVED☒ **DISCREPANCY**☐ REJECTED☐ NOV 03 1989

COMMENTS:

① Show how @ lake
② Check list reing

MUNICIPAL ENGINEER

INSPECTION NO. 2

DATE

11/9/89

BY

KSS☐ APPROVED☒ **DISCREPANCY**☐ NOV 09 1989

COMMENTS:

Drainage must work to
Street. Erosion only allowed
for front drainage. All weeds
have been cleared from lot

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY

401 CHAMBERS BRIDGE ROAD, BRICK, N. J. 08723

OFFICE OF: ENGINEERING



(201) 477-3000

REQUEST FOR INSPECTION

DATE: 3/28/90 TIME: 10:40 A.M.

NAME: Mr. Burton PHONE NUMBER: _____

DEVELOPMENT: _____

ADDRESS: 965 Wabash Avenue

DATE INSPECTION REQUESTED FOR: Thursday 3/29/90

BLOCK: 522.29 LOT: 11 + 1/2

BLOCK: _____ LOT: _____

BLOCK: _____ LOT: _____

TYPE OF INSPECTION

PAVING: _____ GRAVEL: _____ STORM SEWER: _____

CURB: _____ SIDEWALK: _____ DRIVEWAY: ☒

BULKHEAD: _____ FINAL ENG.: _____

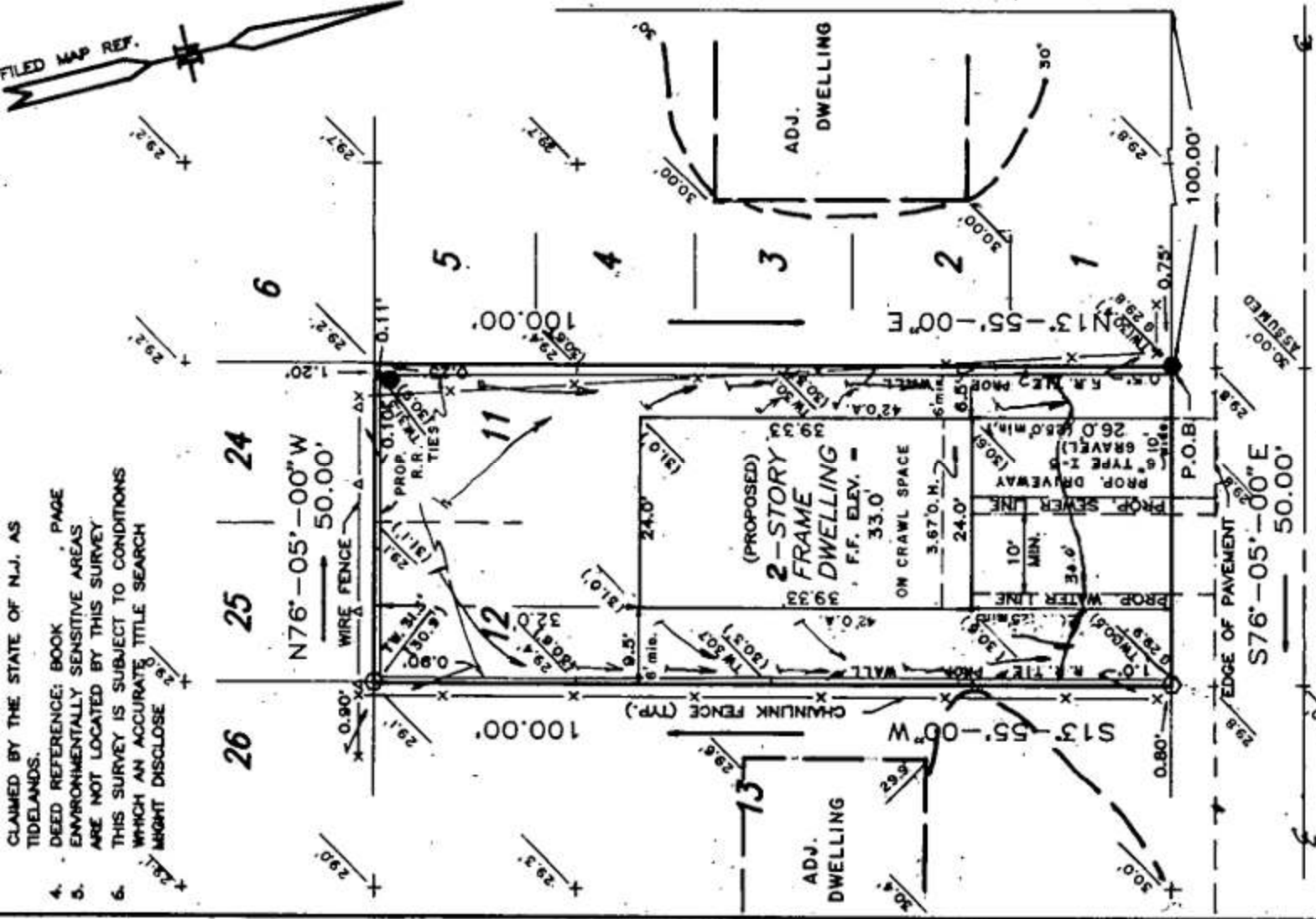
OTHER: _____

COMMENTS: Grading / Clean-up

NOTE: IF INSPECTIONS WILL BE OF A CONTINUING NATURE ASK FOR APPROXIMATE
NUMBER OF DAYS. ON GOING UNTIL _____ (DATE)

CLAIMED BY THE STATE OF N.J. AS
TIDELANDS.

