

Job Order**ESCNJ State Approved Coop #65MCESCCPS****JOC Contract No.: 20/21-03**☒**New Job Order**☐**Modify an Existing Job Order**

Job Order Number: 108727.00

Job Order Title: East Brunswick Public Library Improvement Project

Contact: Keith Kipp

Contractor Name: Ascend Construction Management, Inc.

Phone: 7323906868

Contact: Athans Bozinos

Phone: 732-898-7500

Work to be Performed

Work to be performed as per the Final Scope of Work and the Price Proposal dated 09/05/2022, and as per the terms and conditions of JOC Contract No 20/21-03.

Brief Task Order Description:

Library Improvement Project

Time of Performance

Estimated Start Date:

Estimated Completion Date:

Liquidated Damages

Will apply:

☐

Will NOT apply:

☒**Validation Information***Option 1 - NORMAL WORKING HC**0.9800***Job Order Firm Fixed Price: \$202,478.33**

Owner Purchase Order:

Approvals_____
Project Manager_____
Date_____
Bureau/Division Manager_____
Date_____
Technical/Engineer Review_____
Date_____
Contracting Officer_____
Date



Scope of Work

ESCNJ State Approved Coop #65MCESCCPS

To: Contractor Project Manager
Ascend Construction Management, Inc.
3327 Sunset Ave
Ocean, NJ 07713
732-578-1300

From: Keith Kipp
MRESC - East Brunswick Public Library
No Address Input

7323906868

Job Order No: 108727.00
Job Order Title: East Brunswick Public Library Improvement Project
Contract #: 20/21-03

The following items detail the scope of work as discussed at the site. All requirements necessary to accomplish the items set forth below shall be considered part of this scope of work.

Please see the attached detailed scope of work below.

NOTES:

- Price includes dumpsters
- Existing books and bookshelves to remain during work
- Fire Sprinkler/Fire Alarm work is not included
- Re-use existing baby stations
- Existing grid ceiling to remain

Subject to the terms and conditions of JOC Contract 20/21-03.

Keith Kipp

9/21/2022

Date

Contractor Project Manager

Date

Contractor's Cost Proposal - Summary (L/E/M)

ESCNJ State Approved Coop #65MCESCCPS

Date: September 19, 2022

Re: IQC Master Contract #: 20/21-03
JOC Work Order #: 108727.00
Owner PO #:
Title: East Brunswick Public Library Improvement Project
Contractor: Ascend Construction Management, Inc.
Proposal Value: \$202,478.33

Bathroom Fixtures & Accessories	\$755.17
Bathroom Fixtures & Accessories	\$4,186.50
Bathroom Tile	\$12,211.55
Caulking	\$1,715.54
Ceiling Tile	\$71,413.14
Demolition	\$5,844.88
Doors and Hardware	\$6,171.73
Electrical	\$62,315.18
Exhaust	\$1,439.54
Framing	\$447.66
Furnishing Protection	\$2,317.90
General Conditions	\$3,683.60
Painting	\$14,978.76
Scaffold	\$10,264.13
Section - 02	\$839.02
Sheetrock	\$3,894.03
Proposal Total	\$202,478.33

This Proposal total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding of the line totals and sub-totals.

The Percentage of NPP on this Proposal: %

Contractor's Cost Proposal - Detail (L/E/M)

ESCNJ State Approved Coop #65MCECCPS

Date: September 19, 2022

Re: IQC Master Contract #: 20/21-03
 JOC Work Order #: 108727.00
 Owner PO #:
 Title: East Brunswick Public Library Improvement Project
 Contractor: Ascend Construction Management, Inc.
 Proposal Value: \$202,478.33

Sect.	Item	Mod.	UOM	Description	Line Total
Labor	Equip.	Material	(Excludes)		
Bathroom Fixtures & Accessories					
1	10 28 13 13 0066		EA	Surface Mounted, Stainless Steel Seat Cover And Toilet Tissue Dispenser (Bobrick Classic B-3479)	\$755.17
			Installation	Quantity Unit Price Factor = Total 2.00 x 385.29 x 0.9800 = 755.17	
Subtotal for Bathroom Fixtures & Accessories					\$755.17
Bathroom Fixtures & Accessories					
2	10 28 13 13 0131		EA	36" Length, 1-1/2" Diameter, Stainless Steel Grab Bar (Bobrick B-6806x36)	\$528.91
			Installation	Quantity Unit Price Factor = Total 6.00 x 89.95 x 0.9800 = 528.91	
3	22 13 13 00 0003		EA	Floor Mounted Water Closet, Single Fixture Rough-In, Cast Iron Waste And Vent PipeIncludes cast iron waste and vent pipe and copper domestic supply . Excludes fixture and flush valve.	\$1,712.31
			Installation	Quantity Unit Price Factor = Total 2.00 x 873.63 x 0.9800 = 1,712.31	
4	22 13 13 00 0007		EA	Wall Mounted Lavatory, Single Fixture Rough-In, Cast Iron Waste And Vent PipeIncludes cast iron waste and vent pipe and copper domestic supply. Excludes fixture, carrier and faucet.	\$1,185.23
			Installation	Quantity Unit Price Factor = Total 2.00 x 604.71 x 0.9800 = 1,185.23	
5	22 42 16 16 0053		EA	Removal And Reinstallation Of Wall Hung Service Sink With Faucet	\$760.05
			Installation	Quantity Unit Price Factor = Total 2.00 x 387.78 x 0.9800 = 760.05	
Subtotal for Bathroom Fixtures & Accessories					\$4,186.50
Bathroom Tile					
6	09 28 13 00 0004		SF	5/8" Cementitious Backer Units For Installation On Floors	\$3,628.94
			Installation	Quantity Unit Price Factor = Total 700.00 x 5.29 x 0.9800 = 3,628.94	
7	09 30 13 00 0008		SF	8" x 8" And Larger Unmounted Wall TileIncludes glazed porcelain , unglazed porcelain and glazed ceramic tiles.	\$7,451.14
			Installation	Quantity Unit Price Factor = Total 440.00 x 17.28 x 0.9800 = 7,451.14	
8	09 32 13 00 0003		SF	1-1/4" Minimum Thickness Portland Cement Mortar Setting BedFor commercial floors. Includes 15 LB felt and wire reinforcement.	\$606.97
			Installation	Quantity Unit Price Factor = Total 98.00 x 6.32 x 0.9800 = 606.97	
9	09 39 00 00 0024		LF	5/16" Height, Aluminum Edge Protection Trim For Tile (Schluter® QUADEC)	\$524.50
			Installation	Quantity Unit Price Factor = Total 120.00 x 4.46 x 0.9800 = 524.50	

Job Order No: 108727.00
Job Order Title: East Brunswick Public Library Improvement Project

Contractor's Cost Proposal - Detail (L/E/M) Report Page 2 of 5
9/19/2022

Contractor's Cost Proposal - Detail (L/E/M) Continues..

Job Order No: 108727.00
Job Order Title: East Brunswick Public Library Improvement Project

Doors and Hardware									
20	08 14 16 00 0488	EA	3'-0" x 7' x 1-3/4" Thick, 5 Ply, Particleboard Core (PC), Maple Faced Wood Door						\$899.05
		Installation	Quantity	Unit Price	Factor	=	Total		
			2.00 x	458.70	x	0.9800	899.05		
21	08 14 16 00 0488 0050	MOD	For Stave Lumber Core (SLC), Add						\$493.12
		Installation	Quantity	Unit Price	Factor	=	Total		
			2.00 x	251.59	x	0.9800	493.12		
22	08 31 13 00 0035	EA	36" x 36" Steel Access Door With Cam Latch						\$340.05
		Installation	Quantity	Unit Price	Factor	=	Total		
			1.00 x	346.99	x	0.9800	340.05		
23	08 71 11 00 0401	LF	Full Surface, Aluminum Geared Continuous Hinge, Standard Duty (Roton 780-057)						\$598.60
		Installation	Quantity	Unit Price	Factor	=	Total		
			14.00 x	43.63	x	0.9800	598.60		
24	08 71 11 00 2112	EA	Lever Trim (360L) With Cylinder, Von Duprin Series 33/35Anodized finish: aluminum or dark brown.						\$1,233.43
		Installation	Quantity	Unit Price	Factor	=	Total		
			2.00 x	629.30	x	0.9800	1,233.43		
25	08 71 11 00 2219	EA	Surface Mounted Heavy Duty Door Closer (LCN 4040XP/4041 Series)						\$962.81
		Installation	Quantity	Unit Price	Factor	=	Total		
			2.00 x	461.45	x	0.9800	904.44		
		Demolition	Quantity	Unit Price	Factor	=	Total		
			2.00 x	29.78	x	0.9800	58.37		
Subtotal for Doors and Hardware									\$6,171.73
Electrical									
26	01 22 20 00 0010	HR	ElectricianFor tasks not included in the Task Catalog and as directed by owner only.						\$22,773.00
		Installation	Quantity	Unit Price	Factor	=	Total		
			224.00 x	103.74	x	0.9800	22,773.00		
			Rewiring of circuits for new lighting and reinstallation of existing taken down fixtures.						
27	23 09 23 53 0297	EA	Ceiling Mounted Occupancy Sensor						\$567.48
		Installation	Quantity	Unit Price	Factor	=	Total		
			2.00 x	289.53	x	0.9800	567.48		
28	26 09 23 00 0292	EA	Two Zones Of Dimmable Lighting Controls, Tabletop Wireless Transmitter (Lutron RTA-TX-2L-B-WH)						\$4,195.38
		Installation	Quantity	Unit Price	Factor	=	Total		
			12.00 x	356.75	x	0.9800	4,195.38		
29	26 51 19 00 0026	EA	2' x 2', 3,300 Lumens, Prismatic Lensed, Lay-In/Troffer LED Fixture (Lithonia 2TL2)						\$25,735.98
		Installation	Quantity	Unit Price	Factor	=	Total		
			56.00 x	430.74	x	0.9800	23,639.01		
		Demolition	Quantity	Unit Price	Factor	=	Total		
			56.00 x	38.21	x	0.9800	2,096.96		
30	26 51 19 00 0303	EA	131 System Watts, 13,226 Lumens, Pendant Mount, Wet Location, NEMA 4X, High Bay/Low Bay, LED Fixture (Cooper Champ® Pro PVM11L)						\$4,208.95
		Installation	Quantity	Unit Price	Factor	=	Total		
			1.00 x	4,294.85	x	0.9800	4,208.95		
31	28 46 21 17 0016	EA	Primary Power Supply With Local Rail Module, 120 VAC, 50/60 Hz (EST3 3-CPU3)Includes LCD display, CPU and doors. Order surface or semi-flush mount wallbox separately.						\$4,834.39
		Installation	Quantity	Unit Price	Factor	=	Total		
			5.00 x	986.61	x	0.9800	4,834.39		

