

BOROUGH OF
SPRING LAKE HEIGHTS, N.J.

No. 4339

Date 1/29/15

ZONING PERMIT

PERMISSION IS HEREBY GRANTED TO

Owner Bilotti

Located at: Block No. 76 Lot No. 7

Street Address 585 MONMOUTH AVE

Zone R-5

Contractor N/A

To CONSTRUCT SINGLE FAMILY DWELLING

ATTACHED GARAGE

in accordance with application and plans and specifications
filed in the office of the Building Department

Special Conditions, if any: OBTAIN BLD. PERMITS

ALL CONCRETE CURB, SIDEWALK PAVEMENT

REPORT IN ACCORDANCE W/ BORO. ENG. REQUIREMENTS

Planning Board
Approval _____

Board of Adjustment
Approval _____

Mayor & Council
Approval _____

This permit is approved subject to
the provisions of the Zoning
Ordinance, any conditions imposed
by any board or the governing
body, and all applicable ordinances
of the Borough of Spring Lake
Heights, N.J.

☐ Certificate of Occupancy

☐ Location Survey Required

Requester
Joseph M. May
ZONING OFFICIAL

Requested Move

Info

12/15/15
12/29/14

BOROUGH OF SPRING LAKE HEIGHTS

APPLICATION FOR
ZONING PERMITDATE 11/18/14PERMIT # 4339

Application is hereby made to the Zoning Officer for Permit to: commence and/or change a use; erect, construct, reconstruct, alter or convert a structure; as required by the "Municipal Land Use Ordinance".

PROPERTY ADDRESS

OWNERS NAME AND ADDRESS

585 MONMOUTH AVE
SPRING LAKE HEIGHTS, NJ
07762

NICHOLAS & EMILY BILOTTI
564 MONMOUTH AVE
SPRING LAKE HEIGHTS, NJ 07762

BLOCK 76 LOT 7PHONE 732-859-2772

ZONE _____

PROPOSED USE SINGLE FAMILY HOME PRIOR USE VACANT LOTDESCRIPTION OF DEVELOPMENT NEW SINGLE FAMILY HOME WITH DETACHED GARAGE

Applications shall include a survey showing: all buildings, dimensions, setbacks, location and dimension of fences, pools and access buildings-location of adjacent property and buildings-location of number of parking spaces and curb access- ways and other supporting data.

Manufacturing: light or craft work _____

Storage or use of combustibles _____

Sewer connection in _____ Water Meter in _____

Signs: Building Mounted _____ Free Standing _____

Will require Permits: Construction _____ Plumbing _____ Electrical _____

Health _____ Fire Dept. (Combustibles) _____ Demolition _____

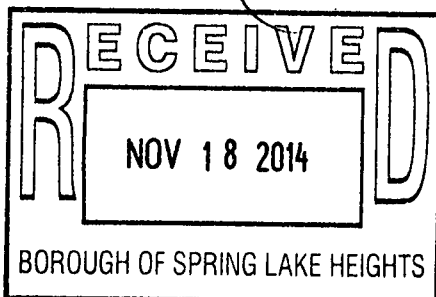
Planning Board Action Received _____ Date _____

Zoning Board Action Received _____ Date _____

Site Plan Review Required _____

Certificate of Occupancy Required (Use or Construction) _____

PERMIT FEE \$10.00

Date 11-17-14Check # or Cash 5087

Call *
when complete
mail permit
to town

ARCHITECT
ROBERT G DOOLEY SR RA
RG Dooley

Applicant Signature

R.C. BURDICK, P.E. P.P. P.C.