4. DEED REFERENCE: BOOK PAGE
5. ENVIRONMENTALLY SENSITIVE AREAS
ARE NOT LOCATED BY THIS SURVEY
6. THIS SURVEY IS SUBJECT TO CONDITIONS
WHICH AN ACCURATE TITLE SEARCH
MIGHT DISCLOSE



Legend:

○ - REBAR SET

● - REBAR FOUND
(PROPOSED GRADE)

Certification:

I hereby certify this survey
was made under my immediate
supervision to:

REV. 11/15/89
REV. 11/7/89
REV. 11/1/89

Map of Survey / Plot Plan

WABASH (33' R.O.W.) AVENUE

(21' ASPHALT PAVEMENT)

LOTS 11 & 12, BLOCK 522.29, TAX MAP,
BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY
A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED
"CEDARWOOD PARK, SUBDIVISION C - ANNEX, OCEAN CO., NEW JERSEY."

FILED APRIL 7, 1942, AS MAP NO. B-315.

DELCO Land Surveying Corp.

14 Hooper Avenue

Toms River, N.J. 08763

SCALE	DATE
1" = 20'	10/16/89
DRAWN BY	SHEET
D. B. D.	1 OF 1

SWIMMING POOL DWELLING

INSPECTION NO. 1

☐ APPROVED
☒ REJECTED
☐ OTHER

NOV 03 1989

DATE 11/3/89 BY RJS

COMMENTS: ① Show home & lot
② Check for signs

MUNICIPAL ENGINEER

INSPECTION NO. _____ DATE _____ BY _____

☐ APPROVED
☐ REJECTED
☐ OTHER

COMMENTS: _____

INSPECTION NO. _____ DATE _____ BY _____

☐ APPROVED
☐ REJECTED
☐ OTHER

COMMENTS: _____

INSPECTION NO. _____ DATE _____ BY _____

☐ APPROVED
☐ REJECTED
☐ OTHER

COMMENTS: _____

INSPECTION NO. _____ DATE _____ BY _____

☐ APPROVED
☐ REJECTED

COMMENTS: _____

TOWNSHIP OF BRICK

PLOT PLAN REVIEW CHECK LIST

LOC: 52229 LOT 11, 12
 DRESS 965 WABASH AVE

PLOT PLAN REVIEW

	SHOWN	ACCEPTABLE	DEFICIENT	NOT APPLICABLE	COMMENTS
SURVEY - SIGNED & SEALED (P.L.S.)	/				
WIDTH & TYPE OF ROAD PAVEMENT	/				
EXISTING ELEVATIONS (NGVD IN FLOOD HAZARD ZONES)	/				
SIDE PROPERTY LINES (DWELLING & PROPERTY CORNERS)	/				
STREET GUTTER, TOP CURB & CENTER LINE ELEVATION	/				
CONTOURS (IF GREATER THAN 2' DIFFERENCE IN ELEVATION)	/				
ADJACENT DWELLING CORNERS	/				not shown
PROPOSED GRADING	/				"
GARAGE, FIRST FLOOR, CRAWL SPACE & BASEMENT ELEVATION	/				not shown
LOT GRADING	/				see above
METHOD OF DRAINING	/				"
FLOOD ZONE (IF APPLICABLE)	/				
FLOOD OPENINGS SIZED & PLACED	/				
NGVD REF. IN FLOOD ZONE (BY P.L.S.)	/				
DRIVEWAY - WIDTH & TYPE	/				width not shown

PLOT PLAN SIGNED & SEALED (P.E., P.L.S. OR REG. ARCH)