Contractor's Cost Proposal - Detail (L/E/M) Continues..

Job Order No: 108727.00
Job Order Title: East Brunswick Public Library Improvement Project

Subtotal for Electrical \$62,315.18

Exhaust

32	23	01	30	51	0005	LF	>8 SF Cross Section, Clean Supply/Return Ductwork									\$317.91
						Installation	Quantity	Unit Price	Factor	=	Total					
							40.00	8.11	0.9800	=	317.91					
33	23	34	16	00	0209	EA	1/12 HP, 763 CFM At 1/8" Static Pressure, 10" Diameter, Direct Drive, Sidewall Propeller Exhaust FanIncludes motor side guard.									\$1,121.63
						Installation	Quantity	Unit Price	Factor	=	Total					
							2.00	572.26	0.9800	=	1,121.63					

Subtotal for Exhaust \$1,439.54

Framing

34	06	11	16	00	0131	LF	2" x 4" Pressure Treated Wood Blocking To Wood									\$447.66
						Installation	Quantity	Unit Price	Factor	=	Total					
							80.00	5.71	0.9800	=	447.66					

Subtotal for Framing \$447.66

Furnishing Protection

35	01	56	16	00	0015	SF	6 Mil, Reinforced, Plastic Sheeting, Applied To Walls									\$2,317.90
						Installation	Quantity	Unit Price	Factor	=	Total					
							4,380.00	0.54	0.9800	=	2,317.90					

Subtotal for Furnishing Protection \$2,317.90

General Conditions

36	01	71	13	00	0002	EA	Equipment Delivery, Pickup, Mobilization And Demobilization Using A Rollback Flatbed TruckIncludes loading, tie-down of equipment, delivery of equipment, off loading on site, rigging, dismantling, loading for return and transporting away. For equipment such as trenchers, skid-steer loaders (bobcats), industrial warehouse forklifts, sweepers, scissor platform lifts, telescoping and articulating boom man lifts with up to 40' boom lengths, etc.									\$547.70
						Installation	Quantity	Unit Price	Factor	=	Total					
							2.00	279.44	0.9800	=	547.70					
37	01	74	19	00	0013	EA	30 CY Dumpster (3 Ton) "Construction Debris"Includes delivery of dumpster, rental cost, pick-up cost, hauling, and disposal fee. Non-hazardous material.									\$3,135.90
						Installation	Quantity	Unit Price	Factor	=	Total					
							5.00	639.98	0.9800	=	3,135.90					

Subtotal for General Conditions \$3,683.60

Painting

38	01	22	20	00	0020	HR	Painter, OrdinaryFor tasks not included in the Task Catalog and as directed by owner only.									\$2,581.56
						Installation	Quantity	Unit Price	Factor	=	Total					
							32.00	82.32	0.9800	=	2,581.56					
							Prime and paint new walls and wood paneling/trim									
39	09	01	20	91	0016	SF	Up To 10 SF, Chip, Clean And Repair Plaster/Stucco									\$12,397.20
						Installation	Quantity	Unit Price	Factor	=	Total					
							380.00	33.29	0.9800	=	12,397.20					

Subtotal for Painting \$14,978.76

Scaffold

Contractor's Cost Proposal - Detail (L/E/M) Continues..

Job Order No: 108727.00
Job Order Title: East Brunswick Public Library Improvement Project

Scaffold

40	01 54 23 00 0003	CCF	Scaffolding With Bracing Accessories - Area Based On 5' Wide Sections (CCF / Month)						\$10,264.13
		Installation	Quantity	Unit Price	Factor	=	Total		
			480.00	21.82	0.9800	=	10,264.13		

Subtotal for Scaffold **\$10,264.13**

Section - 02

41	02 41 19 13 0014	EA	Saw Cut Minimum ChargeFor projects where the total saw cutting charge is less than the minimum charge, use this task exclusively. This task should not be used in conjunction with any other tasks in this section.						\$839.02
		Installation	Quantity	Unit Price	Factor	=	Total		
			1.00	856.14	0.9800	=	839.02		

Subtotal for Section - 02 **\$839.02**

Sheetrock

42	01 56 16 00 0040	SF	3/4" Fire Rated (Sheetrock® Ultracode®) Gypsum Board On Both Sides, Temporary Wood Stud Wall, 16" On Center						\$3,894.03
		Installation	Quantity	Unit Price	Factor	=	Total		
			450.00	8.83	0.9800	=	3,894.03		

Subtotal for Sheetrock **\$3,894.03**

Proposal Total **\$202,478.33**

This Proposal total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding of the line totals and sub-totals.

The Percentage of NPP on this Proposal: %

Ascend Construction Management Inc.



**PO Box 525,
Eatontown, NJ, 07724
PHONE: (848)456-4977
FAX: (848) 208-2172**

Date: 9/8/22

Proposal;

Location of Project: East Brunswick Library; Civic Center Drive, East Brunswick, NJ, 08816

East Brunswick Public Library Ceiling and light updates

Scope:

- Per plan by aracari iovino + architects PC (G.001, A.101, and A.102) including, bathroom alterations, ceiling and lighting

Exclusions:

-Fire alarm/ fire sprinklers by owner

-Any HVAC work besides 2 exhaust fans (damages to existing, etc.)

Note: Wood paneling/trim may not be possible to match in adjacent area where new partition is being built

