

**BOROUGH OF SOUTH RIVER
MIDDLESEX COUNTY
SOUTH RIVER, NEW JERSEY 08882-1247**

**48 Washington Street
Construction Office**

**Office: 732-257-1999 ext. 121
Fax: 732-613-6105**

*Glenn P.W. Lauritsen
Construction Official/Zoning Official
Code Enforcement Officer
Flood Administrator*

April 9, 2018

From the Office of the Construction Official/Zoning Official

**RE: 6 Center Street
Block 258-Lot 4.1**

This office is responding to the "Request for access to government records".

This office has researched the files for The following Block and Lots.

Block 258- Lot 4.01 6 Center Street, Applicant's property.

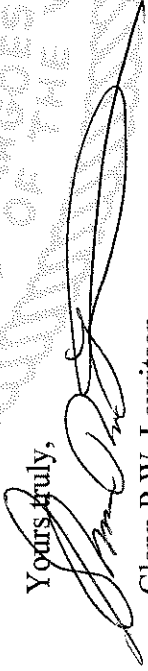
- 3.2 Nothing on file**
- 5 No survey on file**
- 5.01 Church's survey**
- 6 No survey on file**

We were able to locate 2 surveys Lots 4.01 and 5.01. The survey of 4.01 shows only 1 side of the concrete channel. Survey for 5.01 shows 2 sides of the concrete channel with the property line going down the approximate center at lot 4.01.

I have included a copy of the tax map showing no drainage easement.

I have included a copy of the Resolution for lot 5.01 mentioning the drainage ditch but no mention of whose property it is on.

