



Township of Roxbury
OPEN PUBLIC RECORDS ACT REQUEST FORM
 1715 Route 46, Ledgewood, NJ 07852
 Phone: (973) 448-2000 & Fax: (973) 448-2111
 rheada@roxburynj.us
 Amy E. Rhead, RMC



Important Notice

The last page of this form contains important information related to your rights concerning government records. Please read it carefully.

Requestor Information – Please Print

First Name _____ MI _____ Last Name _____

E-mail Address _____

Mailing Address _____

City _____ State _____ Zip _____

Telephone _____ FAX _____

Preferred Delivery: Pick Up _____ US Mail _____ On-Site Inspect _____ Fax _____ E-mail _____

Under penalty of N.J.S.A. 2C:28-3, I certify that

1. I ☐ **HAVE** / ☐ **HAVE NOT** been convicted of any indictable offense under the laws of New Jersey, any other state, or the United States;
2. I, or another person, ☐ **WILL** / ☐ **WILL NOT** use the requested government records for a commercial purpose;
3. I ☐ **AM** / ☐ **AM NOT** seeking records in connection with a legal proceeding.

Signature _____

Date _____

Payment Information

Maximum Authorization Cost \$ _____

Select Payment Method

Cash Check Money Order

Fees: Letter size pages - \$0.05 per page
 Legal size pages - \$0.07 per page
 Other materials (CD, DVD, etc) – actual cost of material

Delivery: Delivery / postage fees additional depending upon delivery type.

Extras: Special service charge dependent upon request.

Record Request Information: Please be as specific as possible in describing the records being requested. Also, please note that your preferred method of delivery will only be accommodated if the custodian has the technological means and the integrity of the records will not be jeopardized by such method of delivery.

Note: If you confirmed above that the records sought are in connection with a legal proceeding, identification of that proceeding is required below.

Records requested:

1. Open and closed permits for work at the property.
2. Documents regarding any variance pending, granted or denied for the property.
3. Complaints filed by the municipality and other citations for code or other violations at the property.
4. Any pending or finalized assessments for the property.
5. Tax assessors reports or memos regarding the property.
6. Any deed, easement or other restriction of record for the property.
7. Inspections and records for water wells, septic, cesspool and underground fuel tanks for the property and/or any environmental issues.

My preferred delivery method for response(s) to this request is by E-mail as attachments. Please confirm you have received this request. If you are not the custodian of records, please forward my request to that person and provide their email address to me for future reference.

Yours faithfully,
 Migdalia Zamora

AGENCY USE ONLY

AGENCY USE ONLY

AGENCY USE ONLY

OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5) COMPLETED/CLOSED

1. Construction
2. Engineering
3. Fire Prevention
4. Health
5. Planning/Zoning
6. Tax Assessor

COMPLETED

The above-referenced department(s) utilized the criteria provided in this OPRA request to search their available files in an effort to identify responsive records. Attached please find the response(s) from each department after said search(es) was/were completed.

DEPOSITS

The custodian may require a deposit against costs for reproducing documents whenever the custodian anticipates that the documents requested will cost in excess of \$5 to reproduce. N.J.S.A. 47:1A-5(f).

Where a special service charge is warranted under OPRA, that amount will be communicated to you as required under the statute. You have the opportunity to review and object to the charge prior to it being incurred. If, however, you approve of the fact and amount of the special service charge, you may be required to pay a deposit or pay in full prior to reproduction of the documents.

YOUR REQUEST FOR RECORDS IS DENIED FOR THE FOLLOWING REASON(S):

(To be completed by the Custodian of Records – check the box of the numbered exemption(s) as they apply to the records requested. If multiple records are requested, be specific as to which exemption(s) apply to each record. **Response is due to requestor as soon as possible, but no later than seven (7) or fourteen (14) business days. See page 5 for additional response details**)

N.J.S.A. 47:1A-1.1

- ☐ Inter-agency or intra-agency advisory, consultative or deliberative material
- ☐ Legislative records
- ☐ Law enforcement records:
 - ☐ Medical examiner photos
 - ☐ Criminal investigatory records (however, N.J.S.A. 47:1A-3(b) lists specific criminal investigatory information which must be disclosed)
 - ☐ Victims' records and/or OPRA requests submitted by victims seeking their own records
- ☐ Personal firearms records or personal identifying information connected to any license authorizing hunting with a firearm.
- ☐ Trade secrets and proprietary commercial or financial information
- ☐ Any record within the attorney-client privilege
- ☐ Administrative or technical information regarding computer hardware, tablets, telephones, electronic computing devices, software applications, and networks or devices operation them which, if disclosed would jeopardize computer security
- ☐ Emergency or security information or procedures for any buildings or facility which, if disclosed, would jeopardize security of the building or facility or persons therein
- ☐ Security measures and surveillance techniques which, if disclosed, would create a risk to the safety or persons, property, electronic data or software
- ☐ Security alarm system activity and access reports, including video footage the disclosure of which does not compromise the integrity of the security system
- ☐ Information which, if disclosed, would give an advantage to competitors or bidders including detailed or itemized cost estimates prior to bid opening
- ☐ Information generated by or on behalf of public employers or public employees in connection with:
 - ☐ Any sexual harassment complaint filed with a public employer
 - ☐ Any grievance filed by or against an employee
 - ☐ Collective negotiations documents and statements of strategy or negotiating
- ☐ Information that is a communication between a public agency and its insurance carrier, administrative service organization or risk management office
- ☐ Information that is to be kept confidential pursuant to court order
- ☐ Certificate of honorable discharge issued by the United States government (commonly Form DD-214 or NGB-22) filed with a public agency
- ☐ Oath of allegiance, oath of office, or other affirmation; except that full name, title, and oath date.
- ☒ **Privacy Information:**
 - ☐ Social security numbers
 - ☐ Credit card or debit card numbers
 - ☐ Bank account information
 - ☐ Month and day of birth
 - ☒ **Personal e-mail address** required by a public agency for government applications, services, or programs
 - ☒ **Telephone numbers**
 - ☐ Drivers' license numbers
 - ☐ Primary or secondary addresses for covered persons or immediate family members per N.J.S.A. 47:1B-1 (Daniel's Law)
- ☐ Portion of any document disclosing personal information of any person provided to a public agency for sole purpose of receiving official notifications
- ☐ Lists (including personal information) of persons identifying as in need of special assistance in the event of an emergency maintained by a municipality or county
- ☐ Portion of any record disclosing the personal identifying information of a person under 18 years old
- ☐ Personal identifying information contained on domestic animal permits, license, and registrations.
- ☐ Metadata
- ☐ New Jersey Firemen's Association financial relief applications
- ☐ Owner and maintenance manuals
- ☐ HIPAA information and indecent or graphic images of a person's intimate parts as defined in N.J.S.A. 47:1A-5.2
- ☐ Certain records of higher education institutions:
 - ☐ Research records
 - ☐ Questions or scores for exam for employment or academics
 - ☐ Charitable contribution information
 - ☐ Rare book collections gifted for limited access
 - ☐ Admission applications

- ☐ Student records, grievances or disciplinary proceedings revealing a students' identification
- ☐ Biotechnology trade secrets **N.J.S.A. 47:1A-1.2**
- ☐ Convicts requesting their victims' records **N.J.S.A. 47:1A-2.2**
- ☐ Ongoing investigations of non-law enforcement agencies (must prove disclosure is inimical to the public interest) **N.J.S.A. 47:1A-3(a)**
- ☐ Public defender records **N.J.S.A. 47:1A-5(k)**
- ☐ Upholds exemptions contained in other State or federal statutes and regulations, Executive Orders, Rules of Court, and privileges created by State Constitution, statute, court rule or judicial case law **N.J.S.A. 47:1A-9**
- ☐ Personnel and pension records (however, the following information must be disclosed:
 - An individual's name, title, position, salary, payroll record, length of service, date of separation and the reason for such separation, and the amount and type of any pension received
 - When required to be disclosed by another law, when disclosure is essential to the performance of official duties of a person duly authorized by this State or the US, or when authorized by an individual in interest
 - Data contained in information which disclose conformity with specific experiential, educational or medical qualifications required for government employment or for receipt of a public pension, but not including any detailed medical or psychological information **N.J.S.A. 47:1A-10**

N.J.S.A. 47:1A-1

- ☐ "a public agency has a responsibility and an obligation to safeguard from public access a citizen's personal information with which it has been entrusted when disclosure thereof would violate the citizen's reasonable expectation of privacy."

Burnett v. County of Bergen, 198 N.J. 408 (2009). Without ambiguity, the court held that the privacy provision "is neither a preface nor a preamble." Rather, "the very language expressed in the privacy clause reveals its substantive nature; it does not offer reasons why OPRA was adopted, as preambles typically do; instead, it focuses on the law's implementation." "Specifically, it imposes an obligation on public agencies to protect against disclosure of personal information which would run contrary to reasonable privacy interests."

Executive Order No. 21 (McGreevey 2002)

- ☐ Records where inspection, examination or copying would substantially interfere with the State's ability to protect and defend the State and its citizens against acts of sabotage or terrorism, or which, if disclosed, would materially increase the risk or consequences of potential acts of sabotage or terrorism.
- ☐ Records exempted from disclosure by State agencies' proposed rules.

Executive Order No. 26 (McGreevey 2002)

- ☐ Certain records maintained by the Office of the Governor
- ☐ Resumes, applications for employment or other information concerning job applicants while a recruitment search is ongoing
- ☐ Records of complaints and investigations undertaken pursuant to the Model Procedures for Internal Complaints Alleging Discrimination, Harassment or Hostile Environments
- ☐ Information relating to medical, psychiatric or psychological history, diagnosis, treatment or evaluation
- ☐ Information in a personal income or other tax return
- ☐ Information describing a natural person's finances, income, assets, liabilities, net worth, bank balances, financial history or activities, or creditworthiness, except as otherwise required by law to be disclosed
- ☐ Test questions, scoring keys and other examination data pertaining to the administration of an examination for public employment or licensing
- ☐ Records in the possession of another department (including NJ Office of Information Technology or State Archives) when those records are made confidential by regulation or EO 9.

Other Exemption(s) contained in a State statute, resolution of either or both House of the Legislature, regulation, Executive Order, Rules of Court, any federal law, federal regulation or federal order pursuant to N.J.S.A. 47:1A-9(a).

(Please provide detailed information regarding the exemption from disclosure for which you are relying to deny access to government records. If multiple records are requested, be specific as to which exemption(s) apply to each record.)

REQUEST FOR RECORDS UNDER THE COMMON LAW

If, in addition to requesting records under OPRA, you are also requesting the government records under the common law, please check the box below.

A public record under the common law is one required by law to be kept, or necessary to be kept in the discharge of a duty imposed by law, or directed by law to serve as a memorial and evidence of something written, said, or done, or a written memorial made by a public officer authorized to perform that function, or a writing filed in a public office. The elements essential to constitute a public record are that it be a written memorial, that it be made by a public officer, and that the officer be authorized by law to make it.

☐ Yes, I am also requesting the documents under common law.

If the information requested is a "public record" under common law and the requestor has a legally recognized interest in the subject matter contained in the material, then the material must be disclosed if the individual's right of access outweighs the State's interest in preventing disclosure.

Please set forth your interest in the subject matter contained in the requested material:

Note that any challenge to a denial of a request for records under the common law cannot be made to the Government Records Council, as the Government Records Council only has jurisdiction to adjudicate challenges to denials of OPRA requests. A challenge to the denial of access under the common law can be made by filing an action in Superior Court.

1. All "government records" as defined in N.J.S.A. 47:1A-1.1 are subject to public access under the Open Public Records Act ("OPRA"), unless specifically exempt.
2. A request for access to a government record under OPRA must be in writing, hand-delivered, mailed, transmitted electronically, or otherwise conveyed to the appropriate custodian. N.J.S.A. 47:1A-5(g). In accordance with OPRA, custodians will generally have seven (7) business days to respond, unless:
 - The requestor seeks "immediate access" records as outlined in N.J.S.A. 47:1A-5(e); where the custodian must respond "immediately" disclosing responsive records not to exceed twenty-four (24) months old.
 - The requestor seeks information required to be disclosed by N.J.S.A. 47:1A-3(b), where the custodian must respond disclosing the information within twenty-four (24) hours or as soon as practical;
 - The requestor is seeking records for a "commercial purpose" as defined in N.J.S.A. 47:1A-1.1, where the response time frame is fourteen (14) business days, but the custodian shall notify the requestor of the additional time within seven (7) business days. N.J.S.A. 47:1A-5(i). However, the response time frame can be reduced to seven (7) business days upon payment of no more than two times the cost to produce the responsive records.
 - The requestor is seeking records requiring review for compliance with "Daniel's Law" (N.J.S.A. 47:1B-1, et seq.), where the response time frame is fourteen (14) business days, but the custodian shall notify the requestor of the additional time within seven (7) business days. N.J.S.A. 47:1A-5(i).
 - Fire district employing one or fewer full-time employees serving as custodians may add seven (7) business days to the seven (7) or fourteen (14) business day response time frames.

The applicable response time does not commence until the custodian receives the request form. N.J.S.A. 47:1A-5(h). If you submit the request form to any other officer or employee, the recipient must either forward the request to the appropriate custodian or direct you to the appropriate custodian. Id.

3. Requestors are not required to use this OPRA request form; however, a written equivalent not containing the form requirements of N.J.S.A. 47:1A-5(f) and N.J.S.A. 47:1A-5(g) may be denied by a custodian.
4. Requestors may submit requests anonymously. A request submitted anonymously shall not be considered incomplete. N.J.S.A. 47:1A-5(f). If you elect not to identify yourself accurately or provide an accurate address, e-mail address, or telephone number, the custodian is not required to respond until you reappear before the custodian seeking a response to the original request. Further, anonymous requestors are prohibited from filing a complaint with either the GRC or the Courts. N.J.S.A. 47:1A-6.
5. The fees for duplication of a "government record" in printed form are listed on page 1 of this form. The custodian will notify you of any special service charges or other additional charges authorized by State law or regulation before processing your request. Payment shall be made by cash, check or money order payable to the responding agency.
6. You may be charged a prepayment or deposit when a request for copies exceeds \$5.00. The custodian will contact you and advise you of any deposit requirements. You agree to pay the balance due upon delivery of the records.
7. Under OPRA, a custodian must deny access to a person who has been convicted of an indictable offense in New Jersey, any other state, or the United States, and who is seeking government records containing personal information pertaining to the person's victim or the victim's family. N.J.S.A. 47:1A-2.2. This includes anonymous requests for said information.
8. By law, the responding agency must notify you that it grants or denies a request for access to government records within applicable response time frame after the custodian receives the request. If the record requested is in storage, the custodian will advise you within seven (7) or fourteen (14) business days after receipt of the request when the record can be made available and the estimated cost for reproduction within no more than twenty-one (21) business days from date of notification. N.J.S.A. 47:1A-5(i).
9. You may be denied access to a government record if your request would substantially disrupt agency operations and the custodian is unable to reach a reasonable solution with you. N.J.S.A. 47:1A-5(g).
10. If the custodian is unable to comply with your request for access to a government record, they will indicate the specific bases for denial on the request form or other written correspondence and send it to you.
11. Except as otherwise provided by law or by agreement with the requester, if the custodian fails to respond to you in writing within seven (7) or fourteen (14) business days of receiving a request, the failure to respond is a deemed denial of your request. N.J.S.A. 47:1A-5(g); N.J.S.A. 47:1A-5(i).
12. If your request for access to a government record has been denied or unfilled within the seven (7) or fourteen (14) business days required by law, you have a right to challenge the decision by the responding agency to deny access. At your option, you may either: 1) institute a proceeding in the Superior Court of New Jersey; or 2) file a complaint with the Government Records Council ("GRC") by completing the Denial of Access Complaint Form. All questions regarding complaints filed in Superior Court should be directed to the Court Clerk in your County. Questions regarding the GRC's Denial of Access Complaint process can be directed to the GRC toll-free telephone at 866-850-0511, by mail at PO Box 819, Trenton, NJ, 08625, by e-mail at Government.Records@dca.nj.gov, or at their web site at www.state.nj.us/grc. The Council can answer general inquiries about OPRA.
13. Information provided on this form may be subject to disclosure under the Open Public Records Act.