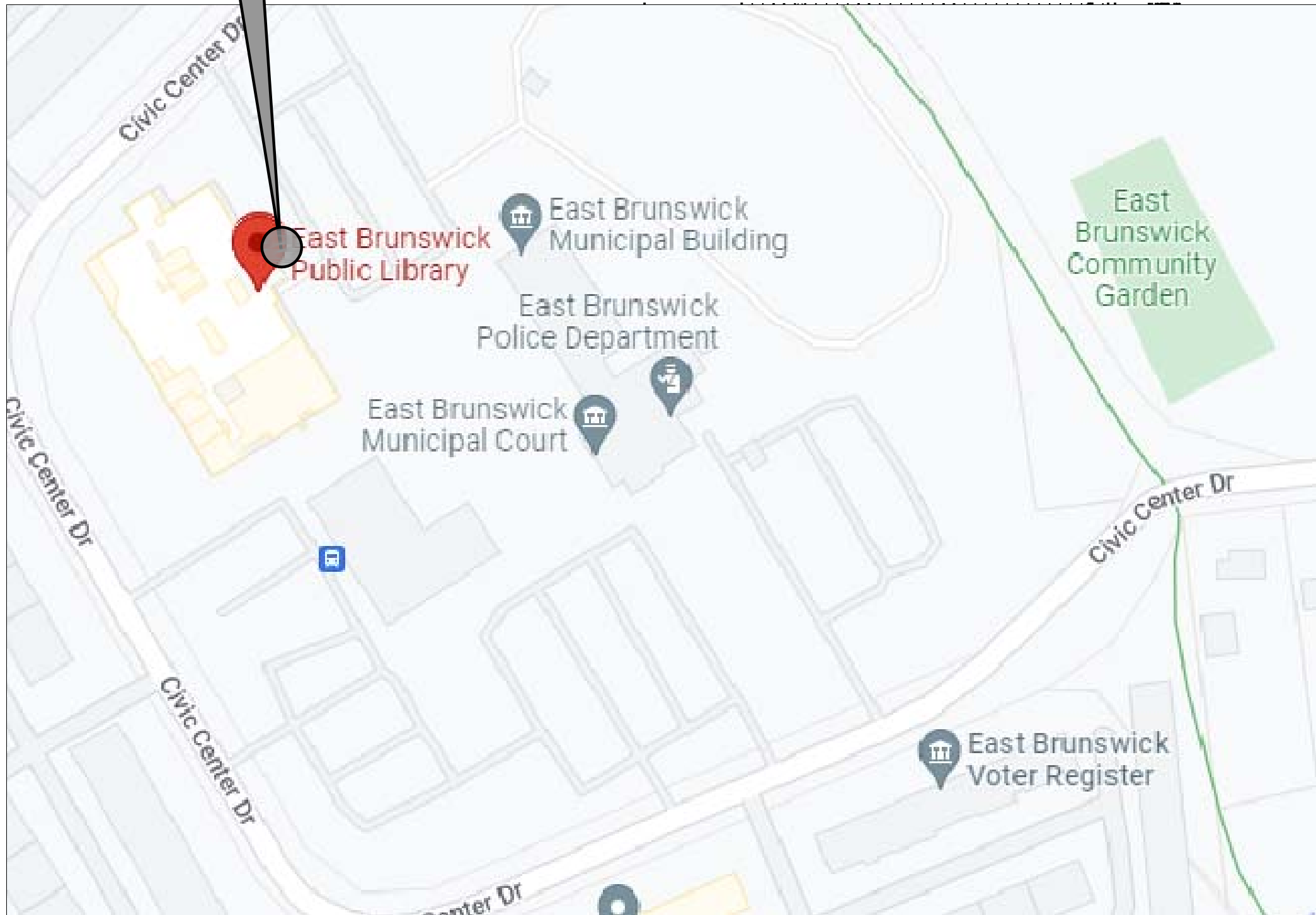
Thank you,

Christian Bozinos

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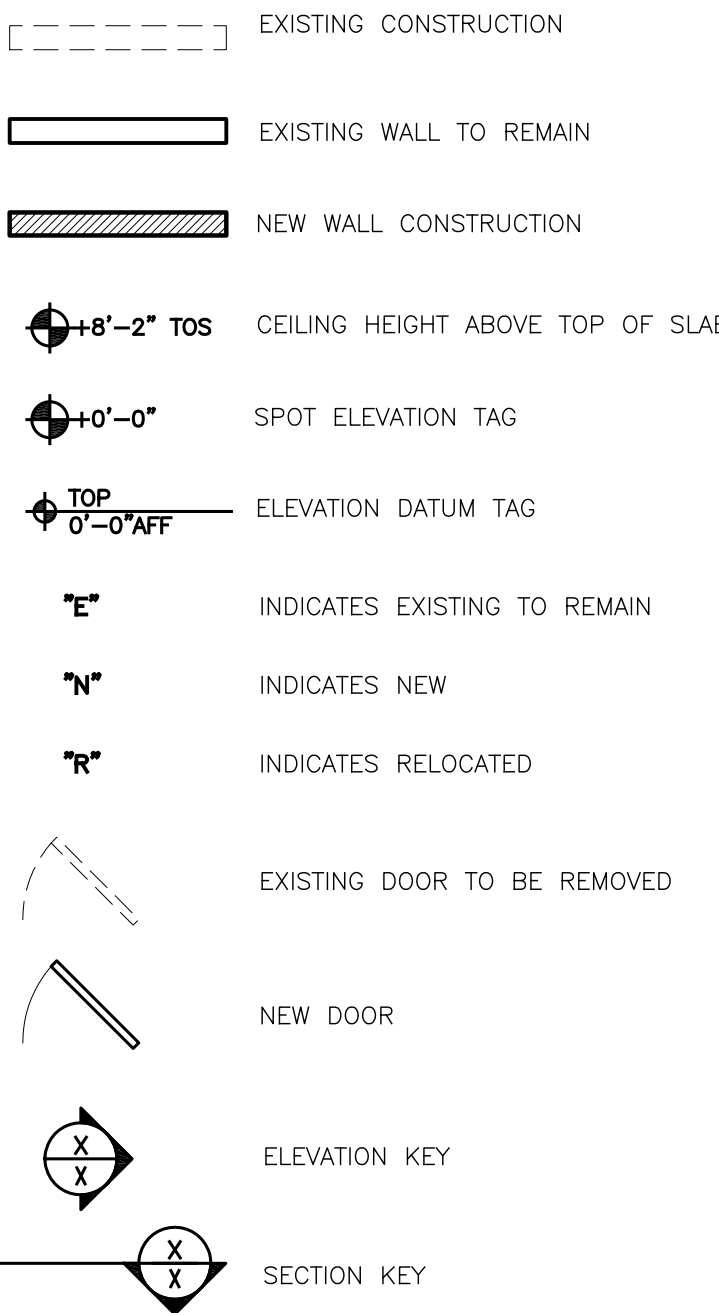
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EAST BRUNSWICK, NJ, 08816

2 JEAN WALLING, CIVIC CENTER DR.
EAST BRUNSWICK, NJ, 08816



1 LOCATION MAP

N.T.S.



2 DRAWING SYMBOLS

N.T.S.

SUPERVISION

1. The General Contractor shall have a competent superintendent on the premises at all times when work is in progress.
2. The job shall be kept clean, safe and orderly.
3. The General Contractor shall be responsible or maintaining the cleanliness of the work area and the areas involved in the delivery of materials, from street to work area.
4. The General Contractor shall protect peripheral air conditioning units, windows and other remaining equipment or installation and shall clean them to the satisfaction of the building manager at the completion of this job.

DEMOLITION

1. NOTIFY THE OWNER AT LEAST 48 HOURS BEFORE DEMOLITION IS TO START.
2. PRIOR TO DEMOLITION, IN OCCUPIED AREAS, OWNER MUST MAKE ARRANGEMENTS TO REMOVE, FURNITURE, ETC. THAT WILL BE REUSED.
3. Prior to demolition, arrangements by a licensed plumber must be made for existing plumbing fixtures to be removed and water supply shut off to prevent flooding in case of damage during demolition.
4. Prior to demolition, arrangements by an approved electrical contractor must be made to cut off electric power to allow removal of existing lighting fixtures, etc. temporary power and light must be provided in area to be demolished and all surrounding occupied areas must have power maintained for normal operation.
5. Reroute & reconnect all circuiting to existing loads which are to remain if disturbed by demolition work. provide new home runs if required.
6. Disconnect and remove all existing wiring and exposed conduit not kept or reused.
8. Relocate active outlet boxes, junction boxes, etc which would be left inaccessible by new construction.
9. Provide extension collars on existing outlets where the area they are mounted to is furred out.

PARTITION NOTES

1. The G.C. shall provide & install all partitions as designated on the drawings, details, and/or specifications.
2. Provide and install cornerbeads at all exposed gypsum board corners and ends.
3. All new surfaces shall be properly prepared, spackled, sanded, etc. to provide a smooth surface ready to be finished.
4. Where new & existing building partitions are shown to align, the juncture shall be taped, spackled, and finished smooth.
5. Patch, repair and replace all existing walls, ceilings, and floors damaged due to new construction.
6. Work performed over any surface constitutes acceptance of that surface for the specified quality of work being performed.
7. All paint shall be installed in accordance with the manufacturer's specifications for the particular surface.

ELECTRICAL NOTES

1. All electrical work shall be installed in accordance with the National Electric Code's latest edition and all other local codes having jurisdiction.
2. Provide all connections to heating, ventilating, air conditioning, etc. as required.
3. No work shall be left incomplete, nor any hazardous situation created, which will affect the life or safety of the public and/or building occupants. At no time shall work interfere with or cut off any of the existing services without the owner's prior written permission.
4. The owner reserves the right to operate all existing electrical and mechanical equipment not included in this work, and to perform all required servicing and repairs to same, at all times.
5. It is required that the work indicated and/or specified shall be carried out with a minimum of interference to the established operations of the building.
6. Remove, abandon, reroute or relocate any conduit, wiring, lighting fixtures, outlets, and other electrical items which are laid bare in the course of, or interfere with, the alterations. Remove all exposed outlets, conduit and branch circuit work which interferes with the alterations.
7. It is the intention of these notes to provide for the continuance of all electrical services presently installed in the unaltered areas. Provide all conduit, wiring, and devices necessary to maintain services to these areas.
8. Compare the plans with the existing conditions to determine the amount of work affected. Remove all unused exposed circuit work, outlets, fixtures and the like not required by the alterations.
9. All materials required to be removed and not reinstalled under this division of work, unless otherwise indicated, shall become the property of the contractor and shall be removed from the site.
10. Where feeders and branch circuits are indicated to be removed, conductors and cables shall be completely removed back to their source. Exposed or accessible conduit shall be removed completely; conduits embedded in concrete or masonry shall be cut off flush and surface patched smooth and level.
11. Provide all labor, materials, equipment, plant, tools, and management services required for proper and complete execution of all electrical work including but not limited to the following:
 - Utilization of existing panels
 - Power and lighting circuitry
 - Branch circuits
 - Exit, night, emergency lighting and power
 - Outlets, receptacles, and switches
 - Power wiring of hvac equipment
 - Hangers, anchors, cutting, patching, pass through and watertight sleeves, chases, supports for fixtures, backboards, and other electrical materials and equipment, including fire cut offs, in association therewith.
 - Lighting fixtures, wiring, lamps, time clocks, and contactors.
 - Disconnects for motors, hvac equipment, transformers and other equipment.
 - Temporary power and lighting including maintenance and removal.
 - Provide access doors where required in walls and ceilings
 - Arrange and pay for all required permits, fees and inspections.
12. Ground all equipment, including lighting, switchboards, transformers, conduit systems, motors, and other apparatus, by conduit or conductor to cold water main or to independent grounding electrode, using grounding clamps authorized by the power company and or local code official. emt tubing is not acceptable as a ground path.
13. WIRING DEVICES:
 - Provide heavy duty back wired duplex receptacles of 3 pole grounding type with the third pole u-shaped and grounded to the conduit system
 - Receptacles are to be recessed
 - Color & type as selected by architect
 - Switches are to be recessed.
 - Cover plates shall be provided for all outlets and designed for the particular device being used.

