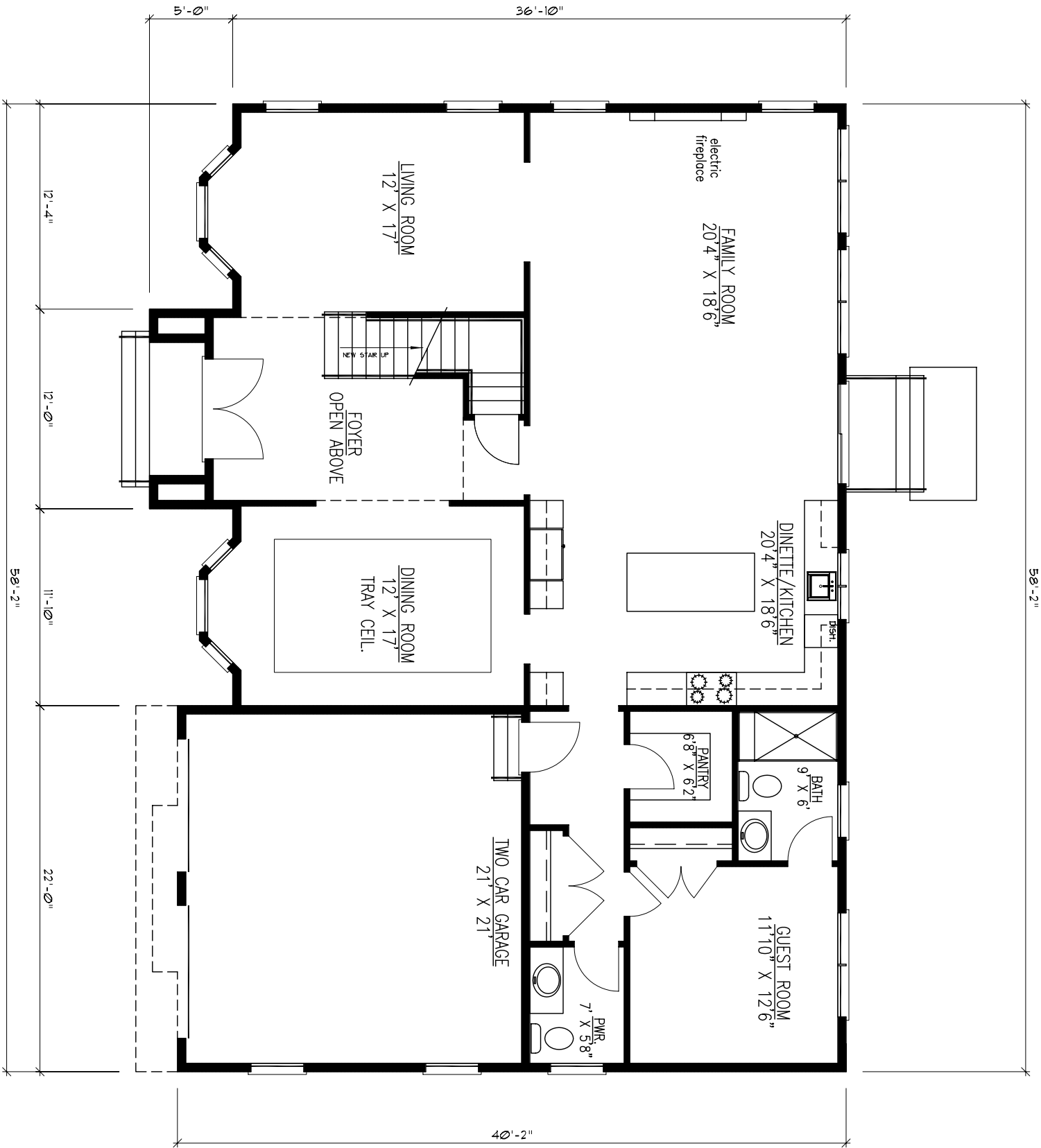




FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"
1828 SQUARE FEET

THIS PLAN MEETS NEW JERSEY ENERGY CODE PER BULLETIN '22-1; COMPLIANCE WITH RESCHECK SOFTWARE.