B. PLANNING DEPT. (INSP)
 NOV 02 1989

11/3/89
 SIGNATURE
 Shaw house C. left

Accepted
 Rejected

PLOT PLAN REVIEW CHECK LIST

A. FIELD CHECK (MUNICIPAL ENGINEER-IF NECESSARY)

Signature _____ Dated _____ Accepted _____
Comments: _____

Signature _____ Dated _____
Comments: _____

D. PLOT PLAN APPROVAL (MUNICIPAL ENGINEER)

Signature _____ Dated _____ Accepted _____
Comments: _____

Signature _____ Dated 11/3/81 Reject
Comments: D Show home e lot
② Check list

E. C. O. APPROVALS

1. Field Inspection (Inspector)

Signature _____ Dated _____ Accepted _____
Comments: _____

Signature _____ Dated _____
Comments: _____

2. Temporary C. O. (Municipal Engineer)

Signature _____ Dated _____ Accepted _____
Comments: _____

Signature _____ Dated _____
Comments: _____

3. Final C. O. (Municipal Engineer)

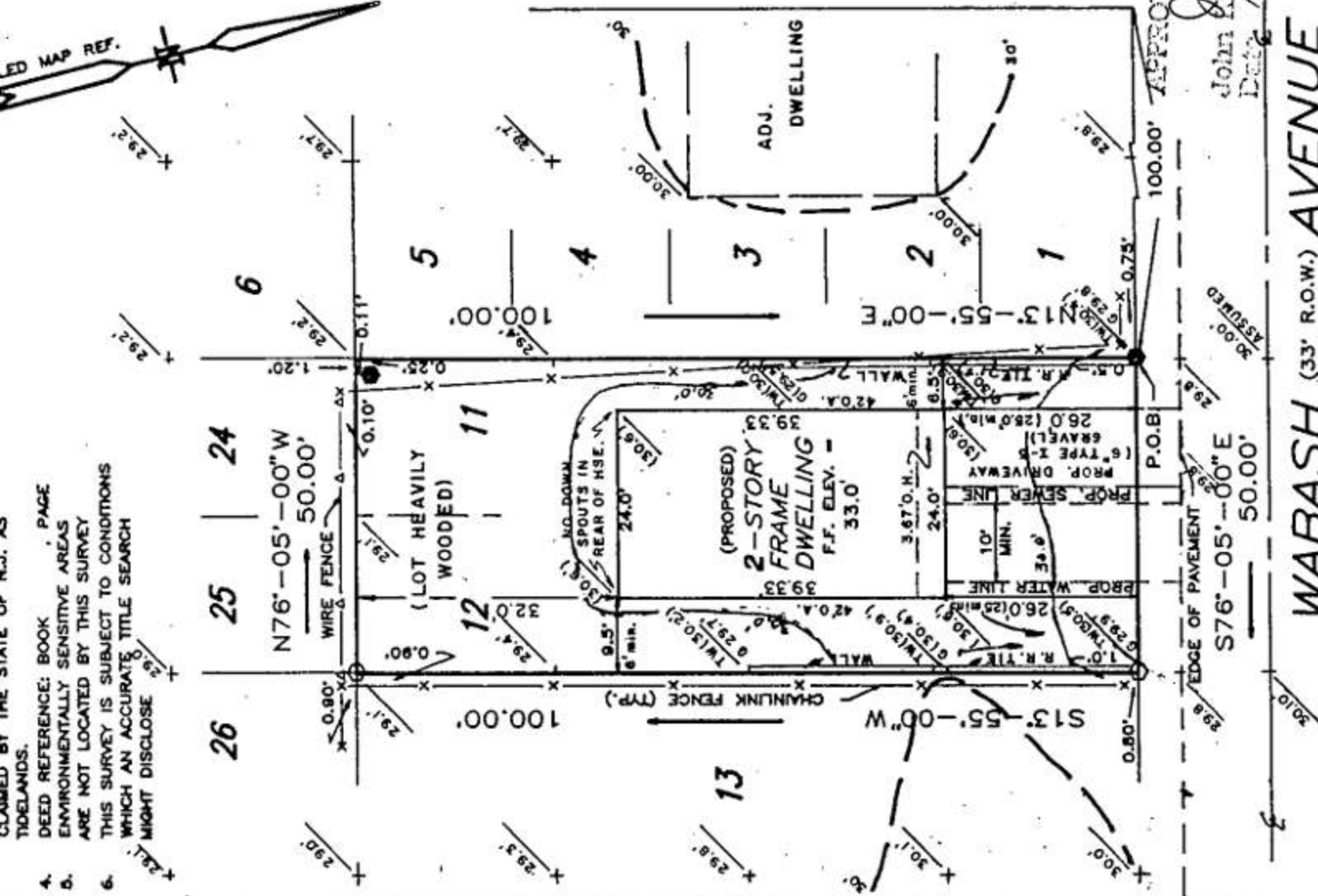
Signature _____ Dated _____ Accepted _____
Comments: _____

Signature _____ Dated _____
Comments: _____

NOTED
11/11/81

CLAIMED BY THE STATE OF N.J. AS
TIDELANDS.

4. DEED REFERENCE: BOOK . PAGE
5. ENVIRONMENTALLY SENSITIVE AREAS
ARE NOT LOCATED BY THIS SURVEY
6. THIS SURVEY IS SUBJECT TO CONDITIONS
WHICH AN ACCURATE TITLE SEARCH
MIGHT DISCLOSE



APPROVED for Zoning Only
John Minney, Zoning Officer
Date: 11-2-89
JOM

WABASH (33' R.O.W.) AVENUE

(21' ASPHALT PAVEMENT)

- Legend:
- - REBAR SET
 - - REBAR FOUND

Map of Survey / Plot Plan REV. 11/1/89

Certification:
I hereby certify this survey
was made under my immediate
supervision to:

LOTS 11 & 12, BLOCK 522.29, TAX MAP,
BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY
A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED
"CEDARWOOD PARK, SUBDIVISION C - ANNEX, OCEAN CO., NEW JERSEY."
FILED APRIL 7, 1942, AS MAP NO. B-315.

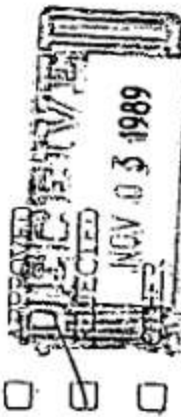
RECEIVED
NOV 02 1989

DELCO Land Surveying Corp.		SCALE	DATE
14 Hooper Avenue		1" = 20'	10/16/89
Toms River, N.J. 08753		DRAWN BY	SHEET
(201) 341-4200		R.L.R.	1 OF 1