From: Migdalia Zamora <migdalia.zamora@roxbury-nj.gov>
Sent: Sunday, May 11, 2025 9:39 PM
To: Amy Rhead
Subject: OPRA request - OPRA - 55 Mooney Rd

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Roxbury Township,

Please accept this electronic request for public records made under OPRA and the common law right of access. I am not required to fill out an official form or use a particular software platform to submit my request per NJSA 47:1A-6(f), which states that an email from a requestor including all of the information required on the adopted form shall suffice in place of a completed form as a valid government record request.

I HAVE NOT been convicted of any indictable offense under the laws of New Jersey, any other state, or the United States.

I WILL NOT use the requested government records for a commercial purpose.

I AM NOT seeking records in connection with a legal proceeding.

Records requested:

1. Open and closed permits for work at the property.
2. Documents regarding any variance pending, granted or denied for the property.
3. Complaints filed by the municipality and other citations for code or other violations at the property.
4. Any pending or finalized assessments for the property.
5. Tax assessors reports or memos regarding the property.
6. Any deed, easement or other restriction of record for the property.

7. Inspections and records for water wells, septic, cesspool and underground fuel tanks for the property and/or any environmental issues.

My preferred delivery method for response(s) to this request is by E-mail as attachments. Please confirm you have received this request. If you are not the custodian of records, please forward my request to that person and provide their email address to me for future reference.

Yours faithfully,

Migdalia Zamora

Please deliver records electronically via email to the below UNIQUE address for all replies to this request:

opra+request-75973-d72f8e1f@requests.opramachine.com

Is xxxxxx@xxxxxxxxxx.xx the wrong address for OPRA requests to Roxbury Township? If so, please contact us using this form:

https://opramachine.com/change_request/new?body=roxbury_township

Disclaimer: This message and any reply that you make will be published on the internet. Our privacy and copyright policies:

<https://opramachine.com/help/officers>

View this OPRA request & responses online:

https://opramachine.com/request/opra_55_mooney_rd

Please note that in some cases publication of requests and responses will be delayed.

If you find this service useful as an OPRA custodian, please ask your web manager to link to us from your organisation's website.

"OPRAmachine's mission is to give people easy and affordable access to New Jersey public records.

For more information, contact us at: (732) 707-1628 or PO Box 3180, New Brunswick, NJ 08903."

Construction

From: Diane Crossan
Sent: Wednesday, May 14, 2025 12:15 PM
To: Amy Rhead
Cc: Michele Roddy
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)



20250512-002.pdf

Here is the response to the above referenced OPRA.
Please redact homeowners phone number.

Diane Crossan

Administrative Assistant
Construction Department
Township of Roxbury
1715 Route 46
Ledgewood NJ 07852
973-448-2011



Construction

Property Summary

[Portal](#) | [Refresh](#) | [Open All](#)
[Close All](#)

Owner: ZAMORA, PEDRO A JR
 Location: 55 MOONEY RD
 Block: 8201
 Lot: 5
 Lead Parcel: Yes
 Qualifier:
 Zoning: R-1

▲ Construction...

Applications... [Shorten](#)

	<u>Permit Issue Date</u>	<u>Control Number</u>	<u>Permit Number</u>	<u>Work Type</u>	<u>Subcodes</u>	<u>Status</u>	<u>Close Date</u>	<u>Certificates</u>	<u>Total Cost</u>	<u>Agent</u>
	10/1/2024	C-24-01169	24-1127	Alteration	E	CA and Close Date Issued	5/14/2025	CA	\$1,200	KJB ELECTRIC LLC
	ELECTRIC WIRING FOR SEPTIC									
	8/26/2020	C-20-00952	20-0716	Alteration	P	CA and Close Date Issued	10/7/2020	CA	\$15,000	EMIL DIPALMA EXCAVATING
	WATER SERVICE CONNECTION									
	11/8/2018	C-18-01438	18-1244	Alteration	P	CA and Close Date Issued	12/4/2018	CA	\$500	ZAMORA, PEDRO A JR
	INSTALL GAS PIPE & PROPANE TANK FOR STOVE/RANGE USE									
	9/27/2017	C-17-01242	17-1180	Alteration	E	CA and Close Date Issued	10/3/2024	CA	\$500	ZAMORA, PEDRO A JR
	ELECTRICAL ALTERATIONS									
	7/23/2015	C-15-00912	15-0874	Alteration	F	CA and Close Date Issued	3/17/2016	CA	\$1,600	HEARTH & HOME
	INSTALL WOOD BURNING STOVE & VENTING SYSTEM									
	8/12/2014	C-14-00984	14-0570+A	Alteration	E	CA and Close Date Issued	7/12/2017	CA	\$1,000	ZAMORA, PEDRO A JR
	EXPAND GARAGE & ADD 2ND GARAGE-ELECTRICAL UPDATE									
	6/5/2014	C-14-00349	14-0570	Addition	B E	CA and Close Date Issued	9/8/2017	CA	\$41,000	ZAMORA, PEDRO A JR
	EXPAND GARAGE & ADD 2ND GARAGE									
	10/22/2012	C-12-01294	12-1119	Alteration	F	CA and Close Date Issued	12/19/2012	CA	\$2,375	HEARTH & HOME

CHIMNEY LINER & INSTALL WOOD BURNING INSERT

 11/4/2010 C-10-01400 10-1226 Alteration B CA and Close Date Issued 7/12/2017 [CA](#) \$5,000 ZAMORA, PEDRO A JR

SIDING

 4/9/2009 C-09-00300 09-0227+A Alteration B P E CA and Close Date Issued 9/8/2017 [CA](#) \$4,900 Pedro A. Zamora Jr.

ADD BATHROOM IN BASEMENT, RENOVATE KITCHEN, DINING ROOM AND WALL, WINDOWS, ASTER BATH AND FRONT ENTRANCE DOOR

 3/26/2009 C-09-00214 09-0227 Alteration B P E CA and Close Date Issued 9/8/2017 [CA](#) \$5,000 Pedro A. Zamora Jr.

Move Front Door to Enlarge Master Bath and Walk In Closet

 9/6/2000 00-1109 Alteration B CA and Close Date Issued 9/7/2000 [CA](#) \$6,055

REROOFING

Inspections... [Shorten](#)

<u>Date</u>	<u>Control Number</u>	<u>Permit Number</u>	<u>Subcode</u>	<u>Type</u>	<u>Inspector</u>	<u>Result</u>	<u>Comment</u>	<u>Result Comment</u>
10/2/2024	C-17-01242	17-1180	Electrical	Final	Glenn Kovach	Pass	Agent: ZAMORA, PEDRO A JR	
10/2/2024	C-24-01169	24-1127	Electrical	Final	Glenn Kovach	Pass	Agent: KJB ELECTRIC LLC	
9/28/2020	C-20-00952	20-0716	Plumbing	Final	Kevin Gould InActive	Pass	Agent: EMIL DIPALMA EXCAVATING	
9/4/2020	C-20-00952	20-0716	Plumbing	WATER SERVICE	David Cicchetti	Not Done	Agent: EMIL DIPALMA EXCAVATING	saw trench pipe and tracer wire into house no meter yet need to see final
12/3/2018	C-18-01438	18-1244	Plumbing	GAS PIPING	Robert O'Connor InActive	Pass	Agent: ZAMORA, PEDRO A JR	
12/3/2018	C-18-01438	18-1244	Plumbing	Final	Robert O'Connor InActive	Pass	Agent: ZAMORA, PEDRO A JR	
11/28/2018	C-18-01438	18-1244	Plumbing	GAS PIPING	Robert O'Connor InActive	Cancelled	Agent: ZAMORA, PEDRO A JR	
9/7/2017	C-14-00349	14-0570	Electrical	Final	Kurt Decker	Pass	Agent: ZAMORA, PEDRO A JR	

9/7/2017	C-14-00349	14-0570	Building	Final	Rod Schmidt	Pass	Agent: ZAMORA, PEDRO A JR	
9/7/2017	C-09-00300	09-0227+A	Building	Final	Rod Schmidt	Pass	Agent: Pedro A. Zamora Jr.	
9/7/2017	C-09-00214	09-0227	Building	Final	Rod Schmidt	Pass	Agent: Pedro A. Zamora Jr.	
7/7/2017	C-14-00349	14-0570	Building	Final	Rod Schmidt	Pass	Agent: ZAMORA, PEDRO A JR	
7/7/2017	C-14-00349	14-0570	Electrical	Final	Kurt Decker	Fail	ZAMORA, PEDRO A JR	need gfi garage wall receipts
7/7/2017	C-14-00984	14-0570+A	Electrical	Final	Kurt Decker	Pass	Agent: ZAMORA, PEDRO A JR	
7/7/2017	C-10-01400	10-1226	Building	Final	Rod Schmidt	Pass	Agent: ZAMORA, PEDRO A JR	
7/7/2017	C-09-00300	09-0227+A	Building	Final	Rod Schmidt	Fail	Agent: Pedro A. Zamora Jr.	
7/7/2017	C-09-00214	09-0227	Building	Final	Rod Schmidt	Fail	Agent: Pedro A. Zamora Jr.	
3/14/2016	C-15-00912	15-0874	Fire	Final	William Paterson	Pass		
10/2/2014	C-14-00349	14-0570	Building	INSULATION	Rod Schmidt	Pass		
9/22/2014	C-14-00349	14-0570	Electrical	ROUGH	Frank Lanza	Pass		
9/17/2014	C-14-00349	14-0570	Electrical	ROUGH	Frank Lanza	Cancelled		
9/15/2014	C-14-00349	14-0570	Building	FRAMING	Rod Schmidt	Pass		
7/28/2014	C-14-00349	14-0570	Building	SLAB	Rod Schmidt	Cancelled		
7/21/2014	C-14-00349	14-0570	Building	FOOTING	Rod Schmidt	Pass		
7/17/2014	C-14-00349	14-0570	Building	FOOTING	Rod Schmidt	Pass		
7/15/2014	C-14-00349	14-0570	Building	SLAB	Rod Schmidt	Pass		
7/11/2014	C-14-00349	14-0570	Building	FOUNDATION	Rod Schmidt	Pass		
7/8/2014	C-14-00349	14-0570	Building	FOOTING	Rod Schmidt	Pass		

7/7/2014	C-14-00349	14-0570	Building	FOOTING	Rod Schmidt	Fail
12/12/2012	C-12-01294	12-1119	Fire	Final	William Paterson	Pass
2/28/2011	C-09-00300	09-0227+A	Building	Final	Rod Schmidt	Fail
2/28/2011	C-09-00300	09-0227+A	Plumbing	Final	Robert O'Connor InActive	Pass
2/28/2011	C-10-01400	10-1226	Building	Final	Rod Schmidt	Fail
2/28/2011	C-09-00214	09-0227	Plumbing	Final	Robert O'Connor InActive	Pass
2/28/2011	C-09-00214	09-0227	Building	Final	Rod Schmidt	Fail
2/11/2011	C-09-00300	09-0227+A	Electrical	Final	Frank Lanza	Pass
2/11/2011	C-09-00214	09-0227	Electrical	Final	Frank Lanza	Pass
2/9/2011	C-09-00300	09-0227+A	Electrical	Final	Frank Lanza	Fail
2/9/2011	C-09-00214	09-0227	Electrical	Final	Frank Lanza	Fail
6/11/2009	C-09-00300	09-0227+A	Building	INSULATION	Rod Schmidt	Pass
6/8/2009	C-09-00300	09-0227+A	Plumbing	ROUGH	Robert O'Connor InActive	Pass
6/8/2009	C-09-00214	09-0227	Plumbing	ROUGH	Robert O'Connor InActive	Pass
5/29/2009	C-09-00300	09-0227+A	Plumbing	ROUGH	Robert O'Connor InActive	Fail
5/29/2009	C-09-00214	09-0227	Plumbing	ROUGH	Robert O'Connor InActive	Fail
5/18/2009	C-09-00300	09-0227+A	Plumbing	ROUGH	Robert O'Connor InActive	Cancelled
5/18/2009	C-09-00214	09-0227	Plumbing	ROUGH	Robert O'Connor InActive	Cancelled
5/15/2009	C-09-00300	09-0227+A	Electrical	SERVICE	Frank Lanza	Pass
5/15/2009	C-09-00300	09-0227+A	Building	FRAMING	Rod Schmidt	Fail
5/15/2009	C-09-00300	09-0227+A	Electrical	ROUGH	Frank Lanza	Pass
5/15/2009	C-09-00214	09-0227	Electrical	ROUGH	Frank Lanza	Pass
5/15/2009	C-09-00214	09-0227	Building	FRAMING	Rod Schmidt	Fail
5/8/2009	C-09-00214	09-0227	Plumbing	UNDERGROUND	Robert O'Connor InActive	Pass
5/1/2009	C-09-00214	09-0227	Plumbing	ROUGH	Robert O'Connor InActive	Fail
5/1/2009	C-09-00214	09-0227	Plumbing	UNDERGROUND	Robert O'Connor InActive	Fail

Engineering

From: Patricia Johnson
Sent: Monday, May 19, 2025 2:59 PM
To: Amy Rhead
Cc: Michele Roddy
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)



55 Mooney.pdf

Attached please find information from the Engineering Department regarding this request.

Patricia A. Johnson
Executive Assistant, Engineering Department
Township of Roxbury
1715 Route 46, Ledgewood, NJ 07852
973 448-2018

Roxbury Township

Engineering Department
1715 Route 46
Roxbury Township 07852
(973) 448-2018

Road Opening Report

☒ Completed

Permit Date: 4/15/2014

Application
Number: RO-04-14-032

Application Date: 4/14/2014

Complete By: 4/15/2014

Location

Block 8201 Lot: 5 Qualifier _____ Address: 55 MOONEY RD

Owner: ZAMORA, PEDRO A JR

Address: 55 MOONEY RD City: LEDGEWOOD

Address 2: _____ State: NJ

Telephone: REDACTED: Telephone # (N.J.S.A. 47-1A-1) Zip: 07852

Applicant

Applicant: ZAMORA, PEDRO A JR

Address: 55 MOONEY RD City: LEDGEWOOD

Address 2: _____ State: NJ

Telephone: _____ Zip: 07852

Contractor

Contractor: Artistic Paver & Landscaping

Address: 2331 Crystal Mile Court City: Toms River

Address 2: _____ State: NJ

Telephone: REDACTED: Telephone # (N.J.S.A. 47-1A-1) Zip: 08755

License #: _____

Work Information: Status: Complete Assigned To: Rich Sodano

Start of Work	End of Work	Work Fee:	Escrow:
<u>5/1/2014</u>	<u>6/1/2017</u>	<u>\$100.00</u>	<u>\$0.00</u>

Existing Surface:

B/T

Description if Work:

Widen driveway and install paver driveway

Comments:

Driveway

Roxbury Township

Engineering Department
1715 Route 46
Roxbury Township 07852
(973) 448-2018

Road Opening Report

☒ Completed

Permit Date: 8/24/2020

Application
Number: RO-08-20-225

Application Date: 8/21/2020

Complete By: _____

Location

Block 8201 Lot: 5 Qualifier _____ Address: 55 MOONEY RD

Owner: ZAMORA, PEDRO A JR

Address: 55 MOONEY RD City: LEDGEWOOD

Address 2: _____ State: NJ

Telephone _____ Zip: 07852

Applicant

Applicant: ZAMORA, PEDRO A JR

Address: 55 MOONEY RD City: LEDGEWOOD

Address 2: _____ State: NJ

Telephone: _____ Zip: 07852

Contractor

Contractor: EMIL DIPALMA EXCAVATING

Address: 182 Stephen's City: HACKETTSTOWN

Address 2: _____ State: NJ

Telephone: REDACTED: Telephone # (N.J.S.A. 47 Zip: _____

License #: _____

Work Information: Status: Complete Assigned To: Rich Sodano

Start of Work _____ End of Work _____

Work Fee: _____ Escrow: _____

\$988.00 \$0.00

Existing Surface:

B/T

Description of Work:

Installation of water service from main to curb valve approximately 20 X 5 Mooney Rd
9/3/2020 Water tied in
4/13/2021 Final Insp performed on trench

Comments:

WATER SERVICE

Fire Prevention

From: Mike Pellek
Sent: Wednesday, May 14, 2025 5:43 PM
To: Amy Rhead
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)

The fire prevention bureau office currently have no records on file for the information being requested.