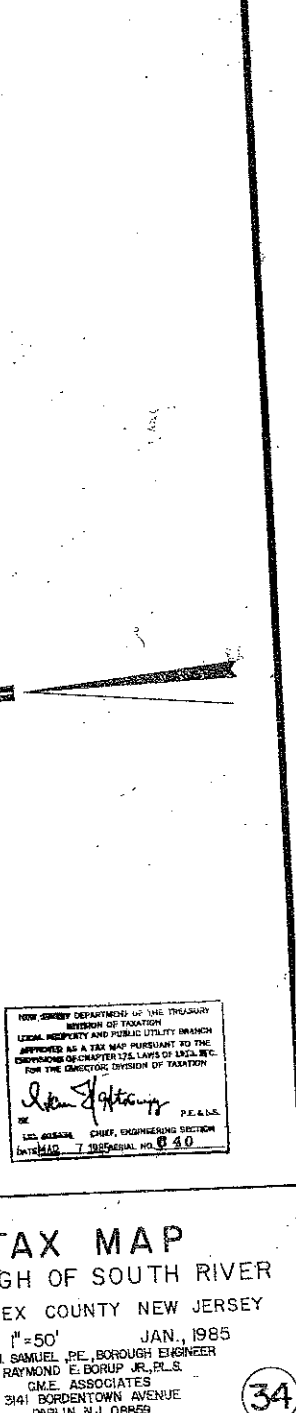
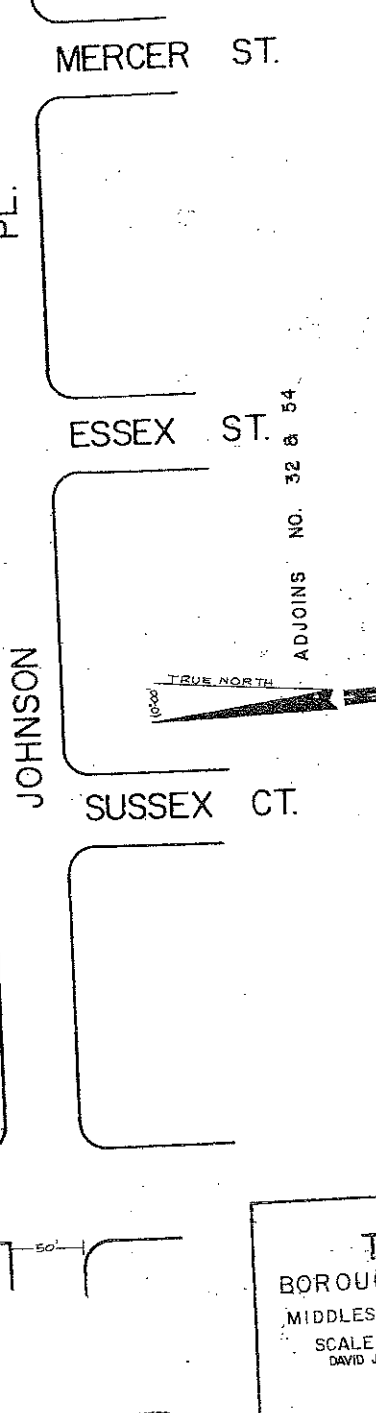
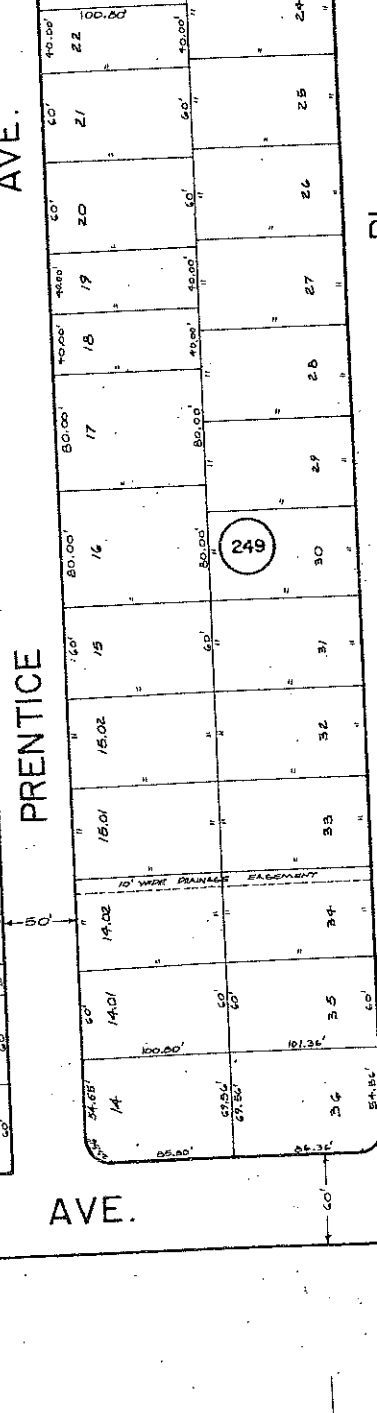