INSPECTION NO. 1

DATE 11/3/89

BY MSJ



COMMENTS: ① Show home & lot
② Check list reing

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

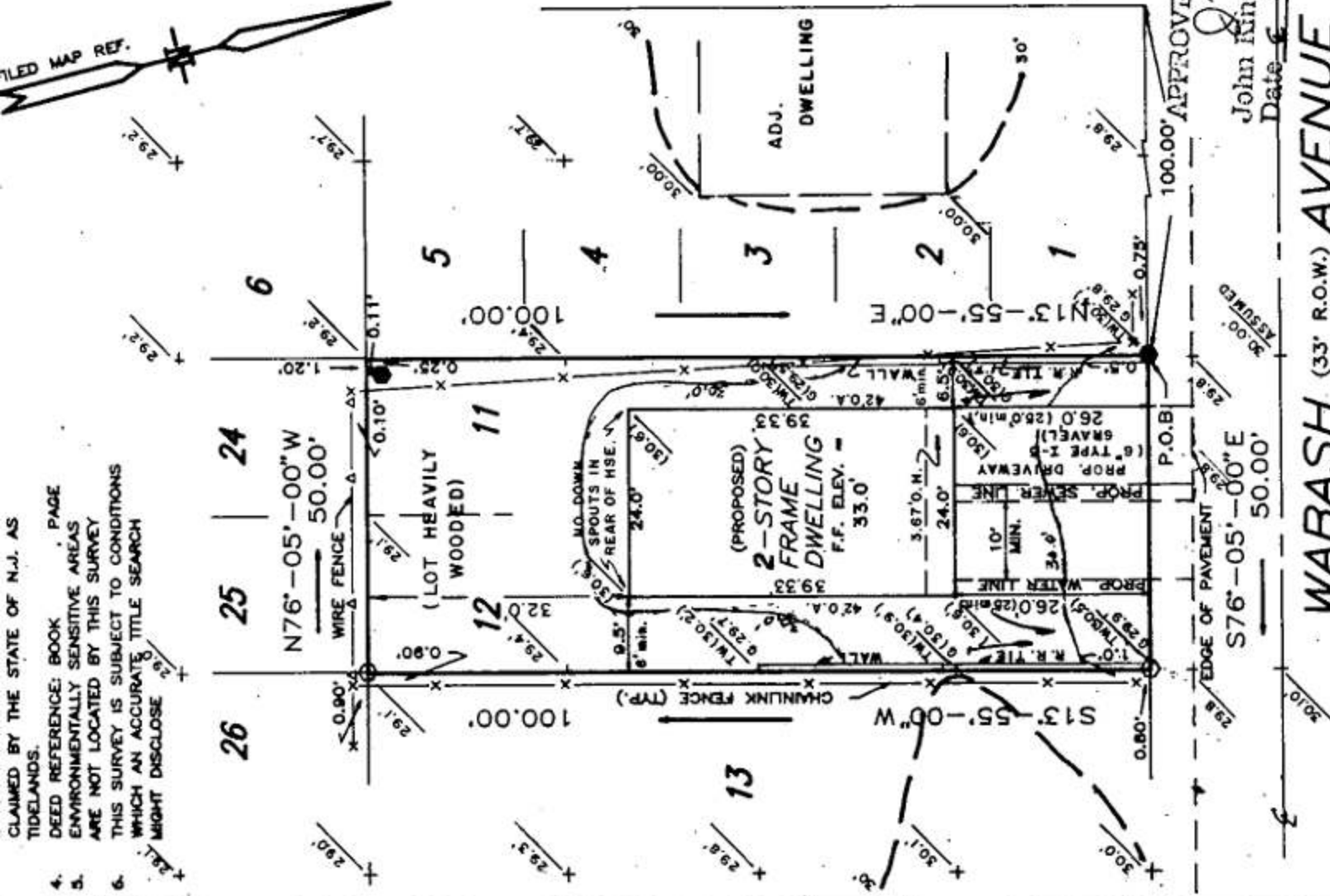
☐ APPROVED

COMMENTS: _____

☐ REJECTED

CLAIMED BY THE STATE OF N.J. AS
TIDELANDS.

4. DEED REFERENCE: BOOK PAGE
5. ENVIRONMENTALLY SENSITIVE AREAS
ARE NOT LOCATED BY THIS SURVEY
6. THIS SURVEY IS SUBJECT TO CONDITIONS
WHICH AN ACCURATE TITLE SEARCH
MIGHT DISCLOSE



APPROVED for Zoning Only
John Kinney, Zoning Officer
Date 11-2-89

WABASH AVENUE
(33' R.O.W.)
(21' ASPHALT PAVEMENT)

- Legend:
- - REBAR SET
 - - REBAR FOUND

Certification:

I hereby certify this survey
was made under my immediate
supervision to:

Map of Survey / Plot Plan

REV. 11/1/89

LOTS 11 & 12, BLOCK 522.29, TAX MAP.

BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY

A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED
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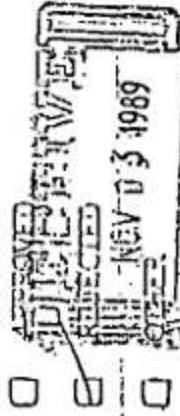
FILED APRIL 7, 1942, AS MAP NO. B-315.

DELCO Land Surveying Corp.