3 GENERAL NOTES

N.T.S.

FINISH NOTES

1. All floors must be free from dirt, dust, oil, and foreign matter.
2. All cracks greater than 1/16", holes, or uneven areas must be filled and leveled with a latex base floor filler.
3. All sub-floors to be flat and level prior to finish floor application.
4. The entire installation shall be tight and flat to the subfloor, fastened at all edges, and present a uniform appearance. Color, pattern, and texture in one area shall be monolithic.
5. All excess pieces of usable flooring shall be, tagged, and left with the owner for future use.

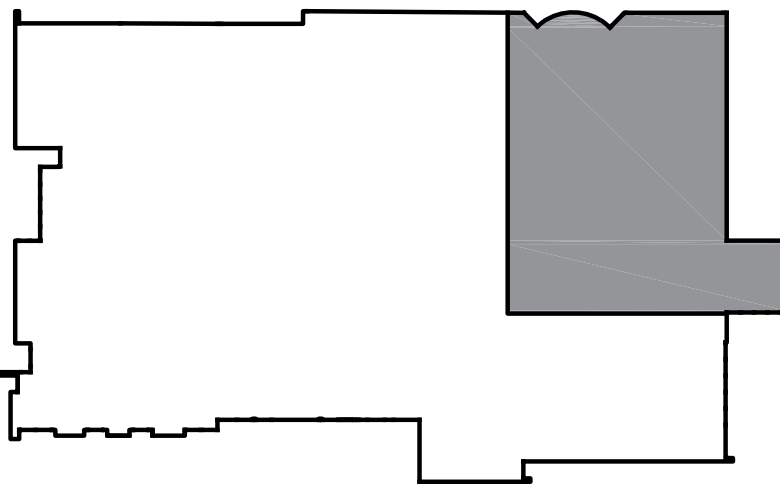
PLUMBING NOTES

1. All plumbing work to comply with the 2018 national standard plumbing code and all local codes having jurisdiction.
2. Without additional cost to the Owner, the contractor shall provide all other labor and materials as required to complete the work in compliance with the requirements of government agencies regardless of whether such materials and associated labor are called for elsewhere in these contract documents.
3. All plumbing supply and waste piping to be properly supported to prevent vibration.
4. All plumbing supply pipes to be insulated against heat loss or condensation.
5. All framing members cut or altered by the installation of plumbing pipes to be returned to the original design capacity.
6. Provide nailing plates over all piping that intersects a framing member.
7. All domestic water lines above ground to be type "J" copper unless noted otherwise. Run lines concealed above finished ceilings and in walls typical and branch to fixture.
8. Install stops on each water line at each fixture typical.
9. Provide all required cutting and trenching of existing floor. backfill and patch floor to match existing.
10. Installation of piping and equipment:
 - Thoroughly clean items before installation. Cap pipe openings to exclude dirt until fixtures are installed and final connections have been made.
 - Cut pipe accurately and work into place without springing or forcing. Excessive cutting or weakening of building elements will not be accepted.
 - Make changes in direction with fittings. Make changes in main sizes with eccentric reducing fittings. Install water supply and return piping with straight side of eccentric fitting at top of pipe.
 - Provide complete dielectric insulating couplings between ferrous on non-ferrous metals.
 - All water piping shall be run level and generally free of traps and unnecessary bends.
 - All piping shall have reducing or increasing fittings where any change in the pipe sizes occur. no bushings of any nature will be allowed.
 - No valve stems shall be installed below the centerline of the piping it serves.
 - Run vent piping with elbows at changes of direction or grade to drain out condensation.
 - Cleanouts shall be provided where required by code. cleanouts shall be installed at changes in direction, the base of all leaders, and where shown on the drawings.
11. Testing of water piping
 - All water piping shall be thoroughly flushed to remove all foreign material after the roughing-in is completed. After the fixtures have been connected, the supply line shall be flushed again.
 - Piping shall be hydrostatically tested at a pressure of 150 psi. test pressure shall be maintained for a period of 4 hours with a pressure drop not to exceed 5 psi. This test shall be made before fixtures are connected. The test shall be repeated at 60 psi after the fixtures have been connected. During the tests, all valves shall be carefully checked for leakage around the stem.
12. General requirements for testing
 - If a leak occurs during any test, the system shall be drained, the leaking fitting removed, the pipe thoroughly cleaned, and new fittings installed according to these specifications. reheating leaking fittings in the line is not permitted.
 - All defects disclosed as the result of tests shall be remedied and defective work or material shall be replaced and tests repeated.
 - All tests shall be performed as required until satisfactory results are achieved.

SPRINKLER NOTES

1. All sprinkler work to comply with the latest code and all local codes having jurisdiction.
2. Without additional cost to the Owner, the contractor shall provide all other labor and materials as required to complete the work in compliance with the requirements of government agencies regardless of whether such materials and associated labor are called for elsewhere in these contract documents.
3. Work includes relocation of existing sprinkler heads and all associated design, labor, materials, equipment, tools and testing for proper installation.
4. Contractor is responsible to ensure that the system design is within the water supply limitations.
5. The Fire Protection Contractor shall obtain, provide, and pay for all permits required to make the installation.
6. General requirements for testing
 - Upon completion of the installation, provide necessary personnel and equipment to test and retest the complete system making adjustments as required, and secure all necessary approvals.
 - All sprinkler system piping must be hydrostatically tested for a period of at least two hours or as required by local code, whichever is longer.
 - Test pressure shall be to minimum water system pressure per NFPA 13 and 24.
 - Leakage from any fitting may be corrected by tightening or replacement of defective materials only. Use of sealant materials is expressly prohibited and unacceptable as a corrective measure.

KEY PLAN



DRAWING LIST

- G.001 LOCATION PLAN, ABBREVIATIONS, DRAWING LIST
A.101 CONSTRUCTION PLANS
A.102 TOILET PLAN, ELEVATIONS, AND DETAILS

8.4.2022 ISSUED FOR BID

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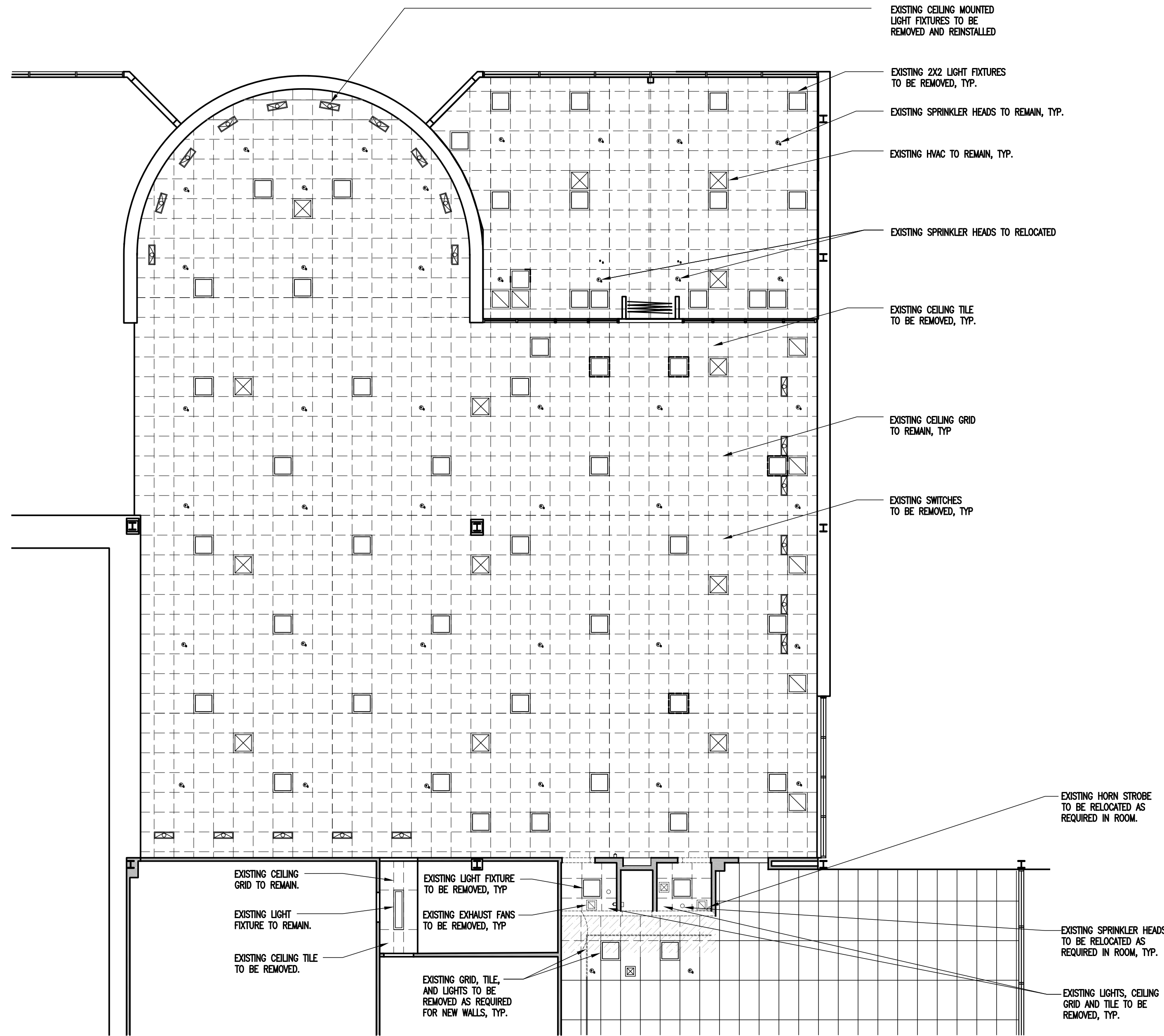
EDWARD ARCARI NJ#12306 ANTHONY IOVINO NJ#11720