1023 OCEAN RD. PT. PLEASANT, N.J. 08742

PHONE 732-892-5050

FAX 732-892-5888

STORMWATER STATEMENT

565 MONMOUTH AVENUE

LOTS 7, BLOCK 76

BOROUGH OF SPRING LAKE HEIGHTS

MONMOUTH COUNTY, NEW JERSEY

PROJECT NO. 15-6255

JANUARY 21, 2015

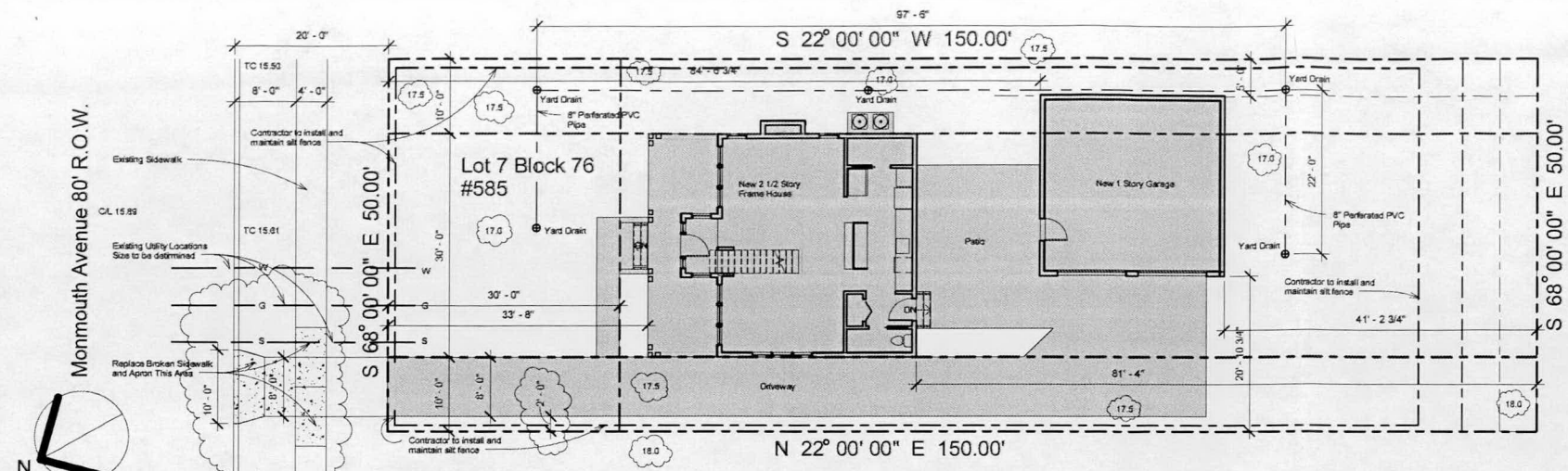
This stormwater statement has been prepared to address the design for the construction of a single family residence at the above referenced location. The plan has been prepared to channel stormwater to discharge overland to the adjacent roadway and to the rear of the property in accordance with existing drainage patterns. The plan is not part of a larger subdivision.

Stormwater will be channeled to underground recharge yard drains which provide in excess of 1cf storage per 12 sf of proposed roof area. Proposed ground slopes will be well within required limits and the property will be seeded and mulched for stability.

Based on this I believe that the plan has been prepared in accordance with the appropriate standards and will not adversely effect adjacent properties or the drainage basin to which it contributes runoff.