14 Hooper Avenue
Toms River, N.J. 08763

SCALE	DATE
1" = 20'	10/16/89
DRAWN BY	SHEET
R.L.R.	1 OF 1

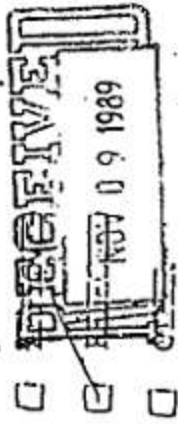
INSPECTION NO. _____

DATE 11/3/89BY AKS

COMMENTS:

① Show home & lot
② Check list (ring)

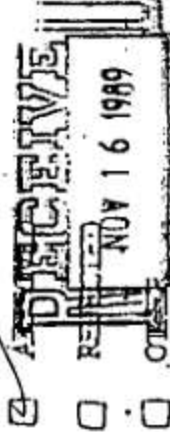
MUNICIPAL ENGINEER

INSPECTION NO. 2DATE 11/9/89BY AKS

COMMENTS:

Drainage must work in
Street. Easy only allowed
for front Drains. All weeds
have been cleared from lot

MUNICIPAL ENGINEER

INSPECTION NO. 3DATE 11/16/89BY AKS

COMMENTS:

Revision OK

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED☐ OTHER

INSPECTION NO. _____

DATE _____

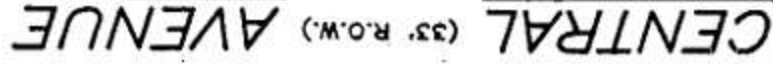
BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED☐ OTHER

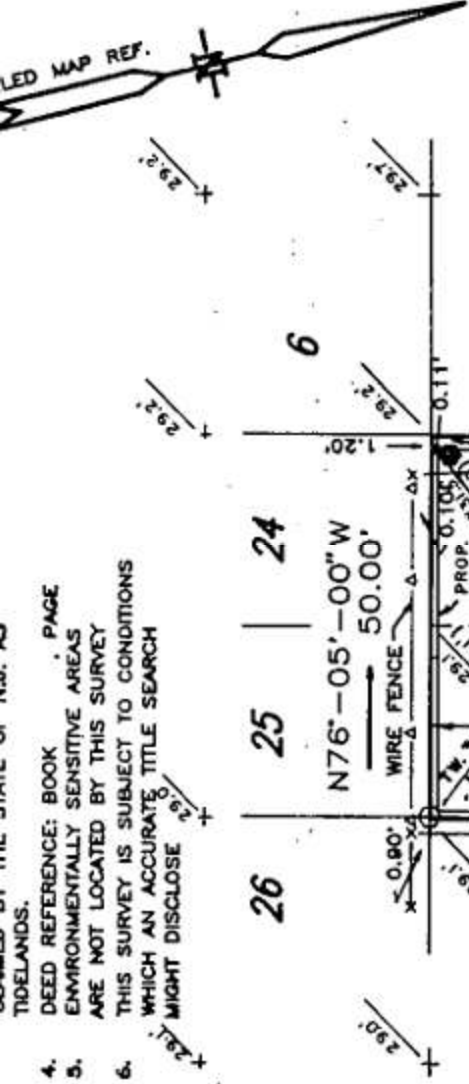
23. MIGHT DISCLOSE



PROPOSED

R.L.R.

LEADS



CENTRAL (33' R.O.W.) AVENUE

WABASH (33' R.O.W.) AVENUE
(21' ASPHALT PAVEMENT)

Legend:

- - REBAR SET
- - REBAR FOUND
- EXISTING GRADE
- () PROPOSED GRADE

Certification:

I hereby certify this survey was made under my immediate supervision to:

REV. 11/15/89
REV. 11/7/89
REV. 11/1/89

Map of Survey / Plot Plan

LOTS 11 & 12, BLOCK 522.29, TAX MAP,

BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY

A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED "CEDARWOOD PARK, SUBDIVISION C - ANNEX, OCEAN CO., NEW JERSEY."

FILED APRIL 7, 1942, AS MAP NO. B-315.

DELCO Land Surveying Corp.

14 Hooper Avenue

Toms River, N.J. 08753

SCALE 1" = 20'