LOCATION PLAN, ABBREVIATIONS, & DRAWING LIST

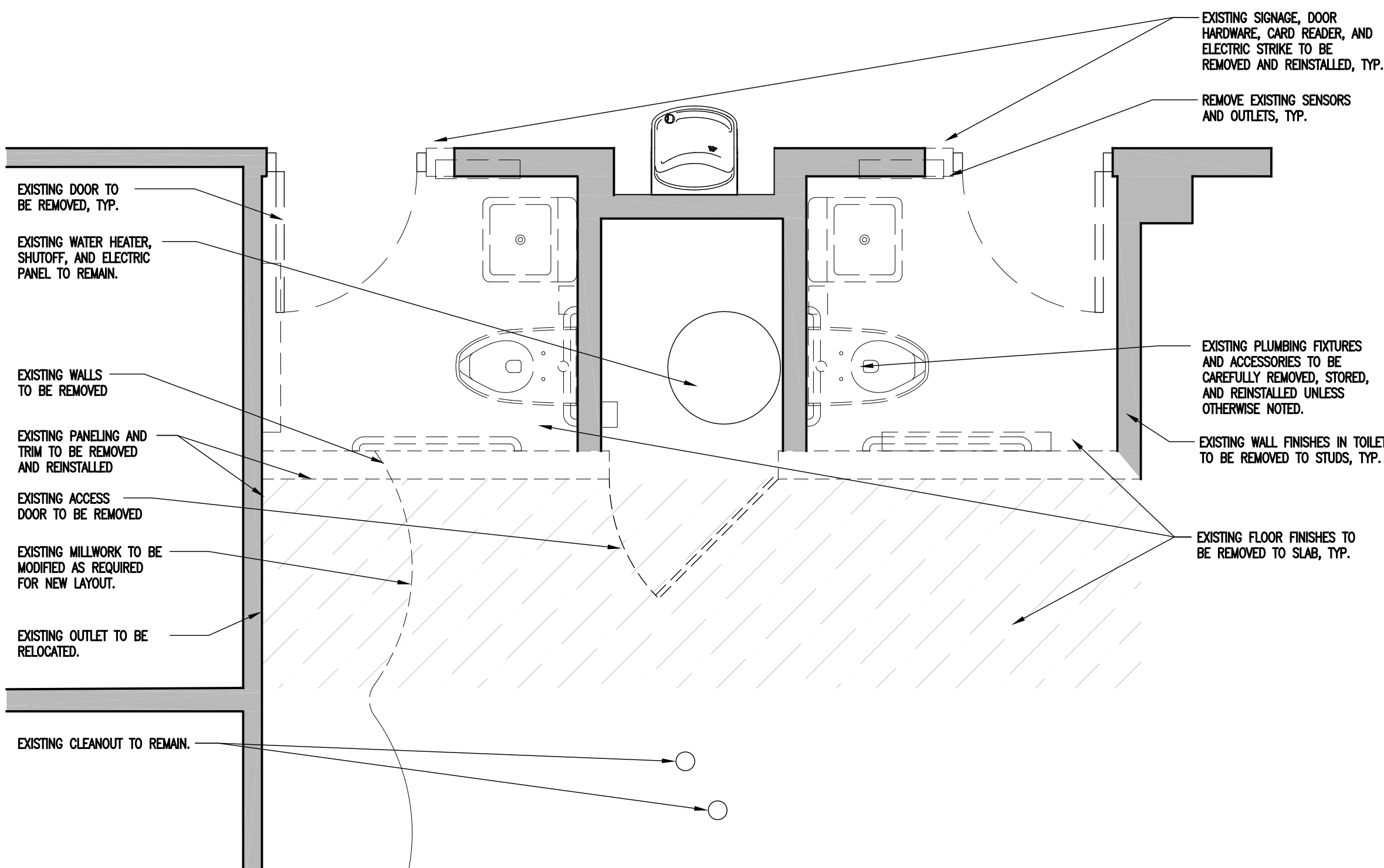
SCALE: AS NOTED
DATE: 08.03.2022
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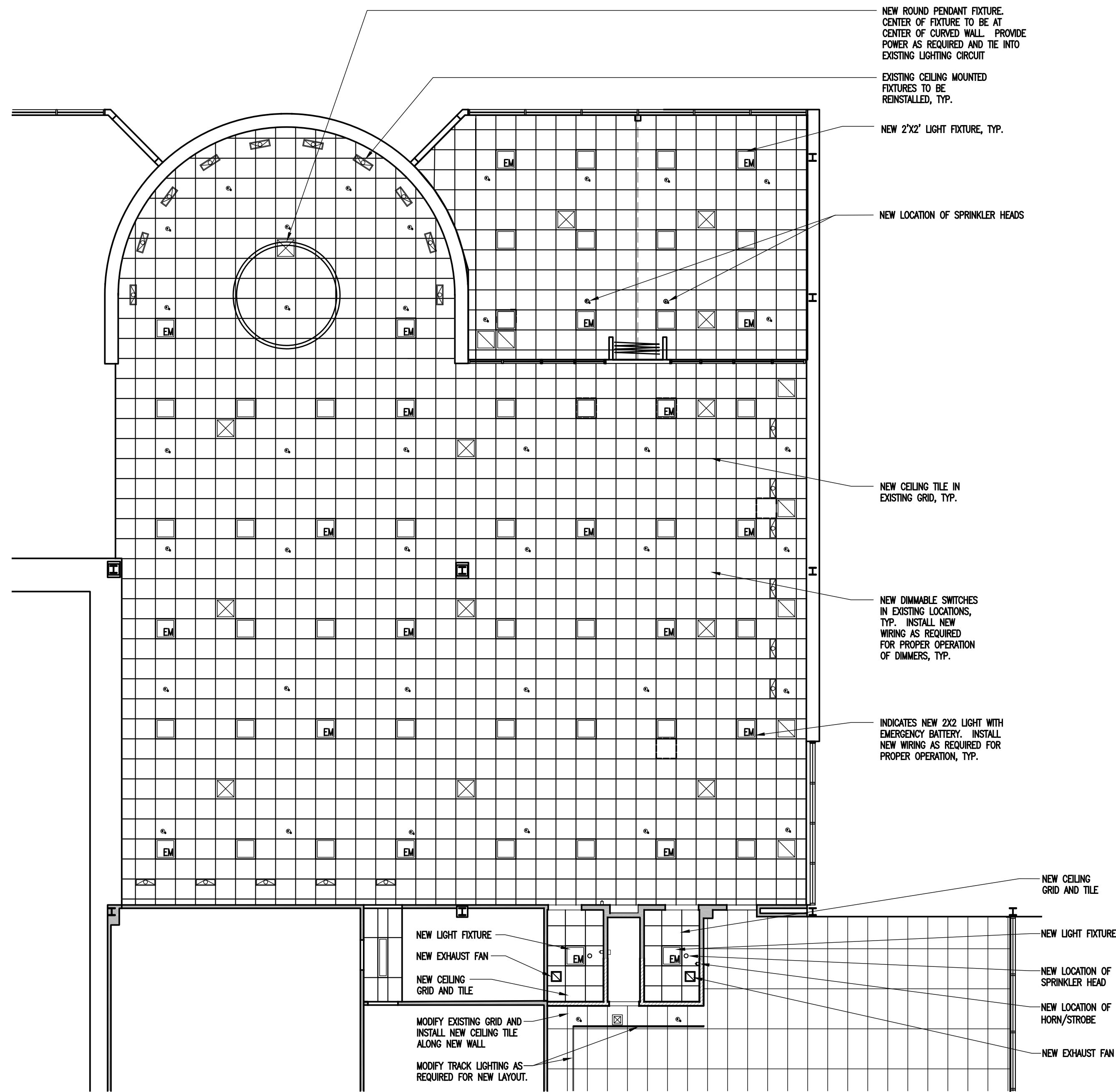
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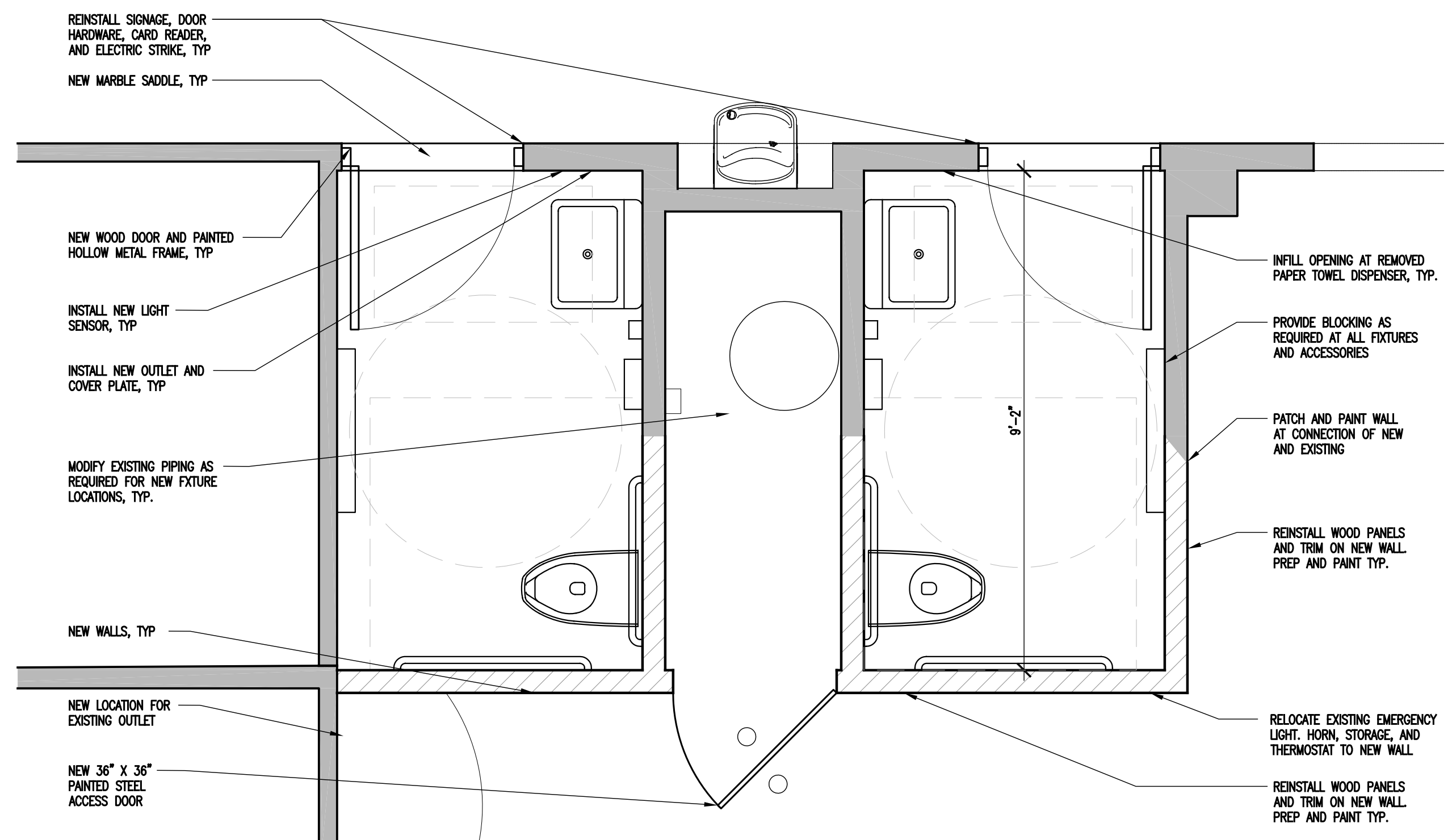
1 PARTIAL DEMOLITION RCP
1/8" = 1'-0"