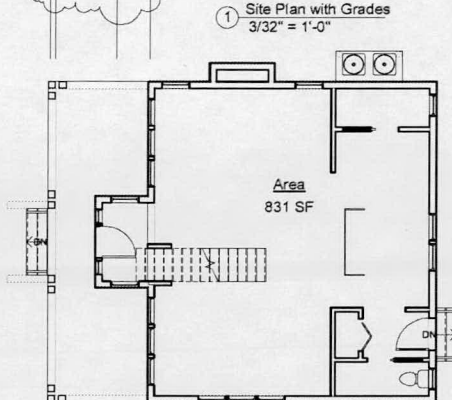


Robert C. Burdick P.E. NJPE 30929

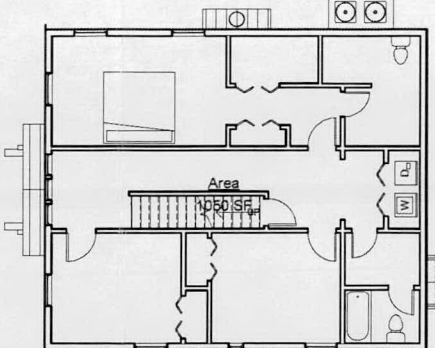


Zoning Data R-5 Single Family Residential

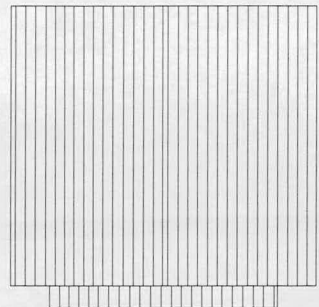
Corner Lot	Required	Provided
Min. Lot Area	7,500 sqft	7,500 sqft
Min. Lot Width	50'	50'
Min. Lot Depth	150'	150' Existing
Front Yard Setback	30'	30'
Side Yard Setback	10' each	10' each
Rear Yard Setback	10'	81'-4"
Accessory Front	30'	84'-6 3/4"
Accessory Side Yard	5'	5 feet and 20'-2 3/4"
Accessory Rear Yard	5'	41'-2 3/4"
Percent Bldg. Coverage	25%	1846.26 sq. ft. < 1875.00 sq. ft. Allowed
Percent of Lot Coverage	50%	3324.94 sq. ft. < 3750.00 sq. ft. Allowed
Max. Number of Stories	2 1/2	2 1/2
Max. Building Height	32'	32'
Accessory Height	15'	15'



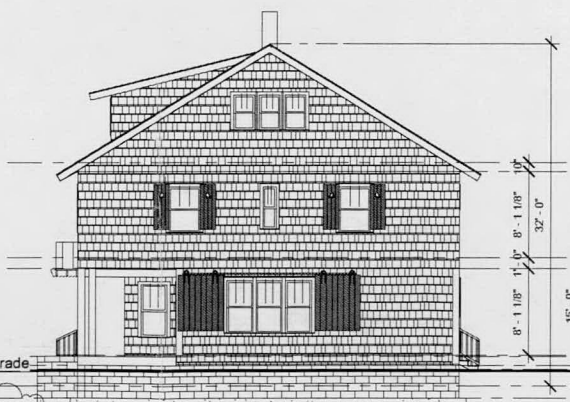
3 First Floor
1/8" = 1'-0"



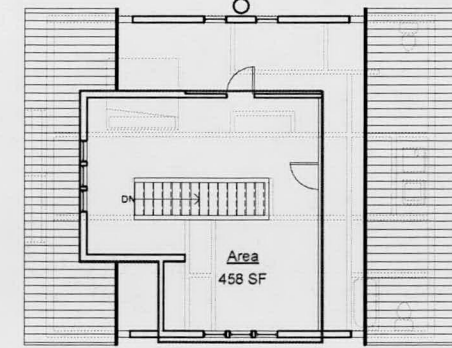
5 Half Story
1/8" = 1'-0"



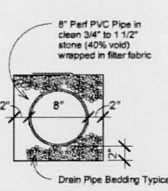
6 Second Floor
1/8" = 1'-0"



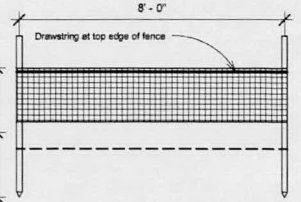
6 Right Side Elevation Building Heights
1/8" = 1'-0"



7 Yard Inlet Detail
1" = 1'-0"



8 Silt Fence Detail
3/8" = 1'-0"



10 Driveway Apron Detail
3/16" = 1'-0"

Seeding Notes

- All areas disturbed by construction shall be fine graded and seeded. Hard Fescue @ 2.7 lbs. per 1000 sq. ft. Creeping Fescue @ 0.7 lbs. per 1000 sq. ft. Perennial Ryegrass @ 0.25 lbs. per 1000 sq. ft.
- Temporary seeding to be maintained until disturbed areas are stabilized with permanent seeding. If any serious erosion problems occur, the eroded areas will be repaired and stabilized with mulch as indicated in note #3.
- Mulch shall be small grain straw or salt hay applied at a rate of 1.5 to 2.0 tons per acre spread uniformly at 70-90 lbs. per 1000 sq. ft. anchored with scotch discharge or rotary hoe.
- Fertilizer for the establishment of temporary and permanent vegetative cover shall be 10-20-20 applied at a rate of 14 lbs. per 1000 sq. ft. or as directed by soil tests. Limestone for temporary seeding shall be applied at a rate of 80 lbs. per 1000 sq. ft. Limestone for permanent seeding shall be applied at a rate of 135 lbs. per 1000 sq. ft.
- If the season prevents the establishment of temporary or permanent seeding, exposed areas are to be stabilized with mulch as indicated in #3.