Michael A. Pellek

*Fire Prevention Bureau
Fire Official/Safety Officer*

NJ Certifications:

Fire Official

Fire Investigator

Fire Instructor, Level 2

Incident Management, Level 3

Firefighter 2

Hazmat Operational

Hazardous Materials Incident Commander

CEVO 4 Fire

Township of Roxbury
1715 Route 46
Ledgewood, NJ 07852
Phone: 973-448-2012
xxxxxxx@xxxxxxxxxx.xx

Health

From: Jennifer Shuman
Sent: Monday, May 19, 2025 11:02 AM
To: Amy Rhead; Michele Roddy
Cc: Catherine Wright
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)



8201-5 S&W.pdf



8201-5 S & W.pdf



8201-5 Plan.pdf



8201-5 SW.pdf

Attached is the Health Department's response to OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5).

Jennifer Shuman
Deputy Registrar, CMR
Administrative Assistant
Health Department
Township of Roxbury
72 Eyland Avenue
Succasunna, NJ 07876
973 448 2028

ROXBURY TOWNSHIP HEALTH DEPARTMENT
LICENSE TO OPERATE AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

FILE COPY

License No. 2024-107LTO

Date of Issuance: 10/01/2024

Date of Expiration: 10/01/2027

Location: 55 Mooney Road

Owner: Pedro A. Zamora, Jr.

Present Address: 55 Mooney Road
Ledgewood, NJ 07852

Block: 8201 Lot: 5

Telephone:


Abigail M. Montgomery Sr. REHS

This license must be renewed three years from date of issuance. Upon renewal, proof of pumping or a report of septic system inspection must be submitted to this department. Failure to properly maintain the septic system and renew the operating license will result in penalties as prescribed by law.

THIS LICENSE IS TRANSFERRABLE

N.J.A.C. 7:9A-3.14

License Fee \$15.00

ROXBURY TOWNSHIP HEALTH DEPARTMENT

72 Eyland Ave. Succasunna, NJ 07876

CERTIFICATE OF COMPLIANCE

Alteration/No Expansion

Septic Permit #2024-017S

Name of Applicant: Pedro Zamora

Mailing Address 55 Mooney Road

Location of Project:

Municipality Roxbury Twp. **Block** 8201 **Lot** 5

Street Address 55 Mooney Road, Ledgewood NJ 07852

Permitted Activities (Check applicable categories):

Septic Constructed/Altered/Repaired for a 3 bedrooms

☐ **New Construction**

☒ **Alteration/ No Expansion**

☐ **Repairs to Existing System/Components-**

☐ **Public Sewer** ☐ **Existing septic not included under the Certificate**

Well Constructed/Altered Complies with NJAC 7:10

Type of Use: ☐ **Domestic** ☐ **Public Noncommunity** ☐ **Nonpublic**

This well contains a treatment system for reduction to acceptable levels

☒ **Public Water** ☐ **Existing well not included under this Certificate.**

Approved by the Township of Roxbury Health Department

10/01/2024

Date Approved

Elyssa Loiacono

Elyssa Loiacono, REHS

The issuance of this certificate shall not be construed as a guarantee that the system(s) will function satisfactorily, nor shall it in any way restrict the powers or responsibilities of the Health Department in the enforcement of any ordinance or law relating to the public Health.



55 mooney Rd

For Information Call

Permit #

24-1127

APPROVAL FOR ELECTRICAL

Date

Inspector

☐ Rough

☐ Service

☐ Other

☒ Final

U.C.C. F222A

10-2-20

Septic

ln

BLOCK 8201 LOT 5 MUNICIPALITY Lodge Wood
 W ☐ REPAIR ☒ ALTERATION
☒ EXISTING 1000 PUMP TANK: 1000 Type SRE
 ance to Dwelling _____ Location _____
 tion _____ Size _____
 affles _____ Riser/Lid _____
 _____ Vent _____
 Marker _____ Pump/Alarm/Floats _____
 _____ Dosing _____

PERMIT # 2024-0175
 Conventional: ☒
 Alternative: ☐
 Other Requirements:
☒ Sleeve Watertight
☒ Liner Closest to House
☐ _____
Electrical

OWNER'S NAME WVIV TELEPHONE # 1

☒ OF SELECT FILL REQ'D ☒ REC'D ☒ ASBUILT REC'D ☒ Keith C. Cook

☒ OF SYSTEM REQ'D ☒ REC'D

☒ ER TIGHTNESS REQ'D ☒ REC'D Existing

☒ K WATER TIGHTNESS REQ'D ☒ REC'D

SYSTEM:

☒ CHECKLIST REQ'D ☒ REC'D

☒ CONTRACT REQ'D ☒ REC'D

☒ CE REQ'D ☒ REC'D

☐ FINAL – SEPTIC INSTALLED

☐ SEPTIC APPROVED – ISSUE "C OF C"

Date _____ Initials _____

REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

☒ REPLACEMENT ☒ DEEPENING
 WATER SOURCE ☐ WELL ☒ PUBLIC WATER ☐ SPRING ☐ OTHER _____
 CALLED FOR INSPECTION ☐ WELL INSPECTED/LOCATION ONLY
 RECORD REC'D ☐ WATER REPORT REC'D ☐ RESAMPLE WATER REPORT REC'D
 P INFO ☐ TREATMENT ☐ FINAL WELL INSPECTED/WELL HEAD
 D. RECORD REQ'D ☒ REC'D ☐ SPRING DISCONNECT
 WELL DISCONNECT ☐ WELL INTEGRITY INSPECTION ☐ WELL APPROVED - ISSUE "C OF C"
 CLASSIFICATION REQ'D ☐ REC'D Date _____ Initials _____
 4- Received Application
 4- El. Lx Wx H O.K. - Saw Abandoned pits

CONTINUATION SHEET

	Date	Name of Establishment
--	------	-----------------------

REMARKS (Please specify area)

124- EL fill O.K.

124- EL Final Bed O.K.

124- EL GRADING O.K.

ROXBURY TOWNSHIP HEALTH DEPARTMENT

**72 Eyland Avenue
Succasunna, NJ 07876-1622
(973) 448-2028 - Fax (973) 252-6079**

TO: Pedro Zamara

The Roxbury Township Health Department, having reviewed the application for facilities to be located at:

STREET: 55 Mooney Road, Ledgewood NJ 07852

BLOCK: 8201

LOT: 5

Hereby issues Permit# 2024-017S

Permit type: ☐ New Construction ☒ Alteration

The above sewage facilities in accordance with the information given in the application, or any amendments thereof or supplement thereto, subject to the following:

- A liner must be placed on the side closet to the dwelling where the field is <25' to the proposed field
- Water line must be sleeved with N12 or schedule 80, where the line is within 10' of the proposed field.
- All stages of septic construction must be inspected by the Health Department (i.e., open bed, suitable fill, tank and field, abandonments, and grading)

NO PART OF THE SEWAGE DISPOSAL SYSTEM EXPOSED TO VIEW UPON COMPLETION OF INSTALLATION SHALL IN ANY MANNER BE FILLED IN, AROUND OR COVERED FROM VIEW, UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE AUTHORIZED REPRESENTATIVE OF THE HEALTH DEPARTMENT.

Elyssa Loiacono

Date: 06/21/2024

Elyssa Loiacono, REHS

APPROVED
Roxbury Township
Health Department

ROXBURY TOWNSHIP HEALTH DEPARTMENT
72 Eyland Ave., Succasunna, NJ 07876
Telephone: 973-448-2028 Fax: 973-252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Location of Project 55 Mooney Rd.
(street / development)

Form 1

Applicant Pedro Zamora Telephone(day) REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Current Mailing Address 55 Mooney Rd.

Ledge wood, NJ 07853
E-Mail Address REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)

Type of Permit (Check ALL applicable categories):

☐ New Construction ☒ Alteration / No Expansion or Change in Use
☐ Deviation from Standards ☐ Alteration / Expansion or Change in Use
☐ Alteration / Real Estate Transaction ☐ Alteration / Malfunctioning System
Estimated Closing Date _____

(For ALL Alterations see Form 1a)

Type of Facility:

☒ Residential – Number of Bedrooms 3 Expansion Attic: ☐ Yes ☒ No
☐ Commercial / Institutional – Specify Type of Establishment _____

Type of Wastes to be Discharged:

☒ Sanitary Sewage ☐ Industrial Waste ☐ Other (specify) _____

Other Approvals / Certifications / Waivers / Exemptions (Attach to Application):

☐ US Army Corps of Engineers ☐ NJDEP – Bureau of Flood Plain Management
☐ NJDEP – Bureau of Inland Regulation
☐ NJDEP – Bureau of Nonpoint Pollution Control

Engineer Careaga Engineering Telephone: REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Address 382 Rt. 46 W., Budd Lake, NJ 07828

I hereby certify that the information furnished on Form 1 and 1a of this application is true. I am aware that false swearing is a crime in this State and subject to prosecution.

Pedro Zamora
Applicant's Signature

6/12/2024
Date

FOR AGENCY USE ONLY

☐ Application Denied – Reason for Denial / Citation of Rules Violated: _____
☒ Application Approved ☐ Application Approved Subject to Approval by NJDEP

Name and Title of Authorized Agent Elyssahoracano

Date of Action 6/21/24 Signature of Authorized Agent Elm Lacer

Received

JUN 14 2024

Health Dept
Roxbury Township

ROXBURY TOWNSHIP HEALTH DEPARTMENT
72 Eyland Ave., Succasunna, NJ 07876
Telephone: 973-448-2028 Fax: 973-252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 1a

If **Alteration / Malfunctioning System** is checked, indicate the type of malfunction and its cause (check all that apply):

- ☐ Contamination of nearby wells or surface water bodies by sanitary sewage or effluent
- ☐ Ponding or breakout of sanitary sewage or effluent onto the surface of the ground
- ☐ Seepage of sanitary sewage or effluent into portions of building below ground
- ☐ Back-up of sanitary sewage into the building served, which is not caused by a physical blockage of the internal plumbing
- ☐ Any manner of leakage observed from components that are not designed to emit sanitary sewage or effluent.
- ☐ Direct discharges to ground water (no zone of treatment)

Describe the cause of the malfunction: _____

For **ALL Alterations** please expand on "Type of Permit", by checking any of the following that apply:

- ☐ A privy, outhouse, latrine or pit toilet is present, a system must be installed,
- ☐ A system must be upgraded as part of a real property transfer,
- ☐ A cesspool has been identified during a real property transfer and a conforming system must be installed,
- ☐ A malfunctioning cesspool has been identified and a conforming system must be installed.

ROXBURY TOWNSHIP HEALTH DEPARTMENT

72 Eyland Ave, Succasunna, NJ 07876

Telephone: 973-448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 2a - General Site Evaluation Data

Name of Site Evaluator (print): Jeffrey Careaga

Business Address of Site Evaluator: 382 Pt. 46 W., Budd Lake, NJ 07828

Business Phone Number of Site Evaluator: REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Special Site Limitations Identified (Check appropriate Categories):

☐ Flood Plains ☐ Bedrock Outcrops ☐ Wetlands ☐ Excessively Stony
☐ Disturbed Ground ☐ Sink Holes ☐ Sand Dunes ☐ Steep Slopes
☐ Other (specify) _____

Soil Logs - Enter on Form 2b - Use one form for each soil log

Considerations Relating to Disturbed Ground:

a) Type of Disturbance (Check appropriate categories):

☐ Filled Area ☐ Excavated Area ☐ Re-graded Area ☐ Subsurface Drains
☐ Other (specify) _____

b) Existing Ground Surface:

Elevation Relative to Ground Surface _____

Method of Identification _____

c) Suitability of Disturbed Ground:

☐ Unsuitable: Objects Subject to Disintegration or Change in Volume
☐ Excessively Coarse
☐ Proctor Test performed - % Standard Proctor Density = _____

Hydraulic Head Test:

a) Hydraulically Restrictive Horizon: Depth Top to Bottom _____

b) Piezometer A: Depth to Bottom _____ Depth of Water Level (24 hrs) _____

c) Piezometer B: Depth to Bottom _____ Depth of Water Level (24 hrs) _____

d) Witnessed by _____ Signature _____ Date _____

Attachments (Check items included):

☒ Site Plan
☒ Key Map Showing Location of Site On U.S.G.S. Quadrangle or Other Accurate Map
☒ Key Map Showing Location of Site on U.S.D.A. Soil Survey Map
☐ Other (specify) _____

I hereby certify that the information furnished on Form 2a of this application (and the attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 58:10A-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Soil Evaluator _____ Date 6/7/24

Signature of Professional Engineer _____ License # 35973

ROXBURY TOWNSHIP HEALTH DEPARTMENT
72 Eyland Ave., Succasunna, NJ 07876
Telephone: 973-448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 2b - Soil Log and Interpretation

1. Soil Log # 1 Date Performed 6/4/24 Method (check one): ☒ Profile Pit ☐ Boring

2. Soil Log:
Depth Top-Bottom (inches) Munsell Color Name and Symbol; Estimated Textural Class: Estimated
Volume % Coarse Fragments; Structure; Moist or Dry Consistence;
Mottling Abundance, Size and Contrast

0-14" Topsoil
14-52" Sandy Clay Loam, 10YR5/4, 5% Gravel, 5% Cobble, 0% Stone, Sub-Angular Blocky, Moist Friable
52-136" Sandy Loam, 10YR5/6, 10% Gravel, 5% Cobble, 5% Stone, Sub-Angular Blocky, Moist Friable

Mottling - None
Rootage - None
Water - None
Organic - None
Roots to 70"

Disturbed Sample @ 56"

3. Ground Water Observations:
☐ Seepage observed - Indicate Depth (inches) _____
☐ Pit/Boring Flooded - Depth (inches) _____ after _____ hours of observation

4. Soil Limiting Zones (Check ALL applicable categories):
☐ Fractured Rock Substratum - Depth to Top _____
☐ Massive Rock Substratum - Depth to Top _____
☐ Excessively Coarse Horizon - Depth Top to Bottom _____
☐ Excessively Coarse Substratum - Depth to Top _____
☐ Hydraulically Restrictive Horizon - Depth Top to Bottom _____
☐ Hydraulically Restrictive Substratum - Depth to Top _____
☐ Perched Zone of Saturation - Depth Top to Bottom _____
☐ Regional Zone of Saturation - Depth to Top _____

5. Soil Suitability Classification I

I hereby certify that the information furnished on Form 2b of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 58:10A-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Site Evaluator [Signature] Date 6/7/24
Signature of Professional Engineer [Signature] License # 35973

ROXBURY TOWNSHIP HEALTH DEPARTMENT
72 Eyland Ave., Succasunna, NJ 07876
Telephone: 973-448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 2b - Soil Log and Interpretation

1. Soil Log # 2 Date Performed 6/4/24 Method (check one): ☒ Profile Pit ☐ Boring

2. Soil Log:
Depth Top-Bottom (inches) Munsell Color Name and Symbol; Estimated Textural Class: Estimated
Volume % Coarse Fragments; Structure; Moist or Dry Consistence;
Mottling Abundance, Size and Contrast

0-4"	Topsoil
4-56"	Sandy Clay Loam, 10YR5/4, 5% Gravel, 5% Cobble, 0% Stone, Sub-Angular Blocky, Moist Friable
56"-128"	Sandy Loam, 10YR5/6, 10% Gravel, 5% Cobble, 5% Stone, Sub-Angular Blocky, Moist Friable

Mottling - None
Seepage - None
Water - None
Cracks - None
Roots to 40"

3. Ground Water Observations:
☐ Seepage observed - Indicate Depth (inches) _____
☐ Pit/Boring Flooded - Depth (inches) _____ after _____ hours of observation

4. Soil Limiting Zones (Check ALL applicable categories):
☐ Fractured Rock Substratum - Depth to Top _____
☐ Massive Rock Substratum - Depth to Top _____
☐ Excessively Coarse Horizon - Depth Top to Bottom _____
☐ Excessively Coarse Substratum - Depth to Top _____
☐ Hydraulically Restrictive Horizon - Depth Top to Bottom _____
☐ Hydraulically Restrictive Substratum - Depth to Top _____
☐ Perched Zone of Saturation - Depth Top to Bottom _____
☐ Regional Zone of Saturation - Depth to Top _____

5. Soil Suitability Classification I

I hereby certify that the information furnished on Form 2b of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 58:10A-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Site Evaluator [Signature] Date 6/7/24

Signature of Professional Engineer [Signature] License # 35973

ROXBURY TOWNSHIP HEALTH DEPARTMENT
72 Eyland Ave., Succasunna, NJ 07876
Telephone: 973 448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 3a - Soil Permeability Data

Assign a number for each test and a letter for each test replicate. Show test data and calculations on Form b, 3c, 3d, 3e, 3f or 3g. Use one sheet for each separate test or test replicate.