3 PARTIAL DEMOLITION PLAN
1/2" = 1'-0"



2 PROPOSED RCP
1/8" = 1'-0"



4 PROPOSED PLAN
1/2" = 1'-0"

CEILING TILE

Basis of Design:

USG Mars Acoustic Panels or approved equal. Panels to be 24" x 24" x 3/4", SLT edge, color to be white.

Where new ceiling grid is indicated, provide USG DX grid or approved equal. Color to be white.

2'X2' LIGHT FIXTURE

Basis of Design:

Fluxus: Transom TR1-22-C-35-F2-M, 2x2 dimmable LED fixtures or approved equal. Provide new dimming switches at existing locations, typ.

2'X2' EMERGENCY LIGHT FIXTURE

Basis of Design:

Fluxus: Transom TR1-22-C-35-F2-M-B, 2x2 dimmable LED emergency fixtures or approved equal. Provide new wiring as required for proper operation.

ROUND PENDANT FIXTURE

Basis of Design:

Lumex RPM-UP-DN-192"-35K-WHT-SPC24 ring up + down light or approved equal.

SOLID CORE WOOD DOOR

Basis of Design:

VT Industries Architectural Wood Doors Heritage VT Door Type 5507H Grade "A" wood veneer door with bonded structural composite lumber core and 5-ply construction or approved equal. Veneer to be Cherry and finish to be selected from manufacturer's full range.

Door to be 36" wide by 7'-0" high in new 18 ga. painted hollow metal frame. Reinstall the existing signage, door hardware, card reader, and electric strike at each door.

Existing door hooks to be removed. Provide and install (2) new door hooks at each door.

EXHAUST FAN

Basis of Design:

Broom Lozone Select L100MG ceiling mount ventilator with metal grille or approved equal at each toilet. Provide new ducts from each new exhaust fan to the existing exterior vents. Modify existing power as required for new fans.

Install new unistrut supports from existing structure.

ACCESS DOOR

Basis of Design:

Acudor Access Panels UF-5000 Universal Flush, 14 gauge steel, 36" x 36", with screwdriver operated cam latch.