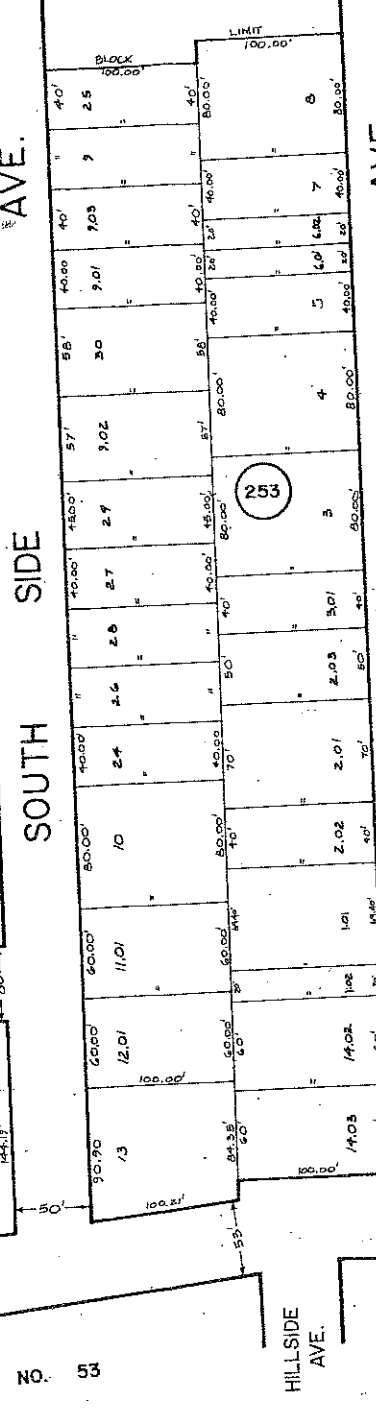
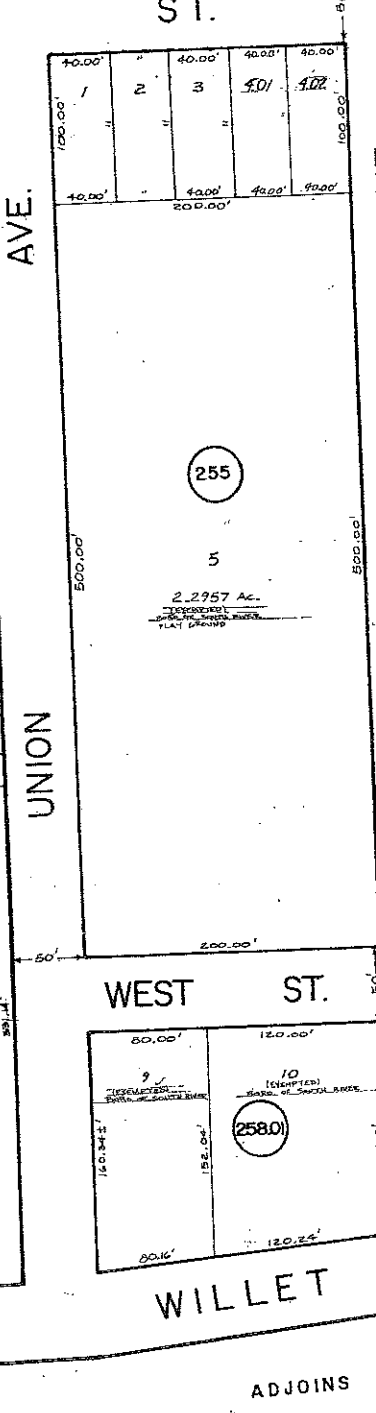
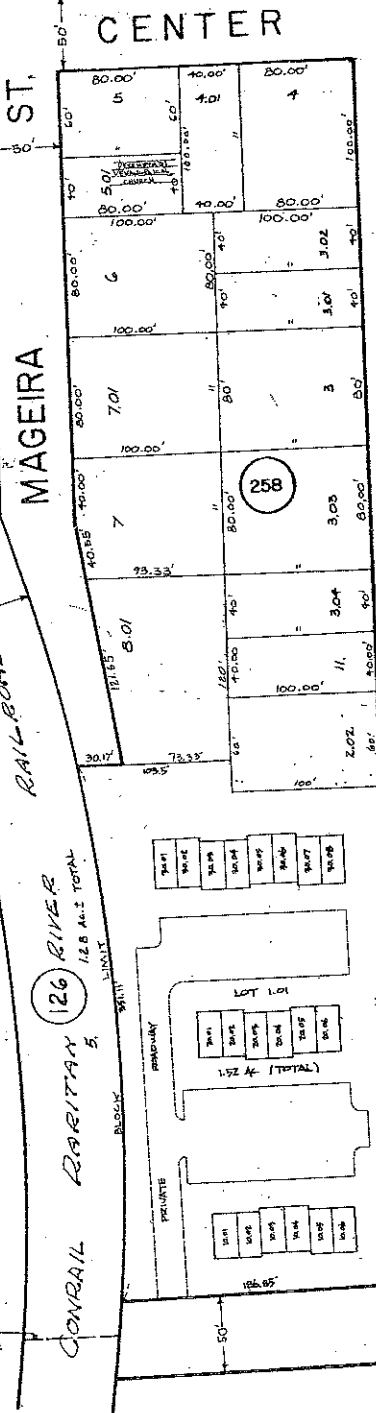
Yours truly,