Summary of Data—Enter data for each test replicate on a separate line.

Type of Test	Test (number)	Replicate (letter)	Depth (inches)	Result*
SPCR	1	A	56"	K3
SPCR	1	B	56"	K3

For tube permeameter, pit-bailing and piezometer tests report results in inches per hour. For Soil permeability class rating give soil permeability class number. For percolation test report result in minutes per inch. For basin flooding test report result as positive if basin drains completely within 24 hours after second lining, negative otherwise.

Design Permeability/Percolation Rate:

Specify Test # _____
___ Average of Test Replicates ___ Single Replicate ___ Slowest of Replicates

Type of Limiting Zone Identified	Test Number

Attachments (Check items included):

___ Form 3b - Tube Permeameter Test Data - Number of Sheets _____
☒ Form 3c - Soil Permeability Class Rating Test Data - Number of Sheets 2
___ Form 3d - Percolation Test Data - Number of Sheets _____
___ Form 3e - Pit-Bailing Test Data - Number of Sheets _____
___ Form 3f - Piezometer Test Data - Number of Sheets _____
___ Form 3g - Basin Flooding Test Data - Number of Sheets _____

I hereby certify that the information furnished on Form 3a of this application (and the attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 15:10A-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Soil Evaluator [Signature] Date 6/7/24
Signature of Professional Engineer [Signature] License # 35973

TY/MUNICIPALITY Morris/Roxbury Block 8201
Lot 5

ce job # 15943

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR
AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

c. Soil Permeability Class Rating Data

Number	1	Replicate Letter	A
le Depth	56"	Soil Pit/ Boring Number	1
		Date Collected:	06/04/24
se Fragment Content:			
Total Weight of Sample, W.T. grams			300.00
Weight of Material Retained on 2mm Sieve, W.C.F., Grams			101.8
Weight % Coarse Fragment (W.C.F./W.T. x 100):			33.9%
n Dried Weight (24 hours at 105 deg C) of			
40 Gram Air Dried Sample			39.90
rometer Calibration, Rc			5.5 grams
rometer Reading-40 Seconds, R1			19.3 grams
emperature of Suspension 72.0			deg F
ected Hydrometer Reading, R1'			14.6 grams
rometer Reading-2 Hours, R2			11.0 grams
emperature of Suspension 72.5			deg F
ected Hydrometer Reading, R2'			6.4 grams
Sand = (Wt. - R1') / Wt. x 100			
= (39.9 - 14.6) / 39.9 x 100 =			63.4%
Clay = R2' / Wt. x 100 = (6.4 / 39.9) x 100 =			16.0%
ve Analysis:			
ven Dry Weight (2 hrs, 105 deg C) Total Sand Fraction			
oil Retained in 0.047 mm sieve)			35.8 grams
eight of Fine Plus Very Fine Sand Fraction			
and Passing 0.25 mm Sieve)			13.5 grams
Fine Plus Very Fine Sand (b/a)			37.7%
l Morphology (Natural Soil Samples Only)			
Structure of Soil Samples Tested:			Subangular Blocky
Consistence of Soil Samples Tested:			
Dry:			
Moist:			Friable
Permeability Class Rating (Based upon average textural			K3
sis of this replicated and other replicate samples)			

reby certify that the information furnished on form 3c of this application is true and accurate.
aware that falsification of data is a violation of Water Pollution Control Act (N.J.S.A.
10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

ature of Soil Evaluator

Date: 6/7/24

ature of Professional Engineer

NJ License # 35973

Library\SoilTests\soilform.xls

TY/MUNICIPALITY Morris/Roxbury

Block 8201
Lot 5

ce job # 15943

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR
AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

c. Soil Permeability Class Rating Data

Number	1	Replicate Letter	B
Soil Depth	56"	Soil Pit/ Boring Number	1
		Date Collected:	06/04/24

Coarse Fragment Content:

Total Weight of Sample, W.T. grams	300.00
Weight of Material Retained on 2mm Sieve, W.C.F., Grams	101.8
Weight % Coarse Fragment (W.C.F./W.T. x 100):	33.9%

oven Dried Weight (24 hours at 105 deg C) of

40 Gram Air Dried Sample	39.90
--------------------------	-------

Hydrometer Calibration, Rc

	5.5	grams
--	-----	-------

Hydrometer Reading-40 Seconds, R1

	19.2	grams
--	------	-------

Temperature of Suspension

72.0	deg F
------	-------

Corrected Hydrometer Reading, R1'

	14.5	grams
--	------	-------

Hydrometer Reading-2 Hours, R2

	11.2	grams
--	------	-------

Temperature of Suspension

72.5	deg F
------	-------

Corrected Hydrometer Reading, R2'

	6.6	grams
--	-----	-------

Sand = (Wt. - R1') / Wt. x 100

= (39.9 - 14.5) / 39.9 x 100 =	63.7%
----------------------------------	-------

Clay = R2' / Wt. x 100 = (6.6 / 39.9 x 100 =

	16.5%
--	-------

Grave Analysis:

oven Dry Weight (2 hrs, 105 deg C) Total Sand Fraction

Soil Retained in 0.047 mm sieve)	35.8	grams
----------------------------------	------	-------

Weight of Fine Plus Very Fine Sand Fraction

and Passing 0.25 mm Sieve)	13.5	grams
----------------------------	------	-------

Fine Plus Very Fine Sand (b/a)

	37.7%
--	-------

Soil Morphology (Natural Soil Samples Only)

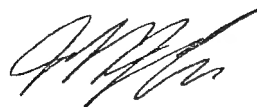
Structure of Soil Samples Tested: Subangular Blocky

Consistence of Soil Samples Tested: Dry: Friable
Moist:

Soil Permeability Class Rating (Based upon average textural analysis of this replicated and other replicate samples) K3

I hereby certify that the information furnished on form 3c of this application is true and accurate.
I am aware that falsification of data is a violation of Water Pollution Control Act (N.J.S.A.
10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Soil Evaluator



Date: 6/7/24

Signature of Professional Engineer

NJ License # 35973

Library\Soiltests\soilform.xls

ROXBURY TOWNSHIP HEALTH DEPARTMENT

72 Eyland Ave., Succasunna, NJ 07876

Telephone: 973 448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 4 - General Design Data

Volume of Sanitary Sewage (gallons) 500
☒ Residential: No. of Dwelling Units 1 Total No. of Bedrooms 3
☐ Commercial/Institutional - Indicate type of establishment _____
 Show method of calculation _____
 If estimate is based on water meter data:
 Indicate source of data _____
 Frequency of readings _____ Average daily flow _____ Maximum daily flow _____

Alterations:
 Reason for Alteration (Check All applicable categories):
☐ Expansion or Change in Use ☒ Upgrade Existing Facilities ☐ Real Estate Transaction
☐ Correct Malfunctioning System ☐ Other specify _____
 Describe Nature of Alteration (scope of work): _____

System Components:
 a) Grease Trap: ☐ New ☐ Existing Total capacity (gallons) _____
 Show calculation used: _____
 b) Septic Tank: ☐ New ☒ Existing Total capacity (gallons): 1,000
 First (Single) Compartment _____ Second Compartment _____ Third Compartment _____
 c) Effluent Distribution: Method: ☐ Gravity Flow ☐ Gravity Dosing ☒ Pressure Dosing
 Dosing Device: ☒ Pump ☐ Siphon
 d) Dosing Tank: ☒ New ☐ Existing Total capacity (gallons): 1,000
 Dose Volume 125 Reserve Capacity 500
 e) Laterals: Number 6 Total Length (ft) 180 Pipe Diameter (in) 1.25 Spacing (ft) 3
 f) Connecting Pipe (from septic tank): Diameter (in) 3 Length (ft) 14
 g) Distribution: ☐ D-box ☒ Manifold: Diameter (in) 3 Length (ft) 15
 h) Disposal Field: Type of Installation (ie. C, SRB, CRE, M, MSR) SRE
 Design Permeability/Percolation Rate 6-20 in/hr
☒ Disposal Bed: Dimensions (ft) 21 x 32 Total disposal area (ft²) 672
☐ Disposal Trenches: Total Length (ft) _____ Total Width (ft) _____
 i) Seepage Pits: Design Percolation Rate (min/in) _____ Number of Pits _____
 Total Percolating Area Provided (ft²) _____

Attachments (Check items included):
☒ General plan of system showing location of all system components
☒ Cross-Sections of each system component (inc. grease trap, septic tank, dosing tank, disposal field, seepage pits and interceptor drains)
☒ Pump Performance Curve
☐ Other (specify) _____

I hereby certify that the information furnished on Form 4 of this application (and attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 8:10A-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Professional Engineer [Signature] Date 6/7/24
 License # 35973

ROXBURY TOWNSHIP HEALTH DEPARTMENT

72 Eyland Ave., Succasunna, NJ 07876

Telephone: 973 448-2028 Fax: 973 252-6079

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE
SEWAGE DISPOSAL SYSTEM

Municipality Roxbury Block 8201 Lot 5

Form 5 - Design of Pressure Dosing System

1. Configuration of Distribution Network:

Type of Manifold: X end central

Distribution Laterals: Number 6 Length(ft) 30 Spacing(ft) 3 Diameter of laterals(in) 1.25
Total lateral volume(gal) VI 11.5 Hole diameter(in) 1/4 Hole spacing(in) 36

2. Lateral Discharge Rate:

Design pressure head at supply end of laterals(ft) Hp 2.65

Hole discharge rate (gpm), Q 1.20

Number of holes per lateral, n 10

Lateral discharge rate (gpm), Q x n 12.0

3. Manifold: length (ft) 15 diameter (in) 3 total manifold volume (gal), Vm 5.5

4. System Discharge Rate (gpm) 74

5. Dose Volume:

Design Volume of Sewage (gal/day) Q 500

Design Permeability (in/hr) 6-20 or Percolation Rate (min/in)

Total volume of delivery pipe (gal), Vp 5.1

Internal volume of distribution network (gal), V = Vp + Vm + VI 22.1

Dose volume (gal), Vd 125

6a. Pump Selection:

Delivery Pipe: Diameter (in) 3 Length (ft) 14

Friction loss in delivery pipe (ft), Hf 1.3

Elevation of dosing tank low water level 87.16 Elevation of lateral invert 93.23

Elevation head (ft), He 6.07

Total operating head (ft), Ht (Hp + Hf + He) = 10.0

Pump Model Goulds 3887 Rated Horsepower 1/3

Pump discharge rate at total operating head (gpm) 74

Calculation of distance of pump-on switch above pump off switch:

$$d \text{ (inches)} = (Vd + Vcp + Vpd) \times (1 \text{ ft}^3 / 7.48 \text{ gal}) \times (12 \text{ in} / 1 \text{ ft}) / (A) \\ = (125 + 22.1 + 2.4) \times (1 \text{ ft}^3 / 7.48 \text{ gal}) \times (12 \text{ in} / 1 \text{ ft}) / (3426) = 0.7 \text{ inches}$$

6b. Siphon Elevation:

Diameter of delivery pipe (in) Length of delivery pipe (ft)

Friction loss in delivery pipe (ft), Hf Velocity head (ft), Hv

Total operating head (ft), Ht (Hp + Hf + Hv) =

Elevation of lateral invert Elevation of siphon invert

I hereby certify that the information furnished on Form 4 of this application (and attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (NJSA 15:27-1 et seq.) and is subject to penalties as prescribed in NJAC 7:14-8.

Signature of Professional Engineer [Signature] Date 6/7/24

License # 35973

Block 8201 Lot 3

ptions:

Number of Bedrooms 3
Total Assumed Gallons per Day 500 gal
Pump Tank Inlet Pipe Invert 90.56
Disposal Field Lateral Invert 93.23
Number Laterals 6
Number Lateral Orifices 60
Size Lateral Orifices 0.25
Size Laterals 1.25
Size Manifold 3

Calculations:

Volume Distribution Network

	Size (in)	Actual Length (ft)	Volume (gal)
Discharge Pipe	2	15	2.4
ank			
Discharge Pipe	3	14	5.1 (Vp)
tank			
in Lf.	3	15	5.5 (Vm)
	6	1.25	30
		(avg)	11.5 (VI)
		Total	24.6 Gallons (Vcp)

Pump Tank Float Elevations

Diameter Tank 6 feet
n of Influent Pipe 90.56 feet
e Capacity 500 gallons
Capacity 125 gallons (Vd)
tion pipe
ty 24.56 gallons
n to high level float 0.33 feet
ubmergence 0.50 feet (minimum)
ions
capacity 211.38 gallons per foot
n High Alarm 88.19 based on 90.56 intake invert
n Pump On 87.86
n Pump Off 87.16
uction elevation 86.66 or under

e Capacity required 2.37 feet below intake invert
arm to be located 2.37 feet below intake invert
n to be located 2.70 feet below intake invert
ff to be located 3.40 feet below intake invert
uction to be located 3.90 feet below intake invert or lower

 6/7/24

ted Tank Low Water Level 87.16 (from above)
al Field Lateral Inverts 93.23

ift 6.07287 ft Flow Rate 74 GPM
/8"vents 2.5 ft
als 6
al Orifices 60
Size 0.25 inch
terals 1.25 inch
nifold 3 inch

tions: Flow per Lateral 12.33 GPM (average, use to verify fig
Orifice Head 2.65 ft H2O
Friction Head 1.25 ft H2O
Static Head 6.07 ft H2O

Tot. System Head 10.0 ft H2O

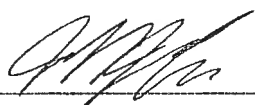
Head Calculations based on Goulds Pump models as shown

WE 3885 Effluent	6 ft H2O at	74 GPM
WE 3885 Effluent	12.6 ft H2O at	74 GPM
WE 3885 Effluent	26 ft H2O at	74 GPM
WE 3885 Effluent	39.6 ft H2O at	74 GPM
P 3888 Grinder Pump	#N/A ft H2O at	74 GPM
P 3888 Grinder Pump	#N/A ft H2O at	74 GPM
P 3888 Grinder Pump	#N/A ft H2O at	74 GPM
P 3888 Grinder Pump	#N/A ft H2O at	74 GPM
P 2WD/3WD Pump Efflu	#N/A ft H2O at	74 GPM
P 2WD/3WD Pump Eff	#N/A ft H2O at	74 GPM
P 3887 BHFGGrinder	17.8 ft H2O at	74 GPM
P 3887 BHF Grinder	25.2 ft H2O at	74 GPM
P 3887 BHF Grinder	36.25 ft H2O at	74 GPM
P 3887 BHF Grinder	48.5 ft H2O at	74 GPM
87 BHFGGrinder	62.45 ft H2O at	74 GPM
ME 50 1/2 HP	24.925 ft H2O at	74 GPM
ME 75 3/4 HP	32.65 ft H2O at	74 GPM
ME 100 1 HP	47.35 ft H2O at	74 GPM
ME 150 1.5 HP	60.6 ft H2O at	74 GPM
ME 33 .33 HP	5 ft H2O at	74 GPM
140	15 ft H2O at	74 GPM
161 1/2 HP	22.6 ft H2O at	74 GPM
163	7 ft H2O at	74 GPM
165	20 ft H2O at	74 GPM
185	37.3453 ft H2O at	74 GPM
188	#N/A ft H2O at	74 GPM
189	#N/A ft H2O at	74 GPM
P 3887 BF	10.75 ft H2O at	74 GPM
P 3887 BF	16.875 ft H2O at	74 GPM
P 3887 BF	22.1 ft H2O at	74 GPM
3887 BF	28 ft H2O at	74 GPM
Goulds Series 2wd/3wd	17.25 ft H2O at	74 GPM
Goulds Series 2wd/3wd	22 ft H2O at	74 GPM

ent Discharge Rate

in inches

Value K	0.6	Value d	0.125 assumed
-	-	Value D	1.25 from above
Value h	2.5 ft wtr	Flow GPM ??	