DATE

10/16/89

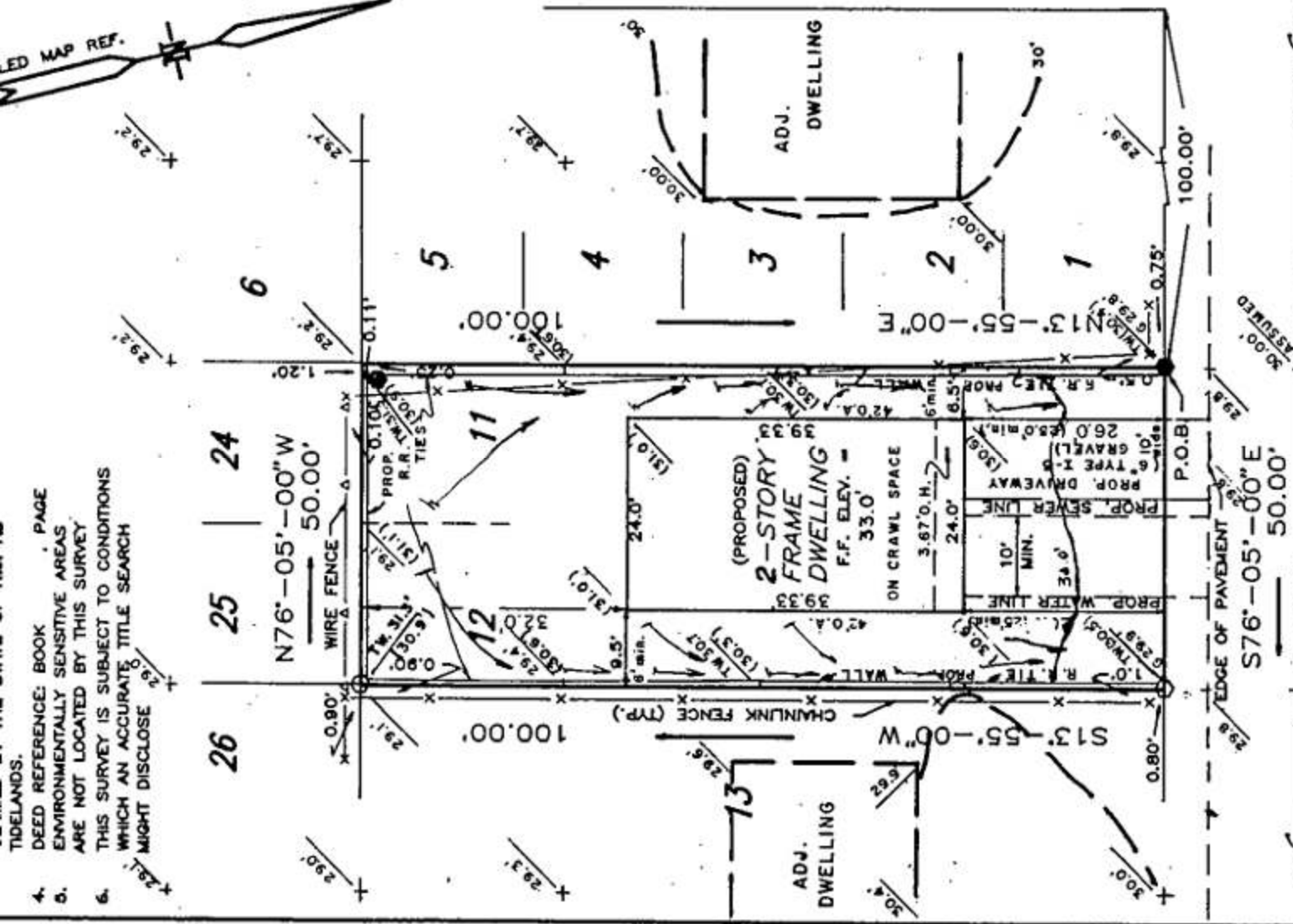
DRAWN BY

SHEET

1 OF 1

TIDELANDS.

4. DEED REFERENCE: BOOK , PAGE
5. ENVIRONMENTALLY SENSITIVE AREAS ARE NOT LOCATED BY THIS SURVEY
6. THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE



Legend

- - REBAR SET
 - - REBAR FOUND
- EXISTING GRADE
(PROPOSED GRADE)

Certification:

I hereby certify this survey was made under my immediate supervision to:

REV. 11/15/89
REV. 11/7/89
REV. 11/1/89

Map of Survey / Plot Plan

WABASH (33' R.O.W.) AVENUE

(21' ASPHALT PAVEMENT)

LOTS 11 & 12, BLOCK 522.29, TAX MAP,

BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY

A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED "CEDARWOOD PARK, SUBDIVISION C - ANNEX, OCEAN CO., NEW JERSEY."

FILED APRIL 7, 1942, AS MAP NO. B-315.

DELCO Land Surveying Corp.

14 Hooper Avenue

Toms River, N.J. 08753

SCALE

1" = 20'

DRAWN BY

R.L.R.