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CONSTRUCTION PLANS

SCALE: AS NOTED

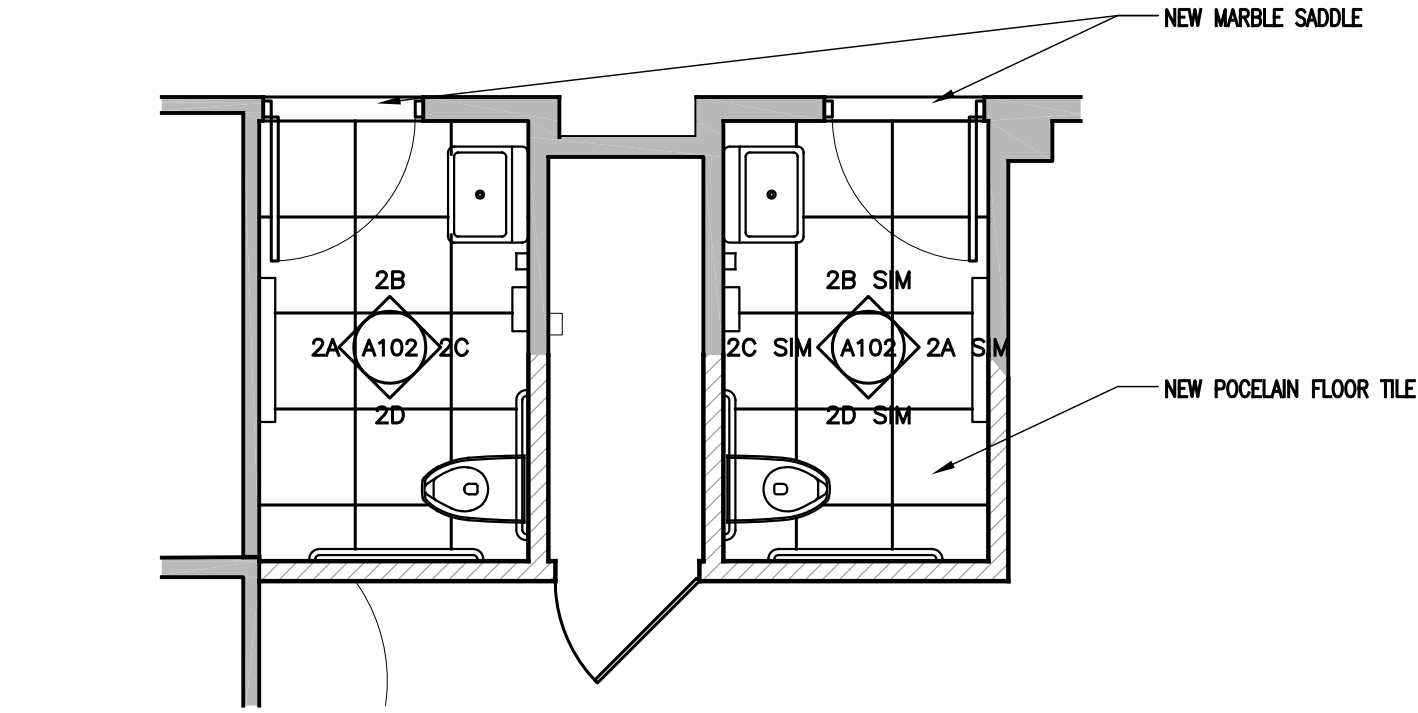
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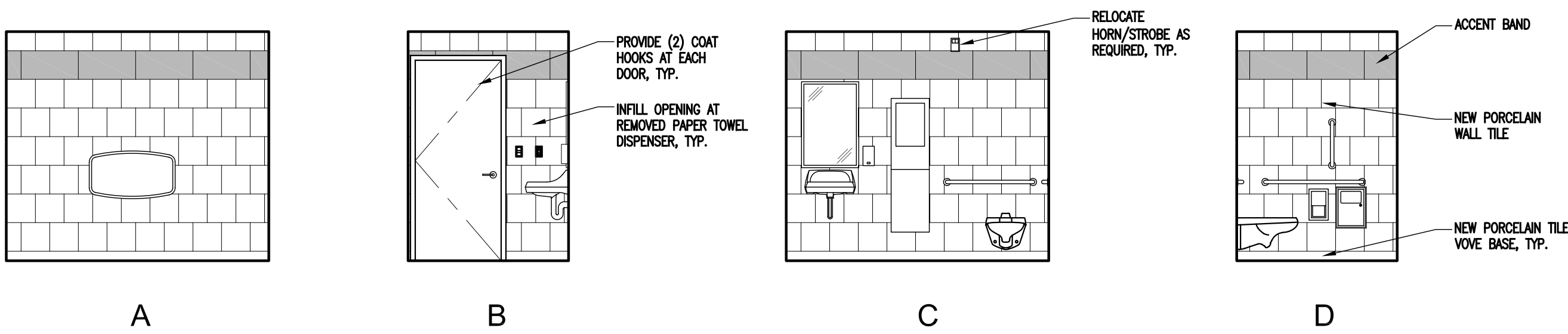
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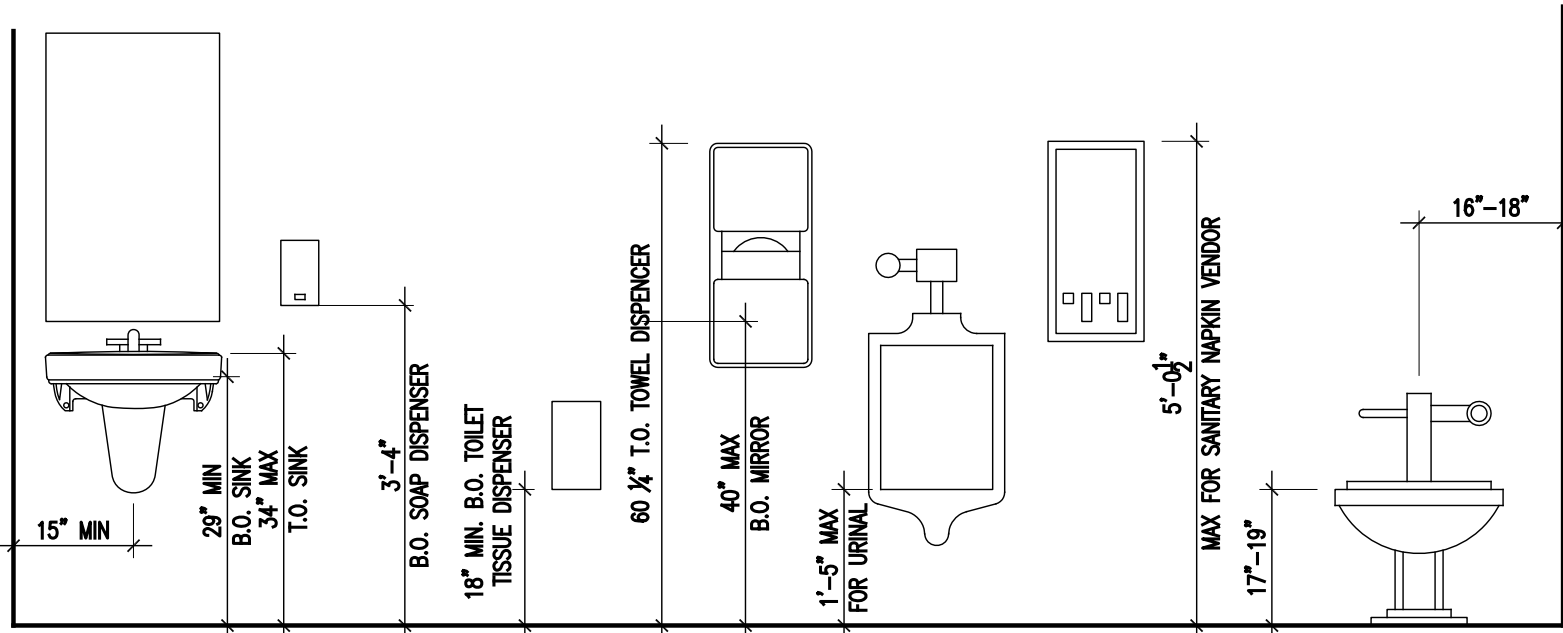
1 TOILET PLANS