N.J.U.C.C. REQUIREMENTS
2021 INTERNATIONAL RESIDENTIAL CODE
NEW JERSEY EDITION

USE GROUP R-5
CONSTRUCTION TYPE 5B

WIND SPEED 115 MPH

EXPOSURE CATAGORY B

LIVE LOADS	
FLOORS	40 PSF
BEDROOM FLOORS	30 PSF
ATTIC (ACCESSED BY FIXED STAIR ONLY)	30 PSF
CEILINGS	20 PSF
ROOF	30 PSF
DECK/BALCONY	60 PSF

AREA	
1st FL	1828 SF
2nd FL (INCLUDING OPEN AREAS)	2276 SF
TOTAL	4104 SF
OPEN AREAS	188 SF

COVERAGE (2302 S.F. MAX)	2301 SF
--------------------------	---------

F.A.R.	
1st FL	1828 SF
2nd FL (EXCLUDING OPEN AREAS)	2088 SF
GARAGE	446 SF
TOTAL = 4362 SF	53.06%

FOR PLANNING BOARD
OR BOARD OF ADJUSTMENT
ONLY. NOT TO BE USED
FOR CONSTRUCTION PERMIT.

FIRST FLOOR PLAN

A-1

Proposed Dwelling For:
MARKIM DEVELOPERS, LLC
6 LINKS DR. BLK. 557 LT. 16.28
EDISON, NEW JERSEY

MARCH 12, 2024
JOB# 2024/006.00
1 OF 4
DRAWN BY: DMP
(908) 561-5560

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Roger C. Winkle, AIA • N.J. Lic.# 07971 • Architect
NJ Lic.# 019856 • PENN. Lic.# RA-011695-B

Roger C. Winkle



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

2276 SQUARE FEET

FOR PLANNING BOARD
OR BOARD OF ADJUSTMENT
ONLY. NOT TO BE USED
FOR CONSTRUCTION PERMIT.

SECOND FLOOR PLAN

A-2

Proposed Dwelling For:
MARKIM DEVELOPERS, LLC
6 LINKS DR. BLK. 557 LT. 16.28
EDISON, NEW JERSEY