DATE

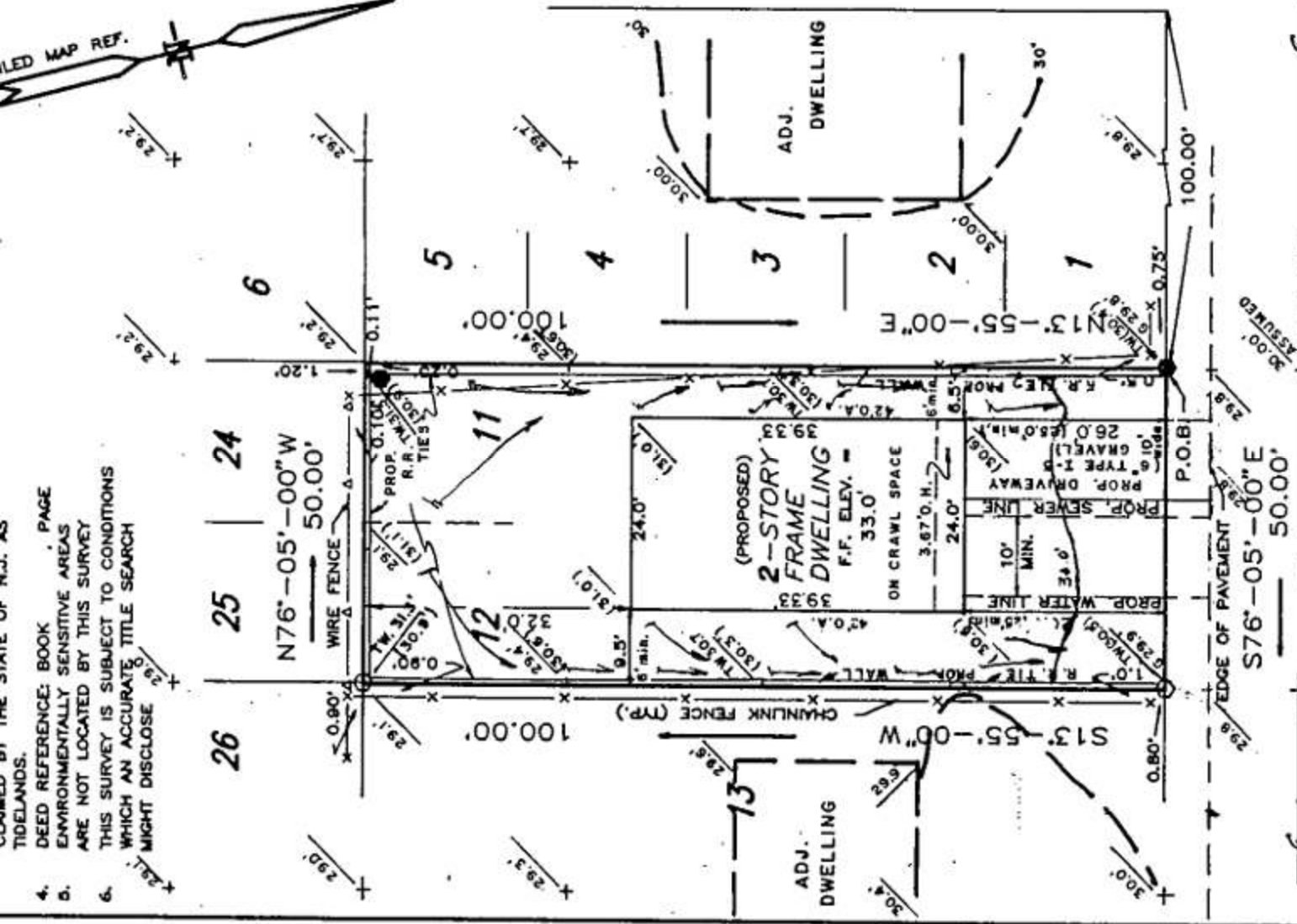
10/16/89

SHEET

1 OF 1

FILED BY THE STATE OF N.J. AS
TIDELANDS.

4. DEED REFERENCE: BOOK , PAGE
5. ENVIRONMENTALLY SENSITIVE AREAS
ARE NOT LOCATED BY THIS SURVEY
6. THIS SURVEY IS SUBJECT TO CONDITIONS
WHICH AN ACCURATE TITLE SEARCH
MIGHT DISCLOSE



Legend

- - REBAR SET
- - REBAR FOUND
- (PROPOSED GRADE)
- (EXISTING GRADE)

Certification:

I hereby certify this survey
was made under my immediate
supervision to:

Map of Survey / Plot Plan

REV. 11/15/89
REV. 11/7/89
REV. 11/1/89

WABASH (33' R.O.W.) AVENUE

(21' ASPHALT PAVEMENT)

LOTS 11 & 12, BLOCK 522.29, TAX MAP,

BRICK TOWNSHIP --- OCEAN COUNTY --- NEW JERSEY

A.K.A. LOTS 11 & 12, BLOCK 29, AS SHOWN ON A MAP ENTITLED

"CEDARWOOD PARK, SUBDIVISION C - ANNEX, OCEAN CO., NEW JERSEY."

FILED APRIL 7, 1942, AS MAP NO. B-315.

DELCO Land Surveying Corp.

14 Hooper Avenue

Toms River, N.J. 08753

SCALE

1" = 20'

DRAWN BY

R.L.R.

DATE

10/16/89

SHEET

1 OF 1

INSPECTION NO. 1

DATE 11/3/89

BY MSJ



COMMENTS:

① Show home & lot
② Check list items

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS:

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS:

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS:

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS:

☐ REJECTED

TOWNSHIP OF BRICK

PLOT PLAN REVIEW CHECK LIST

LOT	LOT
622.29	11, 12

ADDRESS 965 WABASH AVE

PLOT PLAN REVIEW

∴ SURVEY - SIGNED & SEALED (P.L.S.)

: WIDTH & TYPE OF ROAD PAVEMENT

EXISTING ELEVATIONS (NGVD IN FLOOD HAZARD ZONES)

SIDE PROPERTY LINES EDWELLING & PROPERTY CORNERS

STREET GUTTER, TOP CURB & CENTER LINE ELEVATION

CONTOURS (IF GREATER THAN 2' DIFFERENCE IN ELEVATION)

ADJACENT DWELLING CORNERS

PROPOSED GRADING

CAPACE, FIRST FLOOR, CRAWL SPACE & BASEMENT ELEVATION

LOT GRADING

SETTING OF DRAINING

STUDY ZONE (TE APPLICABLE)

MANAGING STAFF & PLACING

NGO REF. IN FLOOD ZONE (BY P.L.S.)

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

THE UNIVERSITY OF CHICAGO

5. $\frac{5}{6} \times \frac{2}{3} = \frac{10}{18} = \frac{5}{9}$ (S.N.)