Glenn P.W. Lauritsen

ADJOINS NOS 35, 39 & 40

MATCH LINE
SEE SHEET NO. 35



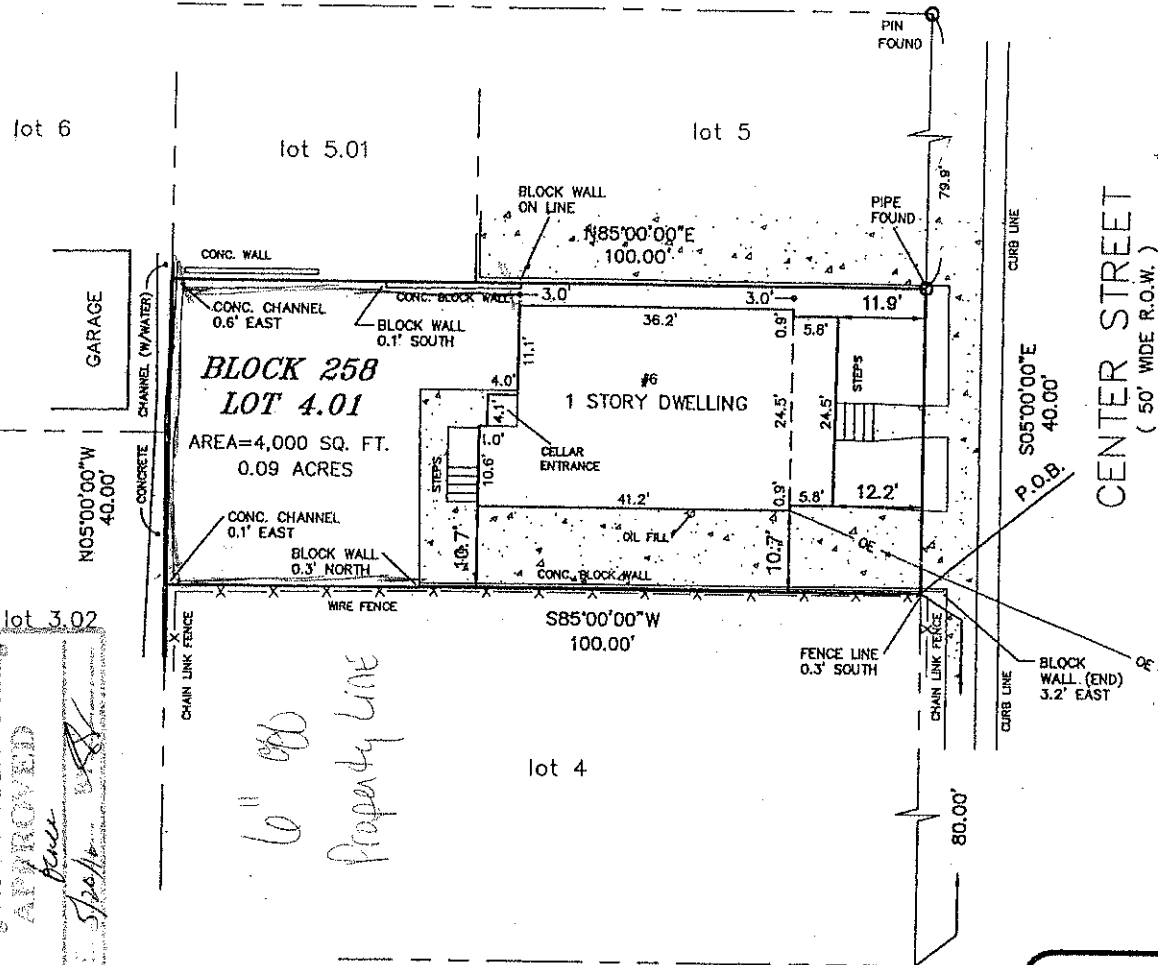
MAP ORIGINALLY
PREPARED BY BOARD OF
PUBLIC WORKS
DATED 1984

LAST REVISED BY CME ASSOCIATES
APRIL 1986
MAY 2007
NOT 2010

TAX MAP
BOROUGH OF SOUTH RIVER
MIDDLESEX COUNTY NEW JERSEY
SCALE 1"=50' JAN., 1985
DAVID J. SAMUEL, JR., BOROUGHS ENGINEER
RAYMOND E. BORUP, JR., P.L.S.
C.M.E. ASSOCIATES
3141 BORDENTOWN AVENUE
PARLIN, N.J. 08859

NEW JERSEY DEPARTMENT OF THE TREASURY
DIVISION OF TAXATION
LEGAL, PROPERTY AND PUBLIC UTILITY BRANCH
APPROVED AS A TAX MAP PURSUANT TO THE
ORDINANCE OF MARCH 22, 1984, A.C.
FOR THE DIRECTOR, DIVISION OF TAXATION
John J. Hagan P.E. & L.S.
L.S. 005584 CHIEF, ENGINEERING SECTION
DATE MAR 7 1985 SERIAL NO. 0 40

MAGEIRA STREET (50' WIDE R.O.W.)



TO: Thomas Reagan and Linda Reagan
Amboy Bank, ISAOA/ATIMA
First American Title Insurance Company
Hellbrunn Pope, LLC

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY MADE ON 5/30/13, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE " STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS "

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

NOTES:

- THIS CERTIFICATION IS MADE ONLY TO HEREON NAMED PARTIES FOR PURCHASE AND OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAME PURCHASER, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.
- ENVIRONMENTALLY SENSITIVE AREAS ARE NOT LOCATED BY THIS SURVEY.
- NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS SURVEY IS CLAIMED BY THE STATE OF N.J. AS TIDELANDS.
- UNDERGROUND UTILITIES NOT LOCATED BY THIS SURVEY.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, c.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).

Borough of South River Zoning
APPROVED
Spotts, V.A.
LEGEND:

P.O.B. POINT OF BEGINNING
R.O.W. RIGHT OF WAY
SQ. FT. SQUARE FEET
CONC. CONCRETE
DENOTES CONCRETE

SOUTH SIDE AVENUE
(50' WIDE R.O.W.)

CREST

Engineering Associates Inc.