MARCH 12, 2024 JOB# 2024/006.00

2 OF 4 DRAWN BY: DMP

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ROGER C. WINKLE – ARCHITECT

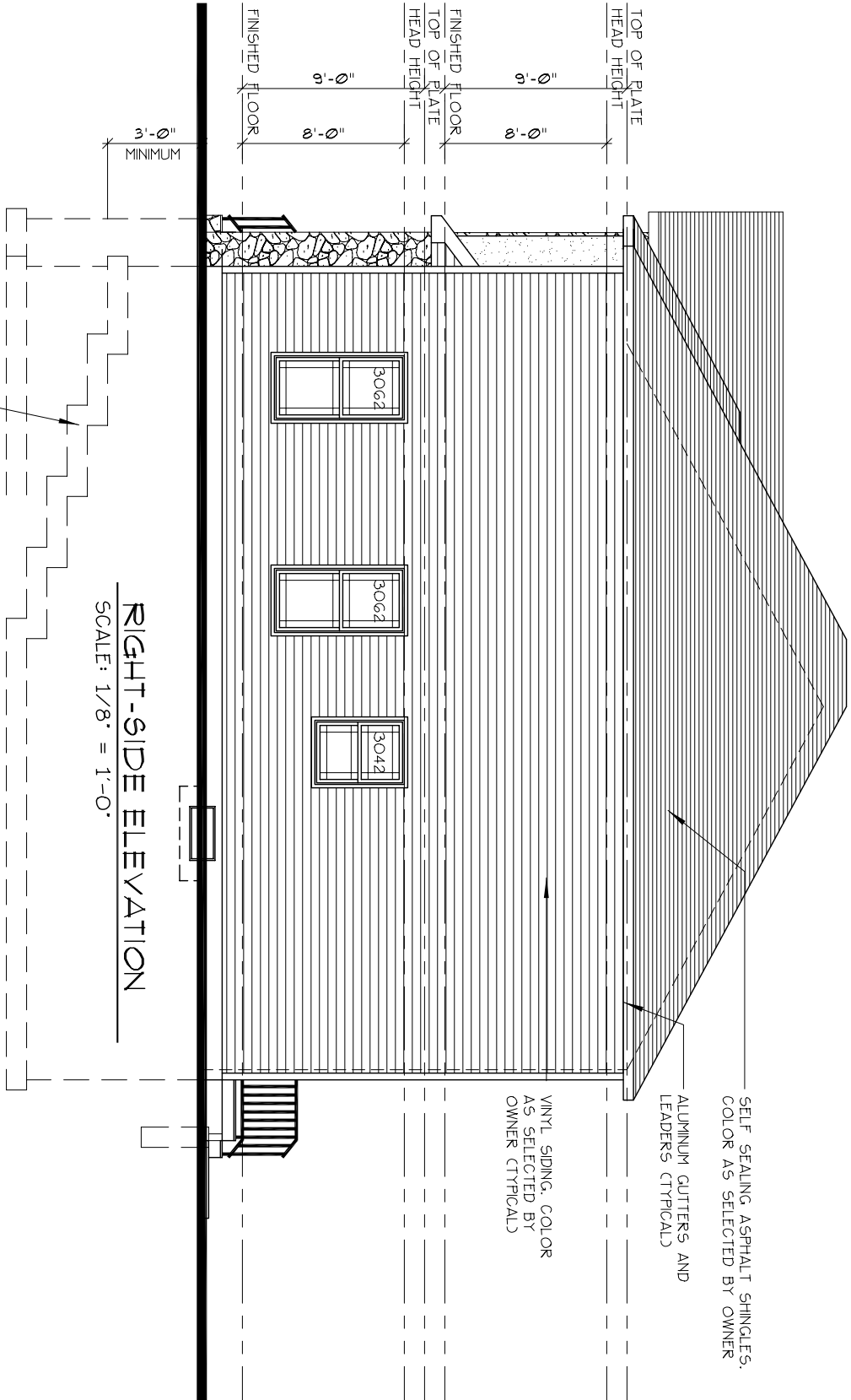
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N.J. Dir. # 019856 • PENN. Lic. # RA-010995-B

Roger C. Winkle



NOTE: CONTRACTOR OPTION
TO STEP FOOTING, AS PER
GENERAL NOTES, DRAWING A-1.

SELF SEALING ASPHALT SHINGLES.
COLOR AS SELECTED BY OWNER

ALUMINUM GUTTERS AND
LEADERS (TYPICAL)

12
6.5

STUCCO VENEER, COLOR AND
TEXTURE AS SELECTED BY
OWNER

'CULTURED' STONE VENEER.
COLOR AS SELECTED BY
OWNER

SELF SEALING ASPHALT SHINGLES.
COLOR AS SELECTED BY OWNER

ALUMINUM GUTTERS AND
LEADERS (TYPICAL)

VINYL SIDING, COLOR
AS SELECTED BY
OWNER (TYPICAL)

TOP OF PLATE
HEAD HEIGHT

8'-0"