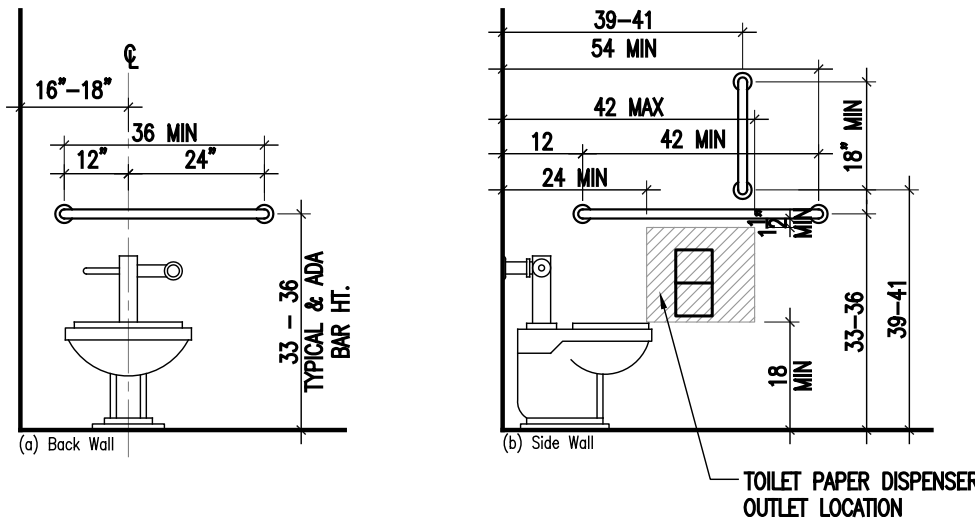
2 TOILET ELEVATIONS



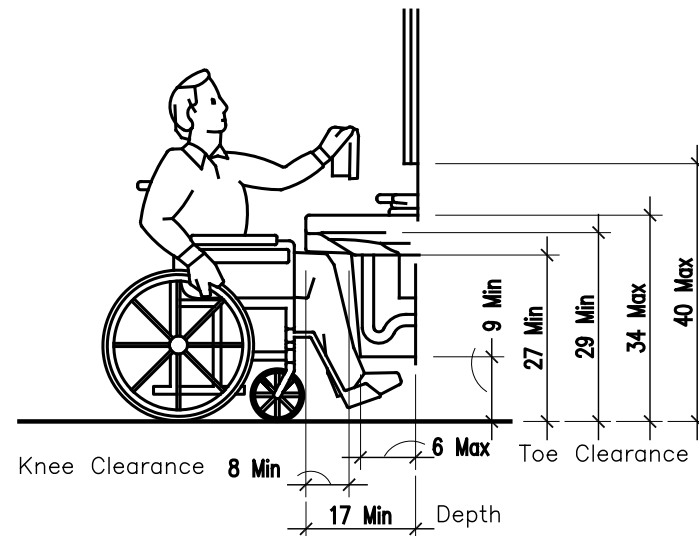
3 ADA MOUNTING HEIGHTS



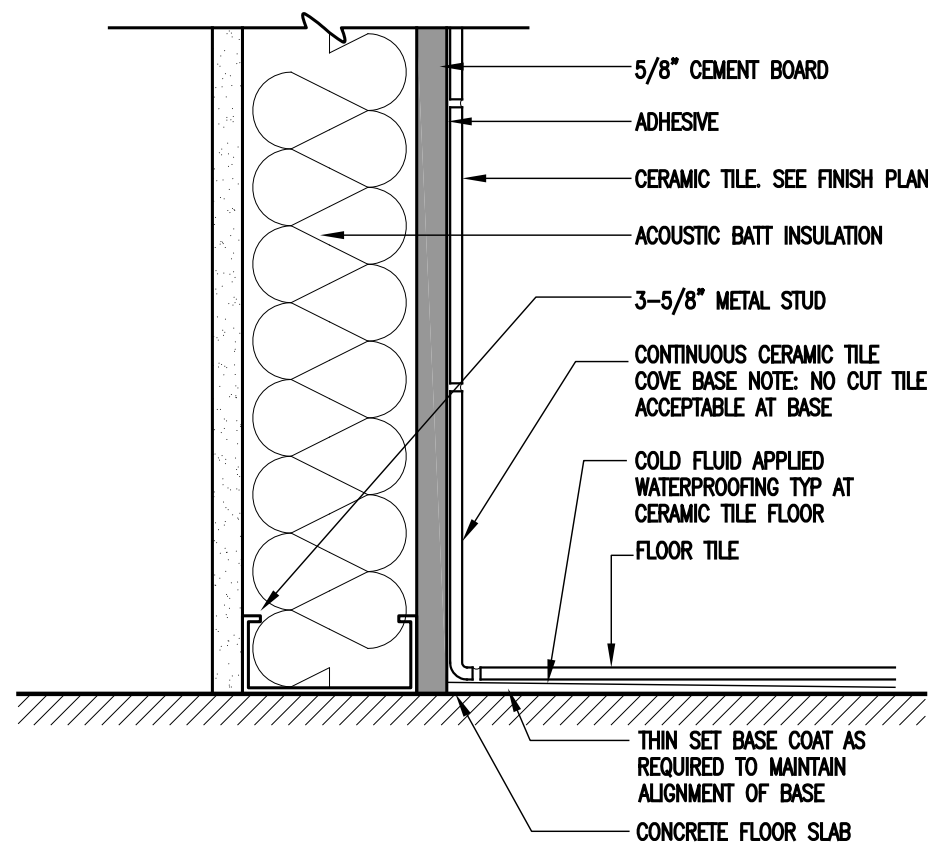
4 TOILET HEIGHT



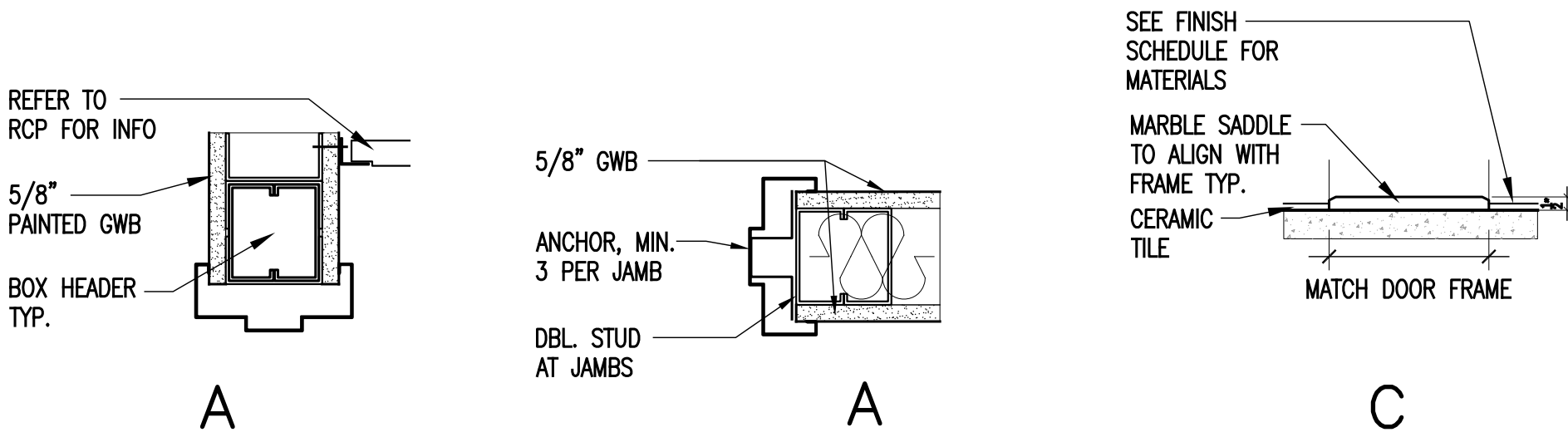
5 MIN ADA CLEARANCES AT LAVS.



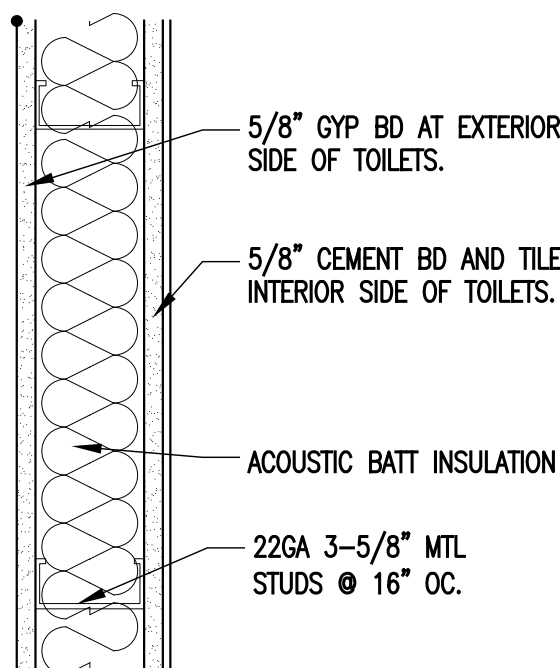
6 TILE DETAIL



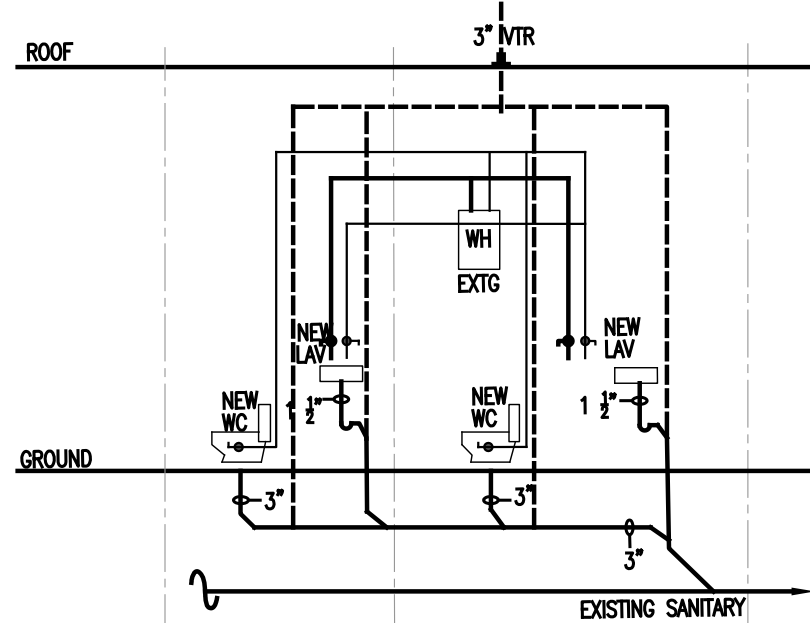
7 TYPICAL DOOR DETAILS



8 TYPICAL PARTITION TYPE



9 PLUMBING RISER DIAGRAM



GENERAL NOTES

- 1) Carefully remove all items to be reinstalled and store in a secure area until they are ready to be reinstalled in new location.
- 2) Install blocking as required for all grab bars and accessories
- 3) Install metal edge trim at all exposed tile edges
- 4) Install pipe wrap on all exposed piping

COAT HOOKS

Basis of Design:

Bobrick B-6827 Surface Mounted Hat and Coat Hooks or approved equal. Provide (2) hooks at each door. Install (1) as recommended by manufacturer for ADA compliance and (1) at 66" A.F.F.

TOILET

Existing toilet and flushometer to be removed and reinstalled in new location. Provide new wall hanger, piping, flange, and all other accessories, equipment, and materials necessary for a complete installation. Mount at recommended height for ADA compliance.

Toilet to have power for flushometer, 4" waste, 2" vent, and 1" cold water supply with new shutoff at fixture.

SINK

Existing sink and faucet to be removed and reinstalled in new location. Provide new wall hanger, piping, trap, vents, shutoffs, and all other accessories, equipment, and materials necessary for a complete installation.

Each sink to have water shutoffs, 1-1/4 x 1-1/2 trap, 1-1/2 waste, 1-1/2 vent, 1/2 hot and cold water. Mount at recommended height for ADA compliance.

PORCELAIN TILE

Basis of Design:

Crossville Notorious Porcelain Stone or approved equal. Colors to be selected from full range

Floor Tile - 24" x 24" tiles

Wall Base - 6 x 12 cove base, color to match floor tiles

Wall Tile - 12 x 12 with 12 x 24 accent band. (2) colors to be selected from full range

PIPE WRAP

Basis of Design:

TrueBro IPS Corporation Lav Guard 2 waste and supply piping covers or approved equal. Coordinate specific model numbers required to cover configuration of all installed piping.

METAL EDGE TRIM

Basis of Design:

Schluter Systems - Jolly finishing and edge protection system or approved equal. Finish to be chrome plated solid brass.

Provide at all corners and edges of tile.

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TOILET PLANS, ELEVATIONS, AND DETAILS

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