Civil & Environmental Engineers
Professional Planners • Surveyors • Landscape Architects
• CERTIFICATE OF AUTHORIZATION NO. 246A27889300 •

100 RISE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
P: (609) 418-5250

12 RODGERS PKWY.
AT WATER STREET
TOMAS RIVER, N.J. 08753
P: (332) 244-0028

Daniel P. Hundley
DANIEL P. HUNDLEY
PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO. 33174

SURVEY OF PROPERTY

LOT 4.01
BLOCK 258

BOROUGH OF SOUTH RIVER
MIDDLESEX COUNTY, NEW JERSEY

DATE 5/30/13	DRAWN AF	CHECKED
SCALE 1" = 20'	FILE No. N-5459	DWG. No. 5459-SL

STREET

50
E.O.W.



1. PROPERTY LIES IN THE 2-75 RESIDENTS.

2. PROPERTY APPEARS ON SHEET 34 OF THE

3. BUILDING CONTAINS 1500 SQ. FT. AND THE 1
CONTAINS 300 SQ. FT.

VARIANCE PLA
OF

SITUATE IN
BORO OF SOUTH RIVER - MIDD.

DATE:

OWNER & APPLIC

THE UNIVERSITY OF CHICAGO

RESOLUTION

WHEREAS, The Evangelical Church of the Assentiles of God is the owner of property located in Block 273 lot 501 in the Borough of South River, County of Middlesex and State of New Jersey also known as 1000 Madison Street;

AND WHEREAS, said church desires to file an application to construct a 10' X 30' addition to rear of church which would violate the provisions of zoning Ordinance No. 1280, said application

being denied pursuant to Section 204-5 R-75 Paragraph D-1 of the South River Zoning Ordinance.

WHEREAS, an appeal was filed with the Board of Adjustment of this Borough on September 30, 1980 for variation of Section 204-5 R-75 Paragraph D-1 of the Zoning Ordinance of the Borough of South River for approval to construct the aforementioned addition to the above mentioned premises;

WHEREAS, the applicant has complied with filing and notice requirements pursuant to the rules of this Board.

WHEREAS, the Board of Adjustment heard and considered testimony of the applicant and its witnesses at public meeting on October 27, 1980

WHEREAS, the Board of Adjustment, after carefully considering the evidence presented by the applicant, has made the following findings of fact:

1. Howard Schmidt represented the applicant.
2. The lot in question is 40' X 80' upon which is a brick church building approximately 30' X 50'.
3. The applicant desires to construct an addition to the rear of the church; said addition will be 10' X 30' and will house a baptistry pool
4. Said addition would be located within 8.3' of the rear property line which is in violation of the zoning ordinance.
5. Applicant has testified that baptisms are currently performed at other churches, however the congregation is expanding and thus a baptistry pool is a necessity.
6. The pool will be 4.8' X 8.6' and 3½' deep.



GOODMAN, ALLGAIR & SCOTT

Engineers • Planners • Surveyors

Our File No.: SR-079/P-2135

Borough of South River
Zoning Board of Adjustment
41 Main Street,
South River, N.J. 08882

December 11, 1980.

Re: Evangelical Church

Magiera Street,
Borough of South River, N.J.

In accordance with your request through Mr. Michael Szwelancz, we have reviewed the plan of the proposed 10' deep addition, with regard to drainage and are reporting herein:

The addition will slightly increase the amount of stormwater runoff from the site, however this increase will be minimal with regard to the total runoff from the drainage area.

We do not foresee the creation of drainage problems, providing that a swale is constructed along the rear property line to lead runoff from the existing driveway of Lot No. 5 and the rear yard of Lot No. 4 to the existing sludge. In addition, the leaders from the addition should discharge directly to the existing concrete

any further questions regarding these matters, please

Very truly yours,

David J. Samuel

David J. Samuel, P.E.
BOROUGH ENGINEER'S OFFICE.

DJS:pl

cc: Andy Brasno, Esq.,
Raymond Naperkowski
Evangelical Church
c/o Michael Szwelancz.

WHEREAS, the Board of Adjustment has determined that the variance requested by the applicant can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance for the following reasons:

(A) Applicant has demonstrated a need for the variance in that its congregation is now expanded to the point that a baptistry located within their church is a necessity.

(B) The proposed addition will be designed in harmony with the current structure so as to make it conform with the current zoning ordinance.

(C) Based upon the topography and size of the lot, the location of the addition to the rear is the only feasible design.

NOW THEREFORE, be it resolved, by the Board of Adjustment of South River, that the variance requested by the applicant is hereby granted with the following stipulation and condition:

Due to the peculiar conditions of applicant's land and the fact that the premises are already developed, it is the Board's opinion that a site plan review is impractical and same is hereby waived. However, this approval and waiver of site plan is conditioned upon the thorough Engineer's Office reviewing the drainage pattern of the water coming off the addition and the effect of the drainage ditch on the addition.