 6/7/24

CHANGE ABOVE AS REQUIRED!!!!!!!!!!!!!!!!!!!!

Computed Q 0.29172 GPM
Mult Number Vents 7

Design Flow Rate 2.04204 GPM Discharge Vents
Flow Lateral Orifices 74 GPM (see Above)
Value K 0.6 Value d 71.958 after vent flow subtracted
Value h 2.65271 ft wtr Value D 0.25 from above
Flow GPM ?? 1.25 from above

Computed Q 1.19806 GPM per Orifice with 60 orifices

Value K 0.6 With Total Flow 71.958 GPM
Value d 0.25 from above
Value D 1 from above
Value h ?????? Flow GPM 1.1993 per Orifice

Computed h 2.65271 Feet water at lat. orifices
1.14836 PSI equivalent

= = = = = = =
= = = = = = =
Distribution Design

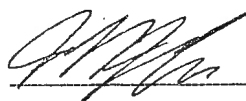
A.C.7:9A-9.2:

Permeability Required Pressure Dose
Volume
min 10 V, max 25%Q
min 10 V, max 100%Q

Permeability K4
CHANGE BELOW
AS REQUIRED!!!
From Chap 199

Loss
Size (in) Equivalen Length (ft) Design Flowrate (GPM) Headloss per 100ft (ft wtr) Actual Headloss (ft wtr)
Discharge Pipe 3 15 73.7 1.2 0.2
Chamber (3-90 ells, 12 ft)
Discharge Pipe 3 14 73.7 1.2 0.2
Tank to header
RATE NOT INC. 1/8" DRAIN LOSS)
3 15 73.7 1.2 0.2
Lateral (1/8" vent at end)
Laterals
6 1.25 30 12.3 2.4 0.7
(avg)

Total Friction Loss 1.3

 6/7/24



Submersible Sewage Pump

MODEL

3887BF

Prosurance available for residential applications.

APPLICATIONS

ally designed for the
g uses:
s
e systems
ering/Effluent
transfer
Industrial
mercial applications
re waste or drainage
disposed of quickly,
and efficiently.

CAUTIONS

handling capabilities:
imum.
ties: up to 183 GPM.
eads: up to 38 feet TDH.
rge size: 2" NPT
ed companion flange
ard. 3" option
ebut must be ordered
ely. (Order no. A1-3)
rature:
(40°C) continuous
(60°C) intermittent.
der numbers on reverse
r specific HP, voltage,
and RPMs available.

FEATURES

ier: Cast iron, semi-
in-clog, dynamically
l with pump out vanes
anical seal protection.
silicon bronze impeller
g: Cast iron flanged
pe for maximum
y. Designed for easy
on on A10-20 slide rail.
anical Seals: SILICON
E VS. SILICON
E sealing faces for
abrasive resistance,

stainless steel metal parts,
BUNA-N elastomers.

■ **Shaft:** Corrosion resistant,
400 series stainless steel.
Threaded design. Locknut on
three phase models to guard
against component damage on
accidental reverse rotation.

■ **Fasteners:** 300 series
stainless steel.

■ Capable of running dry
without damage to components.

■ Designed for continuous
operation, when fully
submerged.

MOTORS

■ Fully submerged in high
grade turbine oil for lubrication
and efficient heat transfer. All
ratings are within the working
limits of the motor.

Class B insulation.

• All single phase models
feature capacitor start motors
for maximum starting torque.

Single phase (60 Hz):

- Built-in overload with
automatic reset.
- 1/2 and 1/2 HP - 16/3 SJTOW
with 115 V or 230 V three
prong plug.
- 3/4 and 1 HP - 14/3 STOW
with bare leads.

Three phase (60 Hz):

- Overload protection must be
provided in starter unit.
- 1/2-1 HP - 14/4 STOW with
bare leads.

■ **Designed for Continuous
Operation:** Pump ratings
are within the motor
manufacturer's recommended
working limits, can be
operated continuously
without damage when fully
submerged.

■ **Bearings:** Upper and lower
heavy duty ball bearing
construction.

■ **Power Cables:** Severe duty
rated, oil and water resistant.
Epoxy seal on motor end
provides secondary moisture
barrier in case of outer jacket
damage and to prevent oil
wicking. 20 foot standard with
optional lengths available.

■ **Motor Cover O-ring:** Assures
positive sealing against
contaminant and oil leakage.

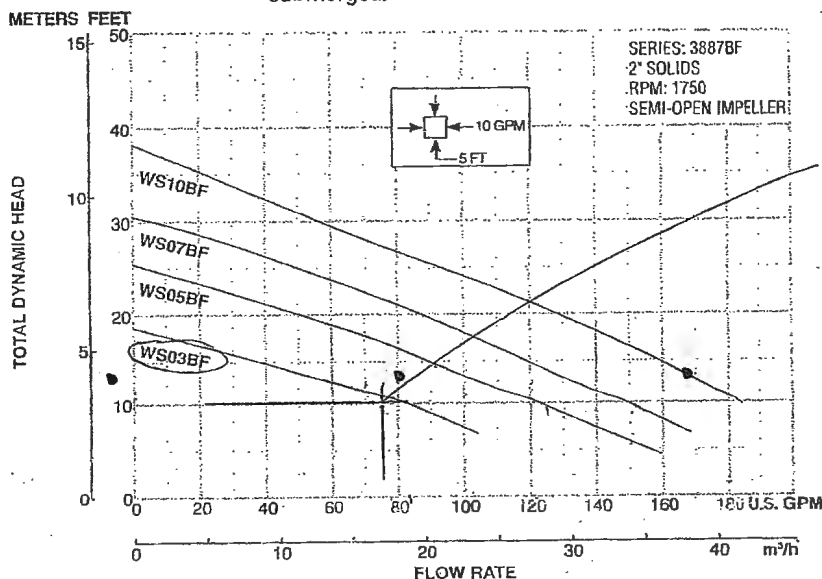
■ Consult factory for informa-
tion on 575 V models.

AGENCY LISTINGS

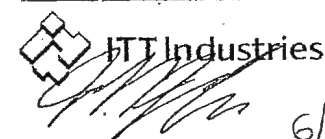


Tested to UL 778 and
CSA 22.2 108 Standards
By Canadian Standards
Association
File #LR38549

Goulds Pumps is ISO 9001 Registered.



Goulds Pumps





Township of Roxbury

Health Department
72 Eyland Avenue
Succasunna, NJ 07876
www.roxburynj.us

Permit # _____

APPLICATION FOR SOIL WITNESSING

Today's date: 5/22/2024

Name of person/company requesting inspection Peach Brothers
P.O. Box 280
Succasunna, NJ 07876
Peach Brothers

Address REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)
REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1) Telephone # _____

Name of current property owner Pedro Zamora

Address 55 Mooney Rd Block 8201 Lot 5

Name of Engineer Careaga Engineering
REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)
Telephone # of Engineer _____

Date of test to be performed June 4th - 11am

HEALTH DEPARTMENT USE ONLY

Date Fee Paid 5/28/24 Cash _____ Check #34319
Fee: \$50.00

Roxbury Township Health Department

Soil Log Witness Report

City Roxbury Block 3201 Lot 5
 Directions 55 Mooney Rd
 Owner Zamora Date/Time Requested 6/4/24 @ 11am
 Telephone: Jeff
 HD Witness Elysa
 Time 11am Recent Precipitation

Signature of Engineer/Engineer Representative: _____ Date _____

1 Seepage _____ Pit Flooded - Depth 0.56 after _____ hours Roots 10"
 Method of Testing and Depth _____

1-14 Munsell Color: Name _____ Hue, Value/Chroma Top

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") _____ cobbles (3-10") _____ stone (>10") _____ total _____

DEPTH _____ Munsell Color _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent
 E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain
 ICE (circle) DRY loose soft slightly hard hard very hard cemented
 MOIST loose friable firm very firm extremely firm cemented

52 Munsell Color: Name _____ Hue, Value/Chroma 10YR5/4

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") 5 cobbles (3-10") 5 stone (>10") 0 total _____

DEPTH _____ Munsell Color _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent
 E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain
 ICE (circle) DRY loose soft slightly hard hard very hard cemented
 MOIST loose friable firm very firm extremely firm cemented

2-136 Munsell Color: Name _____ Hue, Value/Chroma 10YR5/6

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") 10 cobbles (3-10") 5 stone (>10") 5 total _____

DEPTH _____ Munsell Color _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent
 E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain
 ICE (circle) DRY loose soft slightly hard hard very hard cemented
 MOIST loose friable firm very firm extremely firm cemented

Munsell Color: Name _____ Hue, Value/Chroma _____

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") _____ cobbles (3-10") _____ stone (>10") _____ total _____

DEPTH _____ Munsell Color _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent
 E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain
 ICE (circle) DRY loose soft slightly hard hard very hard cemented
 MOIST loose friable firm very firm extremely firm cemented

SKETCH ON REVERSE

Include distances to property lines, wells, structures, surface water or other prominent features

Roxbury Township Health Department

Soil Log Witness Report

City Roxbury Block 8201 Lot 5
 Directions 55 Mooney Rd
 Owner Zamora Date/Time Requested 6/4/24

Caracas Telephone: _____
 Jeff HD Witness CTUSA
6/4/24 Time 11am Recent Precipitation _____

of Engineer/Engineer Representative: _____ Date _____

2 Seepage _____ Pit Flooded - Depth _____ after _____ hours Roots 48"
 Method of Testing and Depth _____

0-4 MUNSSELL COLOR: NAME _____ HUE, VALUE/CHROMA Top

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") _____ cobbles (3-10") _____ stone (>10") _____ total _____

DEPTH _____ MUNSSELL COLOR _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent

E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain

ICE (circle) DRY loose soft slightly hard hard very hard cemented

MOIST loose friable firm very firm extremely firm cemented

5/0" MUNSSELL COLOR: NAME _____ HUE, VALUE/CHROMA 10YR5/4

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") 5 cobbles (3-10") 5 stone (>10") _____ total _____

DEPTH _____ MUNSSELL COLOR _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent

E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain

ICE (circle) DRY loose soft slightly hard hard very hard cemented

MOIST loose friable firm very firm extremely firm cemented

5/0-128" MUNSSELL COLOR: NAME _____ HUE, VALUE/CHROMA 10YR5/6

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") 10 cobbles (3-10") 5 stone (>10") 5 total _____

DEPTH _____ MUNSSELL COLOR _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent

E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain

ICE (circle) DRY loose soft slightly hard hard very hard cemented

MOIST loose friable firm very firm extremely firm cemented

_____ MUNSSELL COLOR: NAME _____ HUE, VALUE/CHROMA _____

CLASS (circle) sand lo sand sa loam loam sa clay loam si loam silt clay loam sa clay si clay loam si clay clay
 FRAGMENTS (% vol.) gravel (up to 3") _____ cobbles (3-10") _____ stone (>10") _____ total _____

DEPTH _____ MUNSSELL COLOR _____

ANCE (circle) few common many SIZE (circle) fine medium coarse CONTRAST (circle) faint distinct prominent

E (circle) spheroidal subangular blocky angular blocky prismatic platy massive single grain

ICE (circle) DRY loose soft slightly hard hard very hard cemented

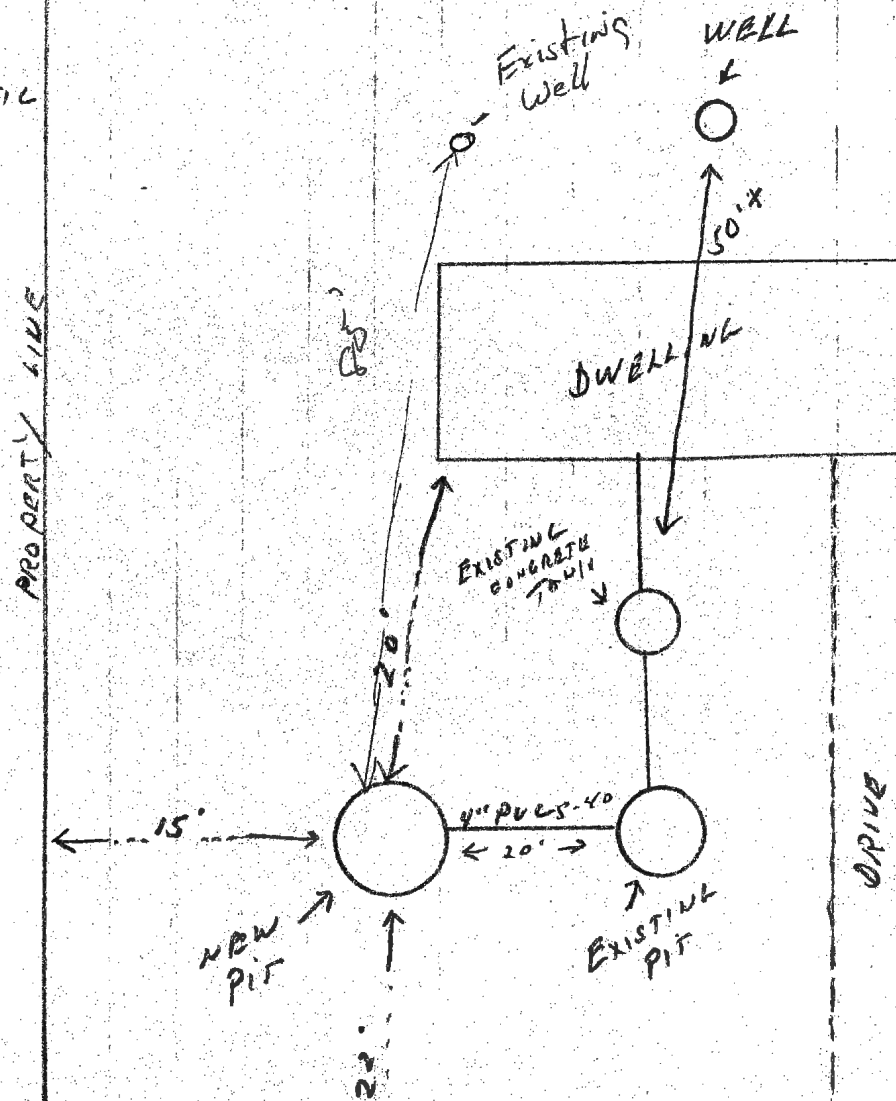
MOIST loose friable firm very firm extremely firm cemented

SKETCH ON REVERSE

Include distances to property lines, wells, structures, surface water or other prominent features

JAMES RICHARDS
55 MOONEY ROAD
LEDGEWOOD

NO OTHER WELL
WITHIN 50' OF SEPTIC
SYSTEM.



ROXBURY TOWNSHIP HEALTH DEPARTMENT

72 Eyland Ave.
Succasunna, NJ 07876

SEPTIC AND WELL FEE SCHEDULE

024-017S

NAME: Pedro Zamora

55 Mooney Road

Email:

Address 55 Mooney Road

Block: 8201 Lot: 5

SEPTIC PERMIT RESIDENTIAL	FEE	DATE PAID
SOIL LOG	\$50.00	
Soil Witness – New	\$100.00	
Soil Witness – Alteration	\$50.00	05/24/2024
Application Review – New	\$100.00	
Application Review – Alt/Repair	\$100.00	6/14/24
Permit – Alt / Repair	\$100.00	6/14/24
Permit – New	\$500.00	
Permit – Renewal	Initial Fee	
SEPTIC PERMIT - COMMERCIAL		
Soil Witness – New	\$160.00	
Soil Witness – Alt / Repair	\$160.00	
Application Review – New	\$160.00	
Application Review – Alt / Repair	\$100.00	
Permit – New	\$500.00	
Permit – Alt / Repair	\$250.00	
Permit Renewal	Initial Fee	
Septic		
Re-Inspection Fee	\$50.00	
Well Permit		
Permit – New	\$200.00	
Permit – Alt / Repair	\$50.00	
Re-Inspection Fee	\$50.00	



REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

382 Route 46 West
Budd Lake New Jersey 07828
State of NJ Certificate of Authorization #24GA28089000
State of NJ Home Improvement Contractor #13VH01143300

Site Plans/Subdivisions ~ Boundary/Topographic Surveys ~ Septic Design ~ Water Supply ~ Structural Design
Foundation Inspection/Design/Repair ~ Inspections and General Construction Services

From:

Peach Brothers

To: Roxbury Twp.
Health Dept.