9 Seeding Notes
1/4" = 1'-0"

Date: December 26, 2014, Revised Per TC Elevation
Date: December 13, 2014, Per Zoning Review
Revisions

Robert G Dooley Jr Architect
274 Lenox Avenue
Long Branch, NJ 07740

Phone 732-272-7794
email rdooley274@comcast.net

Project
New Residence For:
Nicholas and Emily Bilotti
585 Monmouth Avenue,
Spring Lake Heights, NJ
Block 76 Lot 7

Zoning Data and Site Plan

Seal & Signature	Date	11-14-14
	Project number	1408
	Drawn by	RGD
	Checked by	RGD
	A100	
Robert G Dooley Jr NY Lic. 020740 NJ Lic. 013035		A100

Joe May

From: Joe May <jmay@springlakehts.com>
Sent: Tuesday, December 30, 2014 4:12 PM
To: brielle4@verizon.net
Subject: FW: Spring Lake Heights -

From: Joe May [mailto:jmay@springlakehts.com]
Sent: Tuesday, November 18, 2014 4:55 PM
To: 'rdooley274@comcast.net'
Subject: Spring Lake Heights -

Robert,

Please review the attached information and submit a revised Proposed site plan addressing the following items:

- Revised driveway, include apron and details of same
- Show sidewalk (all cracked or damaged sidewalk must be replaced)
- Proposed Grading Plan
- Proposed utilities and details of same
- Stormwater Management plan - (recharge piping is typically proposed – 1-1/4" /SF of roof area) not including Void in Stone

Please send me PDFS to facilitate a more timely review

Thanks
Joe

22-507 CURBS, CURB CUTS, DRIVEWAYS, DRIVEWAY APRONS AND APRONS.

Concrete curb shall be installed along every street within the development and along the full front and side of all lots abutting existing roadways where curbing does not exist.

- a. Curb Cut and Driveway Apron Standards. Concrete curb cuts and concrete aprons shall be one (1) cut per lot and have a minimum width of ten (10') feet and a maximum width of sixteen (16') feet. The full height curb and the dropped curb (driveway apron) and apron shall meet the standard specifications of the Borough.
- b. Curb Standards. Curbs shall be set in accordance with approved lines and grades and radial curbs shall be formed in an arc segment, on a smooth curve. Chord segments are prohibited. Standard curb sections shall be ten (10') feet in length with preformed expansion joint material on not more than twenty (20') foot centers. The exposed curb face on local roads shall be six (6") inches and on County and State roads shall be the dimension set by the County or State Engineer. Concrete for curbing shall be made with air-entraining cement, Class B, having a compressive strength in twenty-eight (28) days of four thousand (4,000) pounds per square inch, or better. Where designated by the approving authority, ramps for bicycles or wheelchairs shall be provided in accordance with the Design Standards for Curb Ramps for the Physically Handicapped, prepared by the New Jersey Department of Transportation.

- c. *Driveway Standards.* There shall be a minimum two (2') foot side and rear yard setback for a driveway in a residential zone and a minimum three (3') foot side and rear yard setback for driveways in a business or commercial zone. Driveways in residential zones shall have a maximum width of twenty (20') feet in the front of the house. A zoning permit is required for new or replacement driveways.
- d. *Sidewalk Standards.* Any new construction or replacement of an existing principal structure shall require the installation of sidewalks along the full front and side of all lots abutting existing roadways where sidewalks do not exist. The configuration of required curb and sidewalk shall be as follows: curb abutting existing roadway, two (2') feet of grass and a four (4') foot sidewalk. Any deviation from the preceding will require a variance.
(Ord. #6-1989, § 507; Ord. #21-2005, § 1)

22-508.6 Grading.

Blocks and lots shall be graded to secure proper drainage away from all buildings, to prevent the collection of stormwater in pools and to avoid the concentration of stormwater from each lot to adjacent lots. (Ord. #6-1989, § 508.5)

22-508 DRAINAGE.

22-508.1 Stormwater Management Plan.

All developments shall have a stormwater management plan. Any new system shall be adequate to handle all water which originates within the development and beyond. No water shall be diverted as to overload existing systems or create flooding or the need for additional drainage structures on other lands without provisions being made to handle these conditions, including off-tract improvements. Piping all stormwater may not be required, but alternate, equivalent methods may be approved considering capacity, erosion, safety, maintenance, aesthetics and the ability of an alternate system to provide drainage. (Ord. #6-1989, § 508)

Sincerely,

Joe

Joseph C. May, P.E.
Public Works Manager
Borough Engineer
Zoning Officer
Borough of Spring Lake Heights

Joe May

From: Joe May <jmay@springlakehts.com>
Sent: Monday, December 29, 2014 4:27 PM
To: 'Robert Dooley'
Subject: RE: 565 Monmouth Avenue, Lot 7, Block76

Properties must not allow water runoff to adjacent sites this must be incorporated into a proposed site plan

calculations must be provided for the storm water management. I would recommend that you contact an engineer to assist you.