N77D-TGS-6501

Nov 20 1961

הפנייה

Shaw house @ Fort

4/2/87

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COMMENTS	NOT APPLICABLE	DEFICIENT	ACCEPTABLE	SHOWN

FIELD CHECK (MUNICIPAL ENGINEER-IF NECESSARY)

Comments:

Comments: See front + sheet

Comments:

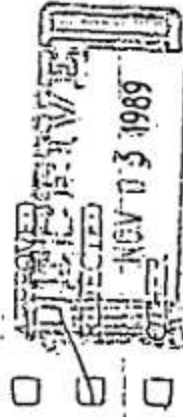
Accepted

100

Comments:

11/11/2019

INSPECTION NO. _____

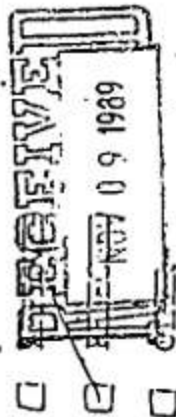
DATE 11/3/89BY AKS

COMMENTS:

① Show home & lot

② Check for items

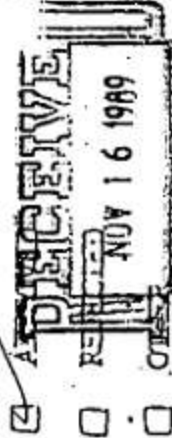
MUNICIPAL ENGINEER

INSPECTION NO. 2DATE 11/9/89BY AKS

COMMENTS:

Drainage must work to street. Erosion only allowed for front drainage. All weeds have been cleared from lot

MUNICIPAL ENGINEER

INSPECTION NO. 3DATE 11/16/89BY AKS

COMMENTS:

Revision OK

MUNICIPAL ENGINEER

INSPECTION NO. 4DATE 3-29-90BY AKS☐ APPROVED☒ REJECTED☐ OTHER

COMMENTS: Sample on left side low spot/

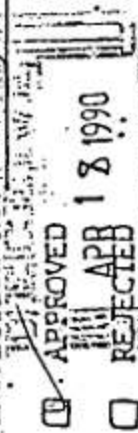
Along driveway to be taken out/2 stalls/

Asphalt calls for -

Curbs & Debris across front to be 2 ft

Also, Root Pipe Runing to Street is A Trip Hazard.

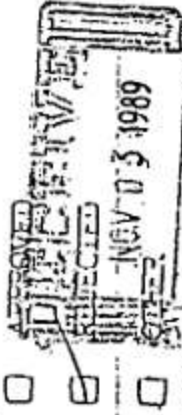
Must be covered w/ something on main towards fire

INSPECTION NO. 5DATE 4/18/90BY AKS

COMMENTS:

OK

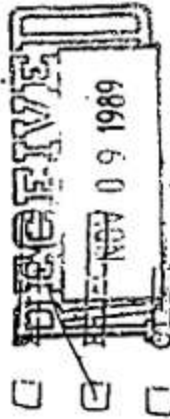
MUNICIPAL ENGINEER

INSPECTION NO. 1DATE 11/3/89BY KJG

COMMENTS:

① Show home & lot
② Check for items

MUNICIPAL ENGINEER

INSPECTION NO. 2DATE 11/9/89BY KJG

COMMENTS:

Drainage must work to
Street. Erosion only allowed
for front drainage. All weeds
have been cleared from lot

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED☐ REJECTED☐ OTHER

COMMENTS:

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED☐ REJECTED☐ OTHER

COMMENTS:

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED☐ REJECTED

COMMENTS:

INSPECTION NO. 1

DATE

11/3/89

BY

RFJ



COMMENTS:

① Show home & lot
② Check list items

MUNICIPAL ENGINEER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

☐ OTHER

INSPECTION NO. _____

DATE _____

BY _____

☐ APPROVED

COMMENTS: _____

☐ REJECTED

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY

401 CHAMBERS BRIDGE ROAD, BRICK, N. J. 08723

OFFICE OF: ENGINEERING



(201) 477-3000

REQUEST FOR INSPECTION

DATE: 3/28/90 TIME: 10:40 A.M.

NAME: Mr. Burton PHONE NUMBER: _____

DEVELOPMENT: _____

ADDRESS: 965 Wabash Avenue

DATE INSPECTION REQUESTED FOR: Thursday 3/29/90

BLOCK: 522.29 LOT: 11 + 1/2

BLOCK: _____ LOT: _____

BLOCK: _____ LOT: _____

TYPE OF INSPECTION

PAVING: _____ GRAVEL: _____ STORM SEWER: _____

CURB: _____ SIDEWALK: _____ DRIVEWAY: ☒

BULKHEAD: _____ FINAL ENG.: _____

OTHER: _____

COMMENTS: Grading/Clean-up

NOTE: IF INSPECTIONS WILL BE OF A CONTINUING NATURE ASK FOR APPROXIMATE
NUMBER OF DAYS. ON GOING UNTIL _____ (DATE)

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY

401 CHAMEERS BRIDGE ROAD, BRICK, N. J. 08723

OFFICE OF: ENGINEERING



(201) 477-3000

REQUEST FOR INSPECTION

DATE: April 17, 1990 TIME: 9:00
NAME: Mr Burton PHONE NUMBER: _____
DEVELOPMENT: Single
ADDRESS: 905 Wabash Avenue
DATE INSPECTION REQUESTED FOR: April 18, 1990
BLOCK: 522.29 LOT: 11-12
BLOCK: _____ LOT: _____
BLOCK: _____ LOT: _____

TYPE OF INSPECTION

PAVING: _____ GRAVEL: _____ STORM SEWER: _____
CURB: _____ SIDEWALK: _____ DRIVEWAY: _____
BULKHEAD: _____ FINAL ENG.: _____
OTHER: _____
COMMENTS: OK

NOTE: IF INSPECTIONS WILL BE OF A CONTINUING NATURE ASK FOR APPROXIMATE
NUMBER OF DAYS.. ON GOING UNTIL _____ (DATE)