LETTER OF TRANSMITTAL

Date: 6/7/24

Job: 15943

Attention:

RE: Septic Design

Lot 5, Block 8201

55 Mooney Road, Roxbury

WE ARE SENDING YOU:

COPIES	DATE	NO	DESCRIPTION
3	6/7/24	15943	Septic Design Plan
3	6/7/24	15943	Septic Application
3	6/6/24	15943	Topographical Survey
1			Original Survey by Frank Dufford, dated 5/7/60
			Invoice

Received

THESE ARE TRANSMITTED as indicated below:

- ☐ Sign application & Submit to: _____ ☐ Other _____
☐ As requested _____
☒ For your review _____
☒ For approval _____

JUN 14 2024

Health Dept
Roxbury Township

REMARKS:

Please mail permit to ~~areaga~~ Peach Brothers.

Peach Brothers
P.O. Box 280
Succasunna, NJ 07876

REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)

Copy:

Signed: Robin Sellitto

File: One Copy Each

580
750

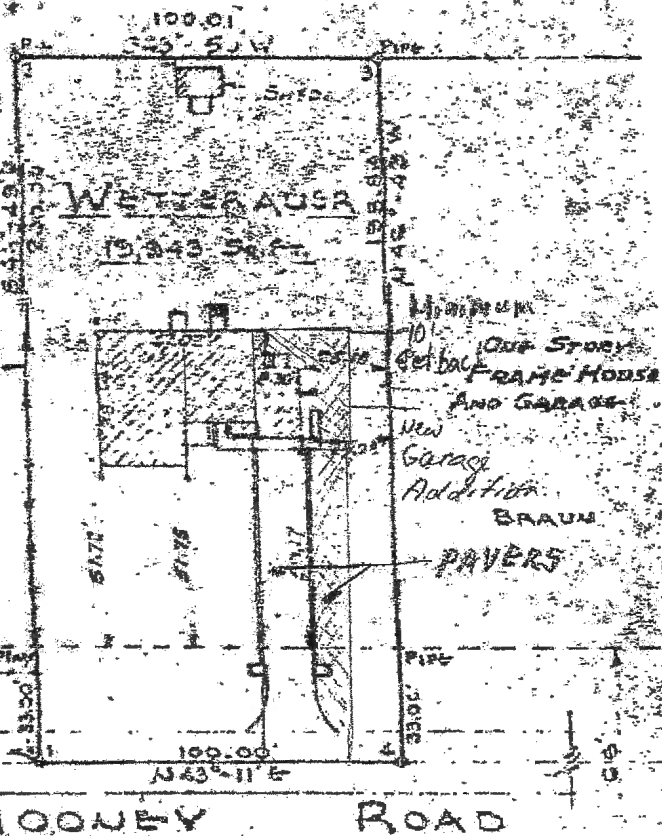
2100

p2

T 4
ch 34

BLOCK 34 - LOT 4

N.F. WILLETTS



L. FREUND

CORNER OF HEBBERT TO
WETTERAUER, AUG. 21, 1953,
C-29, PG. 285, AND

CORNER OF WILLETTS
BRAUN, ET AL, NOV. 1, 1956,
C-60, PG. 240.

MOONEY ROAD

LOCATION SURVEY ADDED
SEPTEMBER 24, 1963

CERTIFICATE - THIS SURVEY IS CERTIFIED
BY TRIUMPH FEDERAL SAVINGS AND LOAN
ASSOCIATION AND LAWYERS CLINTON
TITLE INSURANCE COMPANY
OF NEW JERSEY.

PROPERTY OF
HENRY G. WETTERAUER

AND
MARY P. WETTERAUER, HIS WIFE

ROXBURY TWP, MORRIS CO., N. J.
MAY 7, 1960

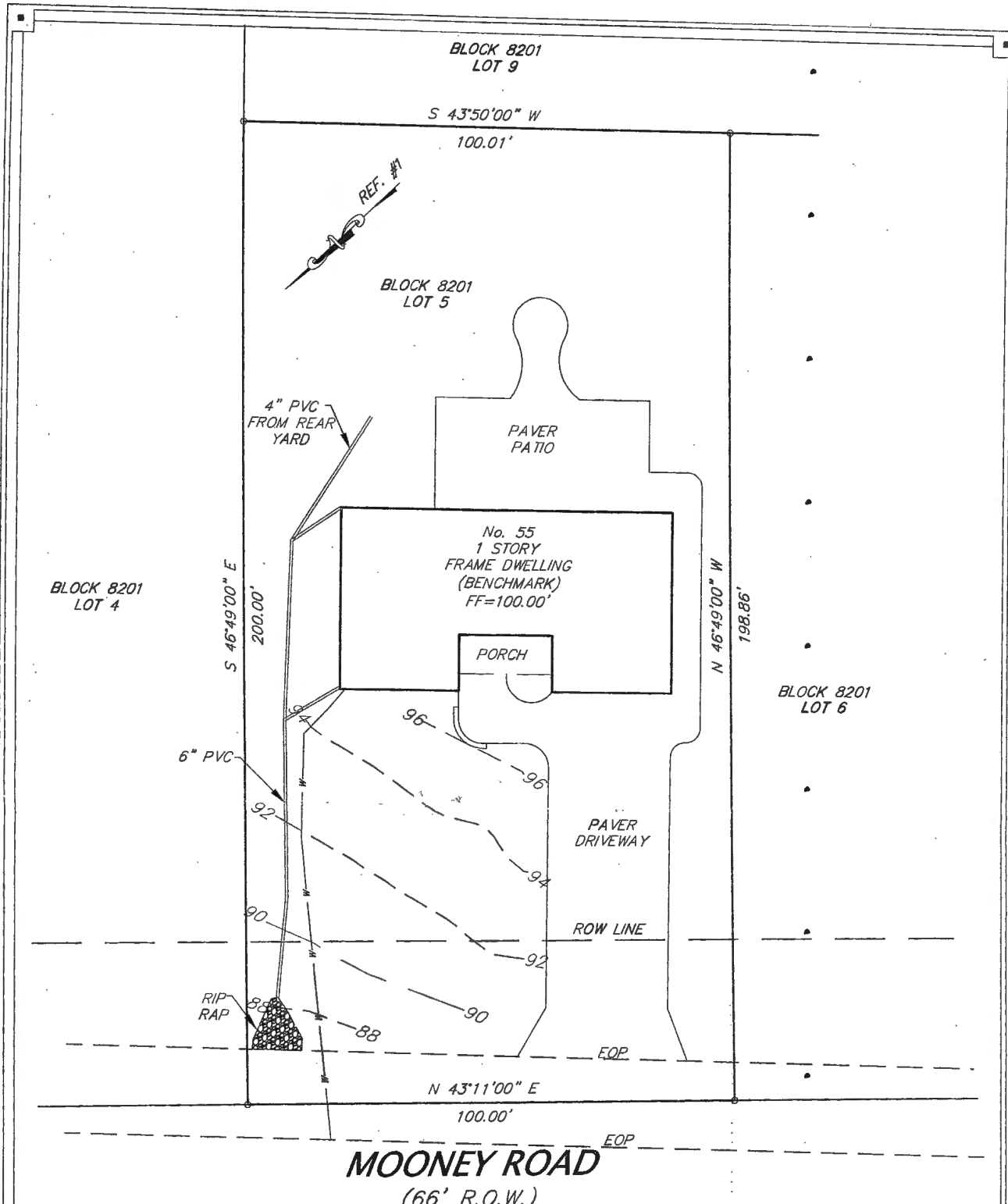
OFF ROXBURY
PERMIT
Paul J. [Signature]
[Stamp]

Received

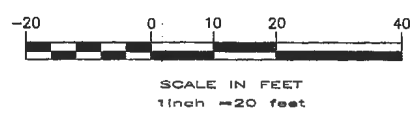
JUN 14 2024

Health Dept
Roxbury Township

55 Mooney Rd
Roxbury Twp.



1. THIS MAP IS NOT A BOUNDARY SURVEY. THE DWELLING LOCATION AND BOUNDARY GEOMETRY WERE TAKEN FROM "PROPERTY OF HENREY G. WETTERAUER AND MARY P. WETTERAUER, HIS WIFE, ROXBURY TOWNSHIP, MORRIS COUNTY, NEW JERSEY" DATED MAY 7, 1960, PREPARED AND SIGNED BY FRANK W. DUFFORD, NJPLS LIC. NO. 5242. THIS TOPOGRAPHY HAS BEEN GRAPHICALLY TIED TO THE GEOMETRY SHOWN ON THAT SURVEY.
2. THIS PLAN HAS BEEN PREPARED TO SHOW THE EXISTING TOPOGRAPHY ON A PORTION OF THE PROPERTY IN THE AREA OF ANTICIPATED CONSTRUCTION ACTIVITY.
3. CONTOURS HAVE BEEN GENERATED FROM FIELD WORK PERFORMED BY THIS OFFICE ON JUNE 4, 2024. VERTICAL DATUM OF THIS TOPOGRAPHIC STUDY IS BASED UPON BENCHMARK FIRST FLOOR F.F.=100.00'.



352 Route 46 West, East Hanover, NJ 07924
www.CareagaEngineering.com - Tel: 908.220.0000
State Board of Professional Engineers and Land Surveyors
NJ C of A # 246A2009000

Received PARTIAL TOPOGRAPHICAL
STUDY FOR:
ZAMORA PROPERTY
LOT 5, BLOCK 8201
SITUATED IN:
TOWNSHIP OF ROXBURY
MORRIS COUNTY, NEW JERSEY

JUN 14 2024
Health Dept
Roxbury Township

DATE: 6/6/24
DRAWN BY: RS

SCALE: 1" = 20'
CHECKED BY: CW

PROJECT NUMBER: 15943
BOOK: JEFF

CHARLES WORTINGTON
PROFESSIONAL LAND SURVEYOR LIC. NO. 246S03402600

into local electrical codes, as applicable.
side the pump tank to be located above
made of Schedule 40 PVC,
irtight.

3 dosing systems to be PVC Schedule 40
is of each lateral shall be capped and
top of the pie, to facilitate venting of
e pump chamber has been filled with
umping system operated to the
actor, and the Engineer.

ubmersible Sewage Pump, or equal, rated
trical control box to be Goulds Model
at controls (Two Goulds model A2-3
Off-Automatic switch. A Goulds A4-2
with light and horn, to be furnished and
ntral panel breaker, per all applicable

uniformly firm and stable compacted
event settlement. A crushed stone
upport to bottom of tank. All backfill
a, or organic material, and to be placed
it uneven settlement or damage to the
tions for all connecting pipes, and tank
ied prior to setting tank in ground.
ight, and coated with 2 coats of
and NJAC 7-9A-9.2 as applicable.
be supplied with written certification of
And shall be spread and compacted in
(f).

eatment);
i sieve) less than 15 percent by volume

ze fraction passing the particular sieve
n 80 and 100 percent must pass a No.
ent must pass a No. 16 sieve (1.18
a No. 30 sieve (0.6 mm); between 10
1.3 mm); and between two and 10
n); and
this chapter at the range of six to 20

disposal), the fill material shall meet the
or the following requirements:
nt by volume or less than 25 percent by

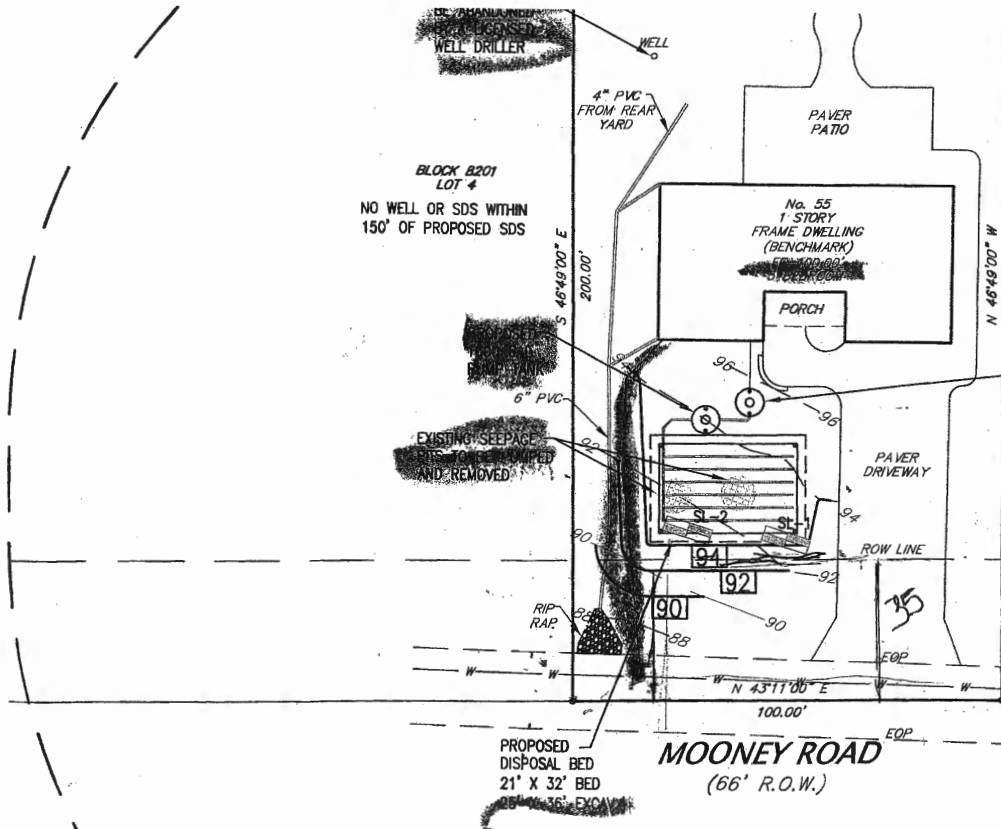
ze fraction passing the two millimeter

: or percolation rate faster then 30

and final backfill to be supplied per
above materials are to be installed per
f to the satisfaction of the Local Board

pection schedules and requirements prior
a backfilled until necessary Board of
: have been obtained.

Safety regulations must be followed
it not limited to potential sheeting and
vings are not intended to illustrate
excavation details, and it is the
actual site conditions and comply with



BLOCK 9103
LOT 6
NO WELL OR SDS WITHIN
150' OF PROPOSED SDS

BLOCK 9103
LOT 7
NO WELL OR SDS WITHIN

Service ID: 1760950

Document has not yet been reviewed and approved or denied by the NJ DEP. Deficiencies in submittal information or actual construction may result in denial.