Ray Carpenter does a lot of site plans and also is familiar with these requirements

From: Robert Dooley [<mailto:rgdarchitect@gmail.com>]
Sent: Friday, December 26, 2014 4:13 PM
To: jmay@springlakehts.com
Subject: Re: 565 Monmouth Avenue, Lot 7, Block76

Mr. May, attached is a revised site/plot plan sheet A101. Please substitute this with the previous sheet sent on December 19th. I missed adjusting the building height using the Top of Curb Vs. the Crown of Road as you directed. The house has be dropped approximately .28"+ that brings it into compliance. The 5 items identified in the previous email still apply.

Sir, at what point do you wish me submit signed and sealed plans?

Thank you,
Robert Dooley RA

On Fri, Dec 19, 2014 at 3:53 PM, Robert Dooley <rgdarchitect@gmail.com> wrote:
Mr. May, attached is a single sheet A101 PDF with revisions per your review.

- 1) Revised Driveway, including apron
- 2) Sidewalk shown (there are cracked areas on apron and adjacent walk) replacement is noted.
- 3) Spot grading shown, existing and proposed very little change.
- 4) Utilities locations are shown per field mark-out.
- 5) Storm water management shown.

Note this drawing will also go to Freehold Soil with area of disturbance not shown.

Note also sewer connections not shown will go on Plumbing Riser Diagram unless you wish to see them included on attached.

Robert Dooley RA

Joe May

From: Robert Dooley <rgdarchitect@gmail.com>
Sent: Friday, December 26, 2014 4:13 PM
To: jmay@springlakehts.com
Subject: Re: 565 Monmouth Avenue, Lot 7, Block76
Attachments: Spring Lake No Band Boards 12-26-14 - Sheet - A100 - Zoning Data and Site Plan.pdf

Mr. May, attached is a revised site/plot plan sheet A101. Please substitute this with the previous sheet sent on December 19th. I missed adjusting the building height using the Top of Curb Vs. the Crown of Road as you directed. The house has be dropped approximately .28"+ that brings it into compliance. The 5 items identified in the previous email still apply.