FINISHED FLOOR

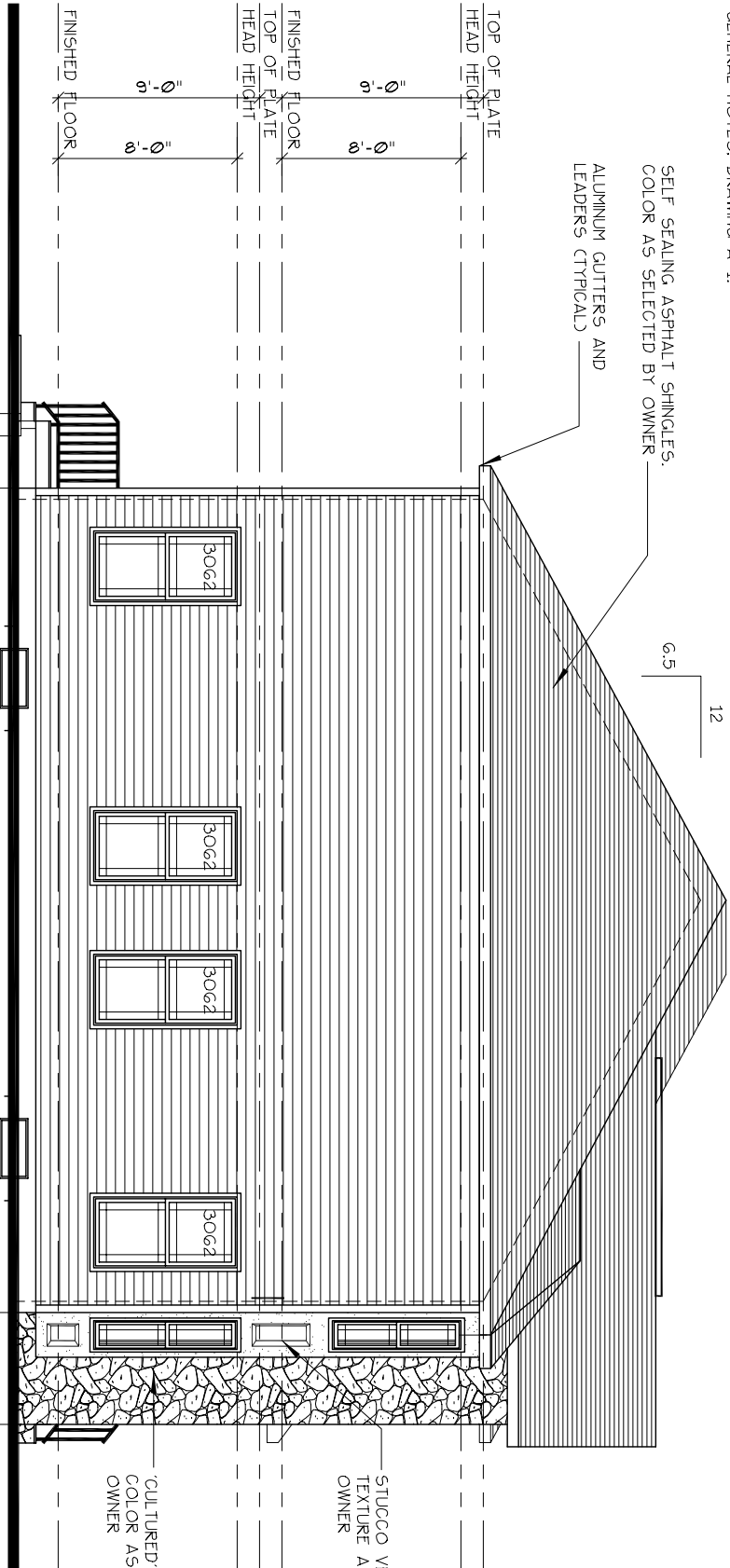
8'-0"

TOP OF PLATE
HEAD HEIGHT

3'-0"
MINIMUM

RIGHT-SIDE ELEVATION

SCALE: 1/8" = 1'-0"



12
6.5

STUCCO VENEER, COLOR AND
TEXTURE AS SELECTED BY
OWNER

'CULTURED' STONE VENEER.
COLOR AS SELECTED BY
OWNER

LEFT-SIDE ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONS

A-4

FOR PLANNING BOARD
OR BOARD OF ADJUSTMENT
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Proposed Dwelling For:
MARKIM DEVELOPERS, LLC
6 LINKS DR. BLK. 557 LT. 16.28
EDISON, NEW JERSEY

MARCH 12, 2024 JOB# 2024/006.00
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