WELL DECOMMISSIONING SUBMITTAL PDF

OWNER: Pedro Zamora
Pedro Aamora
55 Mooney Road, Ledgewood (Morris), New Jersey 07852
LOCATION: Pedro Zamora
Description: 15' from back of house, 133' to Mooney Road, 772' to Mountain Road
55 Mooney Road 7 Mechanic Street
Municipality: Roxbury Twp Lot: 5 Block: 8201
Northing(Y): 746588 Coordinate System: NJ State Plane (NAD83) - USFEET
Method: GPS Point of Reference: Well
Manufacturer: _____ Surveyor Name: _____
GPS Model: _____ Surveyor License #: _____
Accuracy: 14 Accuracy units: Feet

Domestic DATE WELL
DECOMMISSIONED: 08/22/2024
Decommissioning: No longer in use
Drilled? No New Well Permit Number: _____

DECOMMISSIONING INFORMATION

2500006443
#11 Drilling Company: BEATTY WELL DRILLING LLC
111 West End Ave, Hopatcong (Sussex),
Depth (ft.): 80 Address: New Jersey 07843
Consolidated Driller Name and Lic.: William Beatty, 0001632
Completed? Yes

Depth to Top (ft.)	Depth to Bottom (ft.)	Diameter (inches)	Material	Wgt./Rating/Screen Slot # (lbs/sch no.)
21	50	6	N/A	N/A
0	21	6	Steel	

TESTED

Depth to Top (ft.)	Depth to Bottom (ft.)	Outer Diameter (in)	Inner Diameter (in)	Material		
				Bentonite (lbs.)	Neat Cement (lbs.)	Water (gal.)
0	50	6	0		940	60



REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

382 Route 46 West
Budd Lake New Jersey 07828

State of NJ Certificate of Authorization #24GA28089000
State of NJ Home Improvement Contractor #13VH01143300

ite Plans/Subdivisions ~ Boundary/Topographic Surveys ~ Septic Design ~ Water Supply ~ Structural Design
Foundation Inspection/Design/Repair ~ Inspections and General Construction Services

LETTER OF TRANSMITTAL

Roxbury Health Department
72 Eyland Avenue
Succasunna, N.J. 07876

Date: 9/26/24 Job: 15943
Attention:
RE: Septic As-built
Lot 5, Block 8201
55 Mooney Road, Roxbury

SENDING YOU:

S	DATE	NO	DESCRIPTION
	9/26/24	15943	Septic As-built
	9/26/24	15943	Certificate of Compliance
	9/26/24	15943	Fill Cert

ARE TRANSMITTED as indicated below:

Application # Submit to: ☐ Other _____
requested _____
your review _____
approval _____

MARKS:

Received

SEP 30 2024

Health Dept
Roxbury Township

: Client Signed: DO

One Copy Each

Tested.
52"-136"
4.33- 11.33

90.67

T
E
S
T
E
D

83.6

ZOT = 88.23

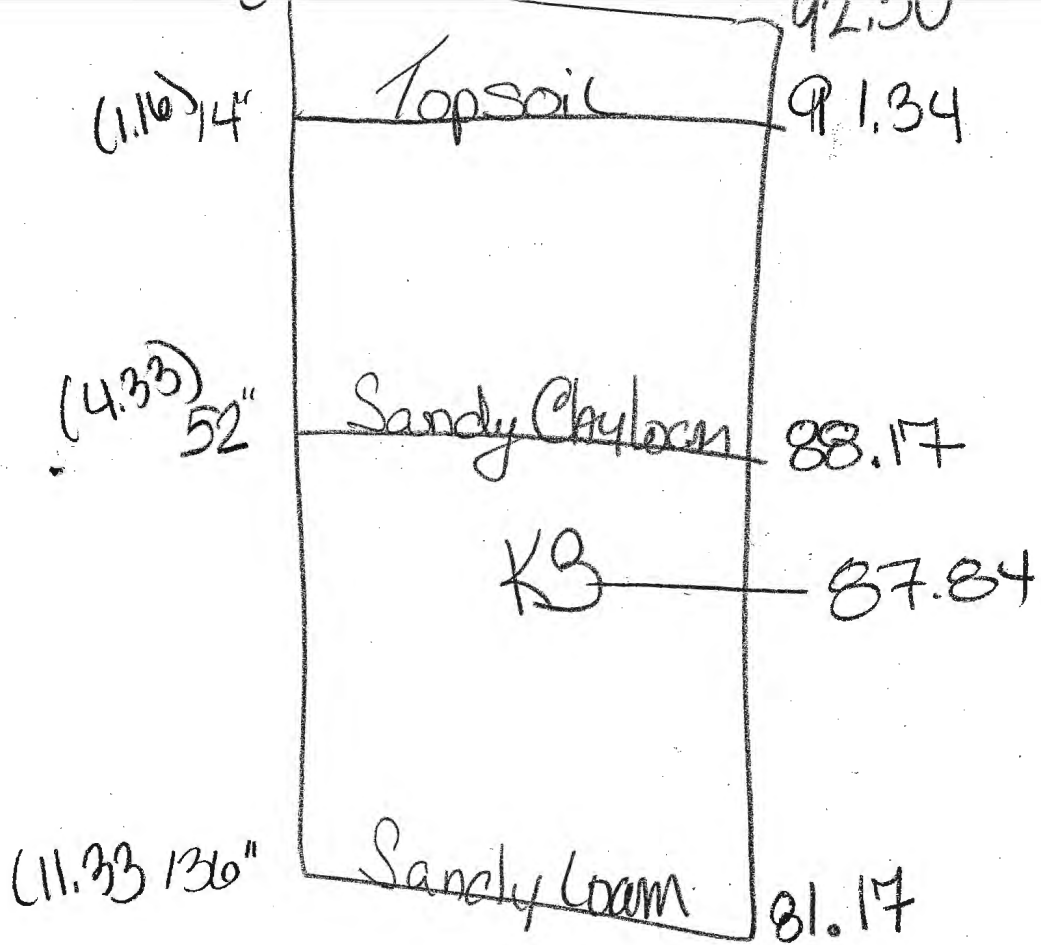
ZOD = 85.93 bottom exc

LOI = 92.23

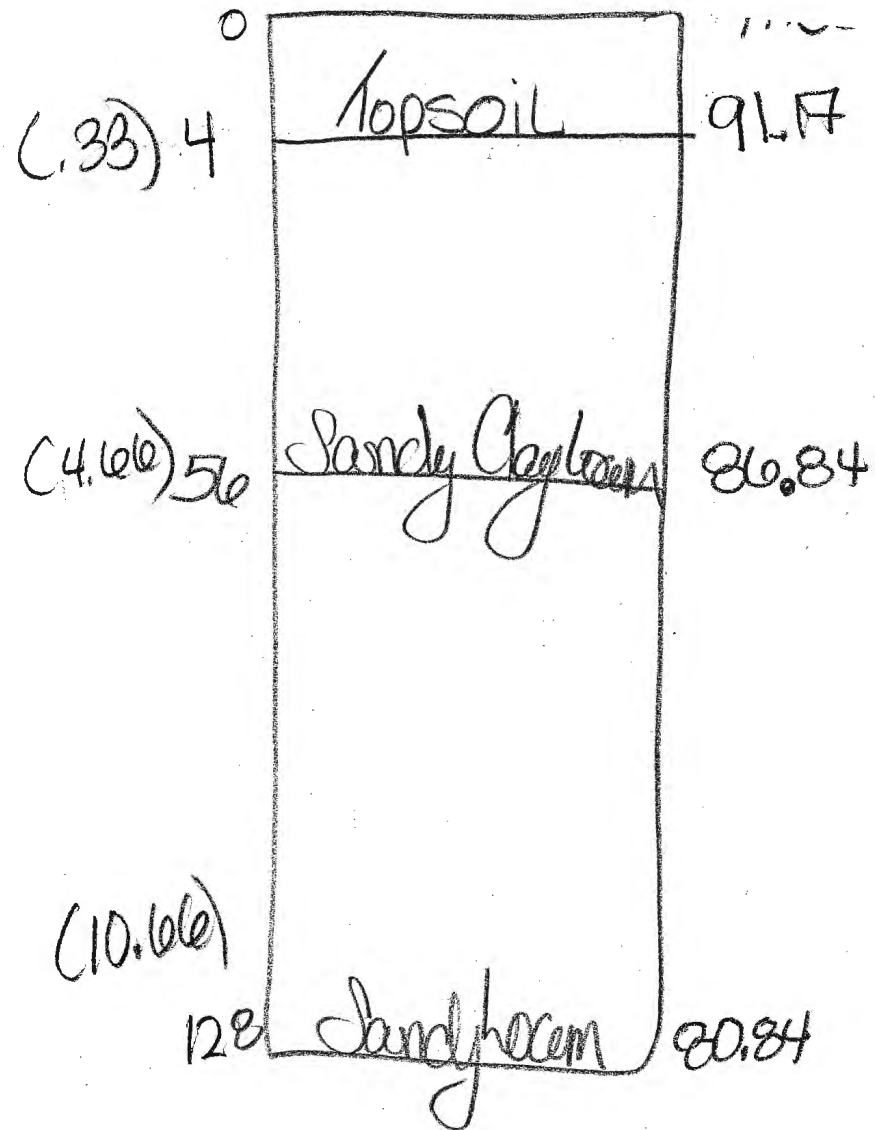
90.6

40.25

13.2
GRAIN



Sora @ 56 =
4.66



GRANVILLE CONCRETE
1076 ROUTE 10
RANDOLPH, NJ 07869

TANK WATER TIGHTNESS CERTIFICATION

Municipality Roxbury Township Block 8201 Lot 5

Owner/Applicant Pedro Zamora

All tanks, including risers and inspection ports to the highest joint, shall be tested for water tightness after installation and before backfilling in accordance with NJAC 7:9A-8.2(m).

Type and Size of Tank 1000gal pump

Water Tightness Test Used: Date Tested 8/29/2024

☐ Hydrostatic Test

☒ Vacuum Test

GRANVILLE CONCRETE PRODUCTS
1076 ROUTE 10
RANDOLPH, NJ 07869

Results:

☒ Pass

VACUUM TESTED

☐ Fail

☐ Pass retest (if fails and is repaired and retested, please describe below how tank was repaired)

I hereby certify that the tank was inspected and tested and meets the requirements of NJAC 7:9A-8.2.

☐ Engineer

☒ Manufacturer/Distributor

☐ Service Provider (ATU)

Bm Mave
Engineer's Signature and Seal

9/18/2024
Date

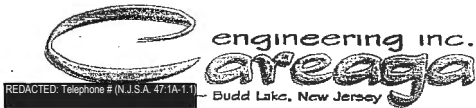
(or other WCHD approved certifier Name and Company)

QUICK SEPTIC

Received

SEP 30 2024

Health Dept
Roxbury Township



COUNTY/MUNICIPALITY
Morris/ Roxbury

Block 8201
Lots 5

SUITABLE FILL TEXTURAL ANALYSIS CERTIFICATION

Tube Permeameter Test Data

Job # 15943

Test Number 1 Replicate Letter A

Date Collected: 8/28/2024

TEXTURAL ANALYSIS:

	Sieve	Weight
80-100%	No. 8	91.8%
50-85%	No. 16	75.9%
25-60%	No. 30	41.4%
10-30%	No. 50	13.7%
2-10%	No. 100	6.0%
0-20%	Coarse Fragments	10.2%

Calculation of Permeability:

Percolation test result of : 4.3 min/in

Structure of Soil Samples Tested: Single Grain

Consistence of Soil Samples Tested: Dry: Loose
Moist:

Soil Permeability Class Rating K4

I hereby certify that the textural analysis, permeability, and compaction of the fill material meet the requirements of NJAC 7:9A-10.4(f)

I am aware that falsification of data is a violation of Water Pollution Control Act (N.J.S.A. 58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Soil Evaluator

Date: 9/26/2024

Signature of Professional Engineer

NJ License # 58973
For: Careaga Engineering Inc., Budd Lake, NJ 07828

for Certificate of Compliance

ality of -**Morris/Roxbury**

S: Part A is to be completely filled in for all Certifications. Only Part B or Part C will be
B will be completed if the administrative authority relies upon the certification signed and
Jersey licensed professional engineer that the system has been located, constructed, installed or
ance with the requirements of N.J.A.C. 7:9A-1 and the Application to Construct/Alter/Repair
bsurface Sewage Disposal System which was approved by the administrative authority. Part C
d if the administrative authority performs the certification.

Information

activities (Check applicable categories):

Construction

tion/No Expansion or Change of Use

tion/Expansion or Change in Use

tion/Malfunctioning System

tion from Standards

rs to Existing System

Project:

Roxbury - Lot 5 - Block - 8201

55 Mooney Road

resent Address of Applicant: **Pedro Zamora, 55 Mooney Road, Ledgewood, NJ 07852**

one Number

REDACTED - Telephone # (N.J.S.A. 47:1A-1.1)

sional Engineers Certification

penalty of law that the subsurface sewage disposal system identified in Pan A has been locate
installed or altered in compliance with the requirements of N.J.A.C. 7:9A-1 and the Application to
er/Repair an Individual Subsurface Sewage Disposal System which was approved by the
authority. I am aware that there are significant penalties for submitting false information, including
of fine and imprisonment

Signature License # 35973
aga, P.E.

cation by Administrative Authority

penalty of law that the subsurface sewage disposal system identified in Part A has been located,
stalled or altered in compliance with the requirements of N.J. A .C. 7:9 A -1 and the Application to
er/Repair an Individual Subsurface Sewage Disposal System winch was approved by the
authority. I am aware that there are significant penalties for submitting false information, including
of fine and imprisonment.

Signature Type of License Held

d or Printed) License Number

7:9A 119

Received

SEP 30 2024

Health Dept
Roxbury Township

ITEM	#	A	B
SEPTIC TANK	1	26.0'	14.8'
PUMP TANK	2	18.9'	21.8'
INSPECTION PORT	3	23.4'	32.6'
INSPECTION PORT	4	43.4'	48.9'
INSPECTION PORT	5	54.1'	43.8'
INSPECTION PORT	6	39.9'	24.4'

- UPON THE FINAL INSPECTION OF THE PROPERTY, THE SYSTEM WAS INSTALLED IN A MANNER THAT WILL PREVENT ANY INCREASE IN STORMWATER RUNOFF OR PONDING ONTO ADJOINING PROPERTIES.
- THE TANKS WERE INSPECTED AND MEET ALL REQUIREMENTS OF WATER TIGHTNESS.

MAINTENANCE PROCEDURES:

THE INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH NJAC 7:9A-12.2.

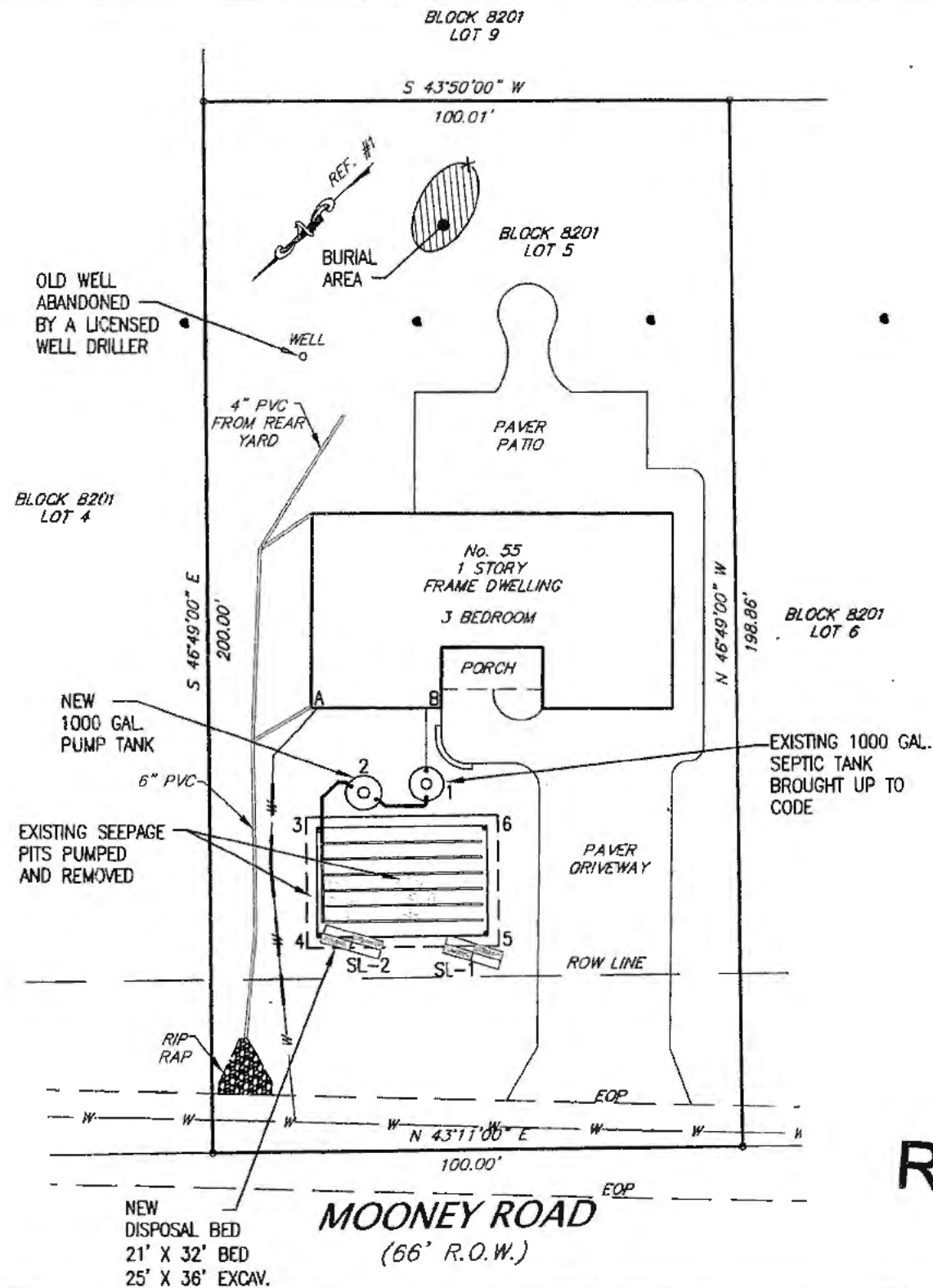
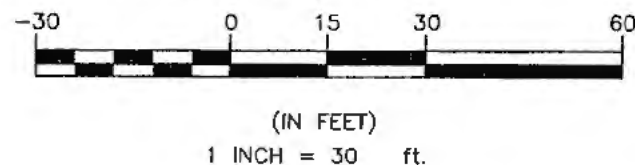
- THE TANK SHALL BE PUMPED EVERY 3 YEARS FROM TIME OF THE INSTALLATION COMPLETION.
- THE PL-250 EFFLUENT FILTER SHALL BE CLEANED EVERY TIME THE TANK IS CLEANED.
 - DO NOT USE PLUMBING WHEN FILTER IS REMOVED.
 - PULL THE FILTER OUT OF THE HOUSING.
 - HOSE SOLIDS OFF THE FILTER INTO THE SEPTIC TANK.
 - INSERT FILTER BACK INTO TEE/HOUSING.
 - REPLACE SEPTIC TANK COVER.