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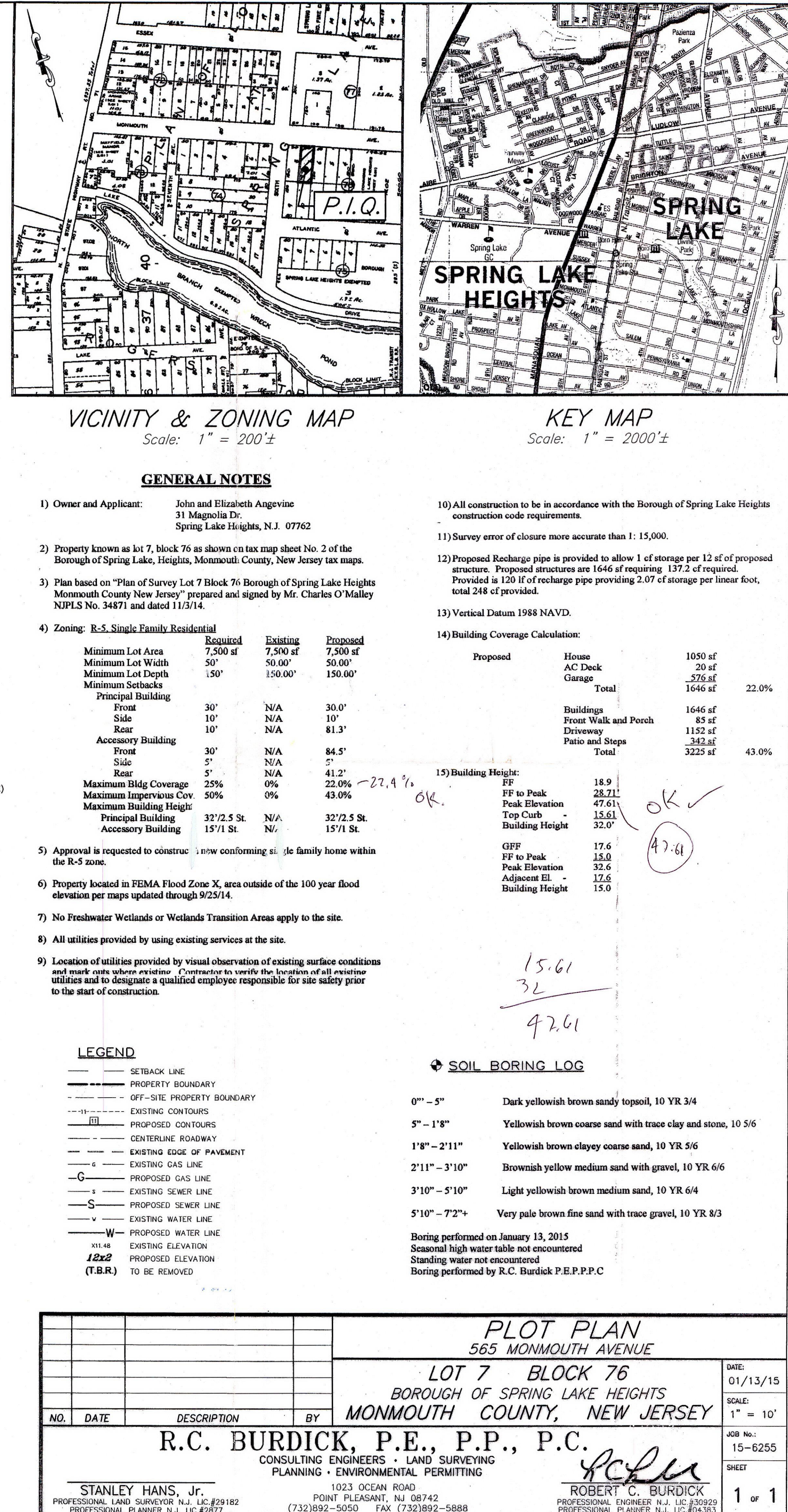
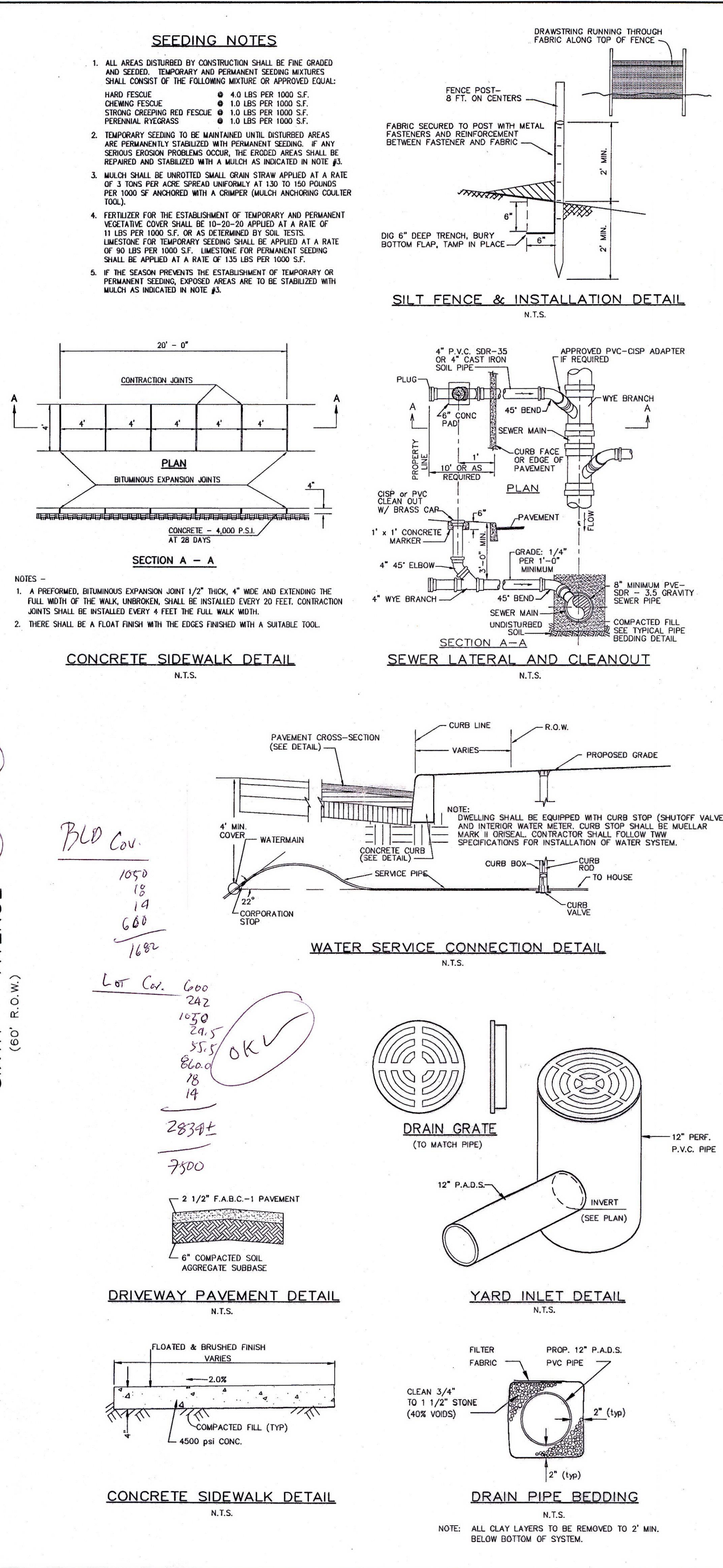
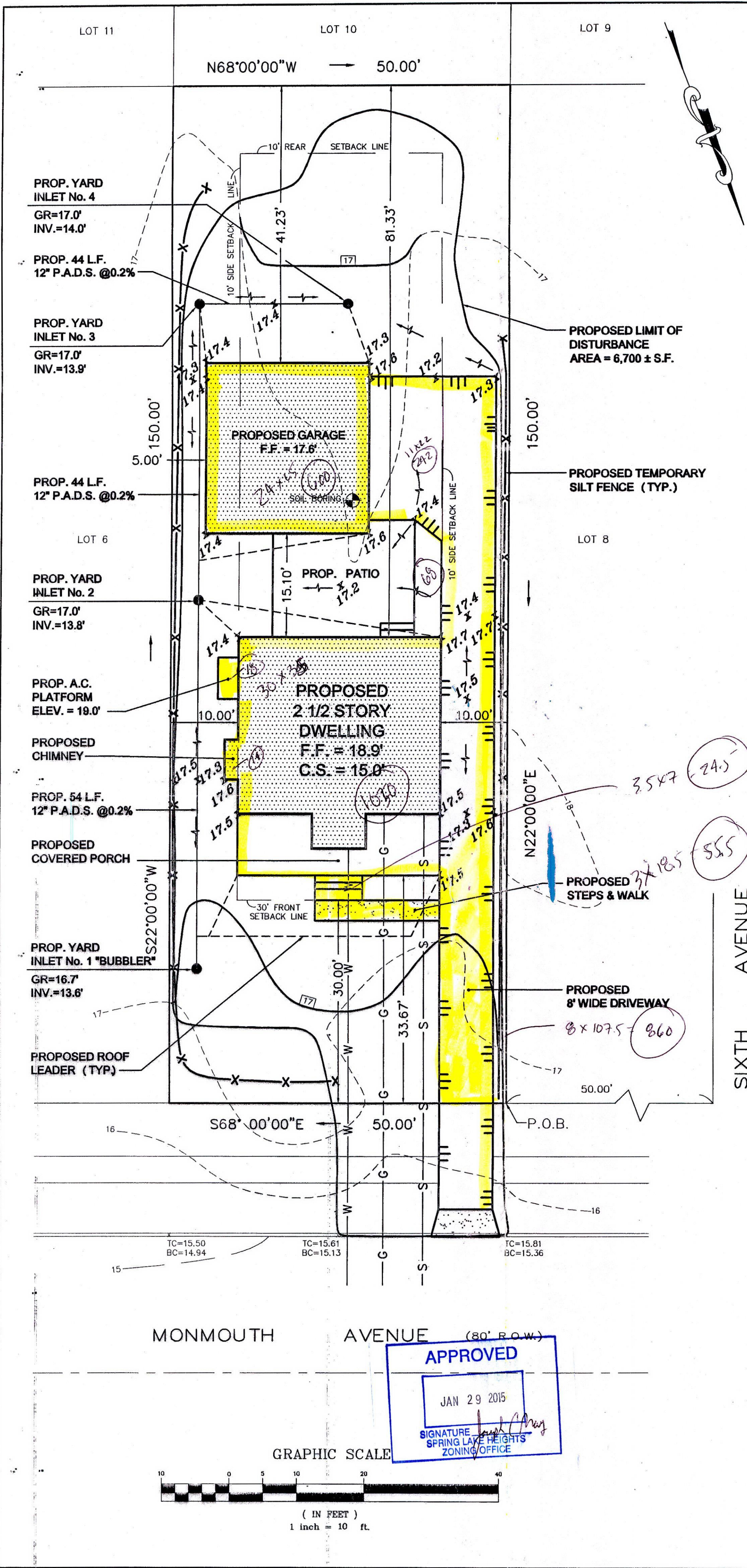
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Note also sewer connections not shown will go on Plumbing Riser Diagram unless you wish to see them included on attached.

Robert Dooley RA

Brielle 4@verizon.net
NEED
info
not
ACCEPTABLE
12/29/14



GENERAL NOTES

- Owner and Applicant: John and Elizabeth Angevine
31 Magnolia Dr.
Spring Lake Heights, N.J. 07762
- Property known as lot 7, block 76 as shown on tax map sheet No. 2 of the Borough of Spring Lake, Heights, Monmouth County, New Jersey tax maps.
- Plan based on "Plan of Survey Lot 7 Block 76 Borough of Spring Lake Heights Monmouth County New Jersey" prepared and signed by Mr. Charles O'Malley NJPLS No. 34871 and dated 11/3/14.
- Zoning: R-5, Single Family Residential

	Required	Existing	Proposed
Minimum Lot Area	7,500 sf	7,500 sf	7,500 sf
Minimum Lot Width	50'	50.00'	50.00'
Minimum Lot Depth	150'	150.00'	150.00'
Minimum Setbacks			
Principal Building			
Front	30'	N/A	30.0'
Side	10'	N/A	10'
Rear	10'	N/A	81.3'
Accessory Building			
Front	30'	N/A	84.5'
Side	5'	N/A	5'
Rear	5'	N/A	41.2'
Maximum Bldg Coverage	25%	0%	22.0% - 22.4%
Maximum Impervious Cov.	50%	0%	43.0%
Maximum Building Height			
Principal Building	32'/2.5 St.	N/A	32'/2.5 St.
Accessory Building	15'/1 St.	N/A	15'/1 St.

- Approval is requested to construct a new conforming single family home within the R-5 zone.
- Property located in FEMA Flood Zone X₁ area outside of the 100 year flood elevation per maps updated through 9/25/14.
- No Freshwater Wetlands or Wetlands Transition Areas apply to the site.
- All utilities provided by using existing services at the site.
- Location of utilities provided by visual observation of existing surface conditions and mark notes as existing. Contractor to verify the location of all existing utilities and to designate a qualified employee responsible for site safety prior to the start of construction.

LEGEND

---	SETBACK LINE
---	PROPERTY BOUNDARY
---	OFF-SITE PROPERTY BOUNDARY
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	CENTERLINE ROADWAY
---	EXISTING EDGE OF PAVEMENT
---	EXISTING GAS LINE
-G-	PROPOSED GAS LINE
-S-	EXISTING SEWER LINE
-S-	PROPOSED SEWER LINE
-V-	EXISTING WATER LINE
-W-	PROPOSED WATER LINE
X11.48	EXISTING ELEVATION
12x2	PROPOSED ELEVATION
(T.B.R.)	TO BE REMOVED

- All construction to be in accordance with the Borough of Spring Lake Heights construction code requirements.
- Survey error of closure more accurate than 1: 15,000.
- Proposed Recharge pipe is provided to allow 1 cf of storage per 12 sf of proposed structure. Proposed structures are 1646 sf requiring 137.2 cf of required. Provided is 120 lf of recharge pipe providing 2.07 cf of storage per linear foot, total 248 cf provided.
- Vertical Datum 1988 NAVD.

14) Building Coverage Calculation:

Proposed	House	AC Deck	Garage	Total	