GENERAL NOTES:

- THIS MAP IS NOT A BOUNDARY SURVEY. THE DWELLING LOCATION AND BOUNDARY GEOMETRY WERE TAKEN FROM "PROPERTY OF HENREY G. WETTERAUER AND MARY P. WETTERAUER, HIS WIFE, ROXBURY TOWNSHIP, MORRIS COUNTY, NEW JERSEY" DATED MAY 7, 1960, PREPARED AND SIGNED BY FRANK W. DUFFORD, NJPLS LIC. NO. 5242.
- EXCAVATOR - QUICK SEPTICS
- NO SPRINKLER INSTALLATION ALLOWED OVER BED AREA AFTER CONSTRUCTION.

DISPOSAL BED SITE PLAN VIEW

GRAPHIC SCALE



Received

SEP 30 2024

Health Dept
Roxbury Township
SEPTIC SYSTEM AS-BUILT

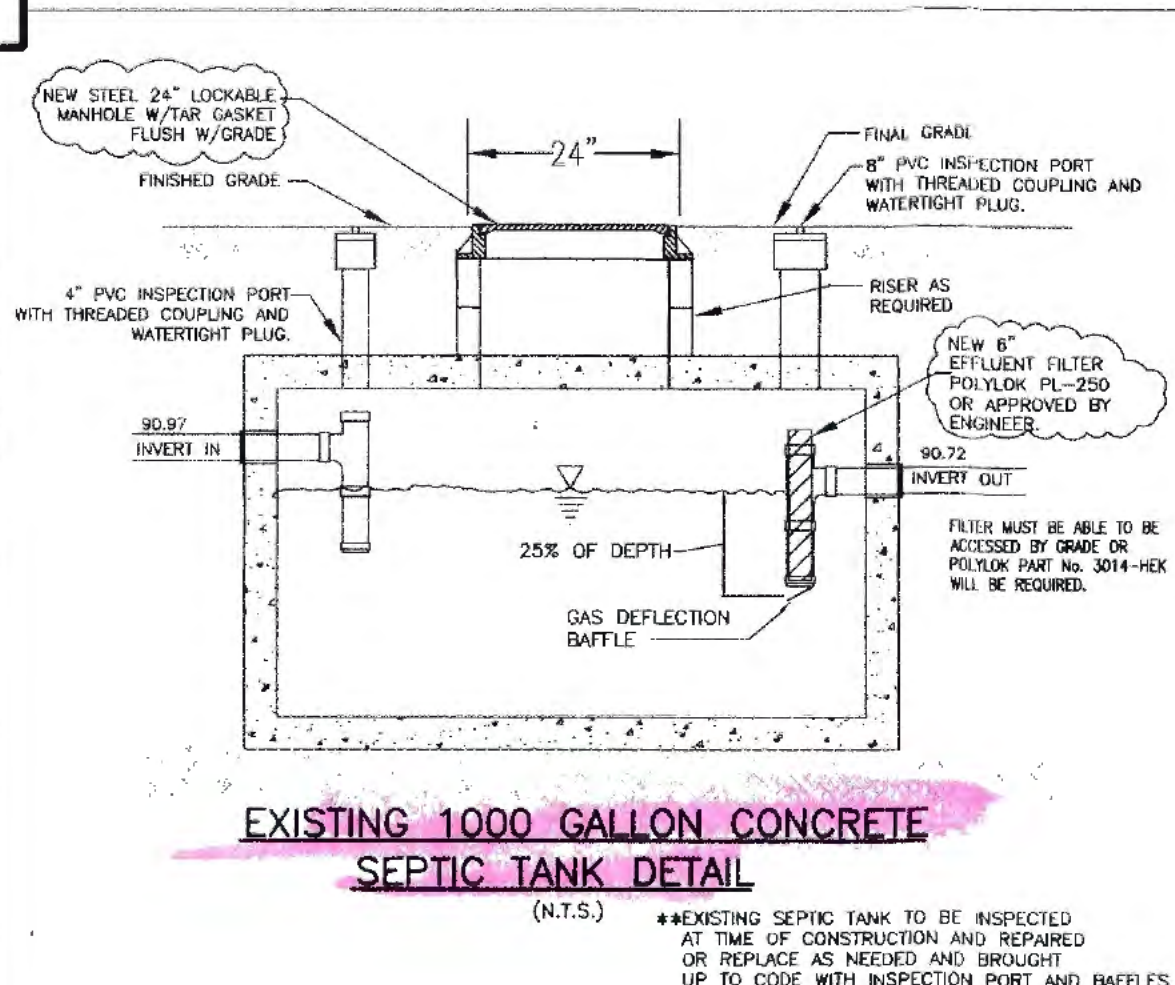
FOR:

55 MOONEY ROAD
LOT 5 BLOCK 8201
TOWNSHIP OF ROXBURY
MORRIS COUNTY, NEW JERSEY

NUMBER	DATE	DESCRIPTION
CLIENT:		
		PEDRO ZAMORA
		55 MOONEY ROAD
		LEDGEWOOD, NJ 07852
		REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Careaga
382 Route 46 West, Equity Plaza Suite 5, Budd Lake, NJ 07826
www.CareagaEngineering.com • Fax: REDACTED Telephone # REDACTED Telephone # (N.J.S.A. 47:1A-1.1)
State Board of Professional Engineers and Land Surveyors
N.J.E.O.P. # 246A2/008000
JEFFREY J. CAREAGA
PROFESSIONAL ENGINEER, N.J. LIC. NO. 35973

DATE: 9/26/24	SCALE: 1" = 30'	PROJECT NUMBER: 15943
DRAWN BY: DO	CHECKED BY: JJC	SHEET: # 1 of # 1



Water tightness testing. Notes: All tanks, including clean and inspection ports to the highest point, shall be tested by a professional engineer or the manufacturer for water tightness after installation and before backfilling with hydrostatic or vacuum tests in accordance with the following:

1. Water tightness testing procedures and criteria for concrete tanks shall follow the methods described in American Standard Testing Method (ASTM) C-1227 standards incorporated by reference, as amended, or the National Precast Concrete Association (NPCA) testing criteria and procedures specified in its Precast Concrete On-site Water-tightness Test Best Practices Manual incorporated by reference, as amended. The ASTM methods can be obtained at: <http://www.astm.org/Standards/C1227.htm> and the NPCA methods may be obtained at: <http://www.precast.org/technical-services-overview>
2. Tanks made of materials other than concrete shall be tested, after installation, in accordance with the methods described in ASTM C-1227 standards, if applicable, or other hydrostatic or vacuum testing methods approved by the tank manufacturer.
3. Water used for this testing shall be either from a potable water source or reclaimed water for beneficial reuse authorized by an NJDEP permit.
4. The use of an onsite potable well for purposes of supplying water for this testing is not recommended.
5. If an onsite potable well is to be used, withdrawal of water from the well shall be at a rate of less than 50 percent of the design yield of the well and in a manner that will avoid damage to the pump or any other part of the well.

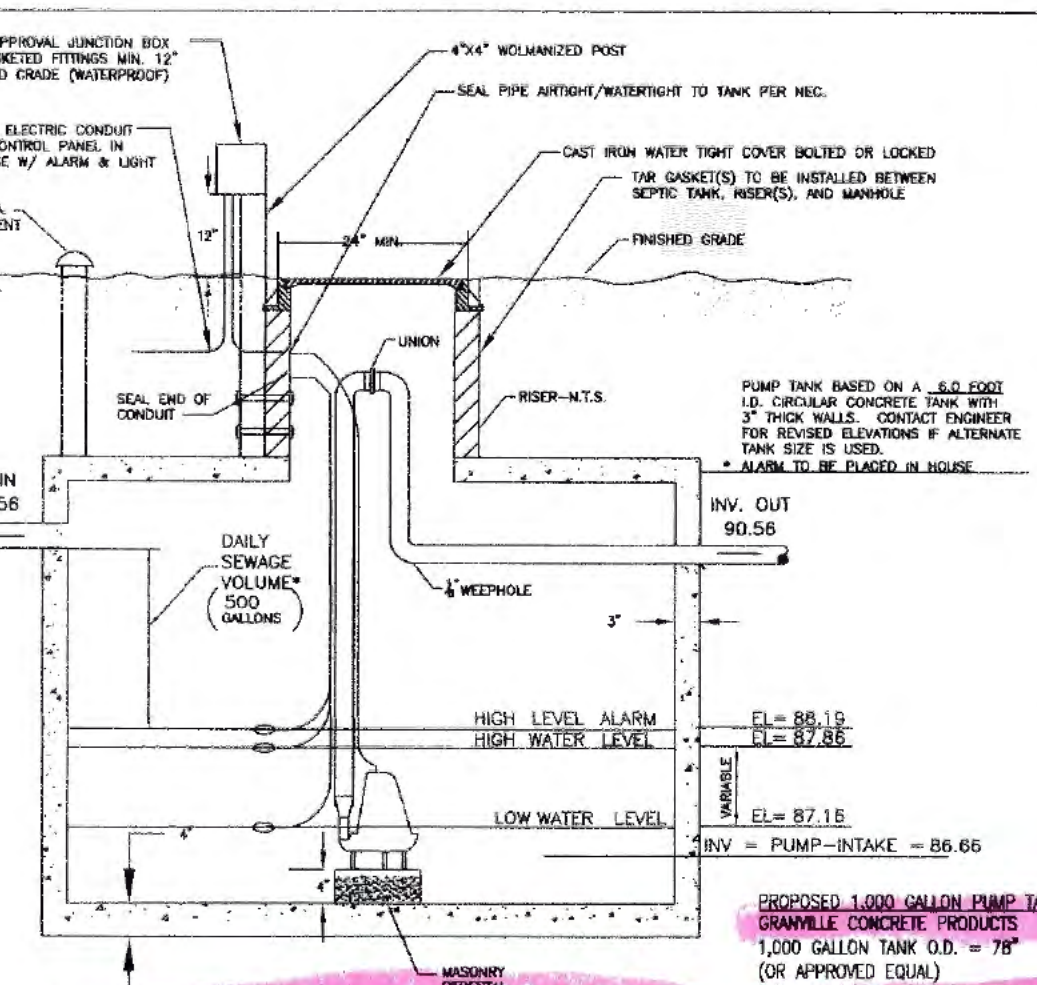
- INSTALLATION NOTES:
1. All equipment, material, and installation procedures to conform to current NJDEP, NJAC 7:9A et. seq. for Standards for Individual Subsurface Disposal Systems. The contractor shall be responsible for verifying that all equipment, material, and installation procedures conform to applicable State and Local standards prior to installation of system. All plumbing in dwelling to be connected to the proposed septic tank. Any existing grey water or black water areas to be pumped and abandoned.
2. Any field change in pipe or equipment dimensions, equipment sizing, or elevations to be approved by Engineer and Local Board of Health. Contractor is to inform Engineer of any changes prior to installation of any system components or materials.
3. Electrical wiring to be installed under direct supervision of a licensed electrical contractor, according to current NEC, State, and Local electrical codes, as applicable.
4. All electrical connections, boxes, and conduit inside the pump tank to be located above the influent pipe entering the tank and to be made of Schedule 40 PVC, manufactured for electrical use, and to be watertight.
5. All pipe networks for both gravity and pressure dosing systems to be PVC Schedule 40 with watertight solvent welded joints. The ends of each lateral shall be capped and drilled with a horizontal 1/8" hole, near the top of the pipe, to facilitate venting of air. The piping shall be left exposed until the pump chamber has been filled with water, the piping verified leakproof, and the pumping system operated to the satisfaction of the local Board of Health Inspector, and the Engineer.
6. Septic effluent pump (Goulds 3887 1/2 HP Submersible Sewage Pump, or equal, rated for 74 GPM, at 10.0 feet of water head. Electrical control box to be Goulds Model A3-2012 or equal, furnished with separate float controls (two Goulds model A2-3 floats) for pump on-pump off, and a Hand-Off-Automatic switch. A Goulds A4-2 high level alarm float and annunciator panel with light and horn, to be furnished and installed on a separate breaker than pump control panel breaker, per all applicable NJAC 7:9A et. seq. and local requirements.
7. Contractor to install all concrete tanks on a uniformly firm and stable compacted ground to prevent damage to tank and to prevent settlement. A crushed stone bedding is recommended to provide uniform support to bottom of tank. All backfill around tanks to be free of large stones, roots, or organic material, and to be placed and compacted in a manner which will prevent uneven settlement or damage to the tank, per State and Local requirements. Elevations for all connecting pipes, and tank installation elevations to be checked and verified prior to setting tank in ground.
8. Septic tank(s) and pump tank(s) to be watertight, and coated with 2 coats of acceptable material, of section NJAC 7:9A-6.2 and NJAC 7:9A-6.2 as applicable.
9. Suitable fill material as noted on the plan, to be supplied with written certification of conformance to NJAC 7:9A-10.1 (14) and (15). All shall be spread and compacted in layers one foot maximum per NJAC 7:9A-10.4(f).
- 7:9A-10.1 (14) (Fill Material within Zone of Treatment):

- i. Coarse fragment content (greater than a No. 8 sieve) less than 15 percent by volume or less than 20 percent by weight;
- ii. Textural analysis (composition, by weight, of size fraction passing the particular sieve as stated below in this subparagraph) between 80 and 100 percent must pass a No. 8 sieve (2.36 mm); between 50 and 85 percent must pass a No. 16 sieve (1.18 mm); between 25 and 60 percent must pass a No. 30 sieve (0.6 mm); between 10 and 50 percent must pass a No. 50 sieve (0.3 mm); and between two and 10 percent must pass a No. 100 sieve (0.15 mm); and
- iii. Permeability for this material is established in this chapter of the range of six to 20 inches per hour for design purposes.
- 7:9A-10.1 (15) (Fill Material within Zone of Disposal): the fill material shall meet the specifications in NJAC 7:9A-10.1 (14) above or the following requirements:
- i. Coarse fragment content less than 15 percent by volume or less than 25 percent by weight; and
- ii. Textural analysis (composition, by weight, of size fraction passing the two millimeter sieve): 85 percent or more sand; and
- iii. Permeability greater than two inches per hour; or percolation rate faster than 30 minutes per inch.

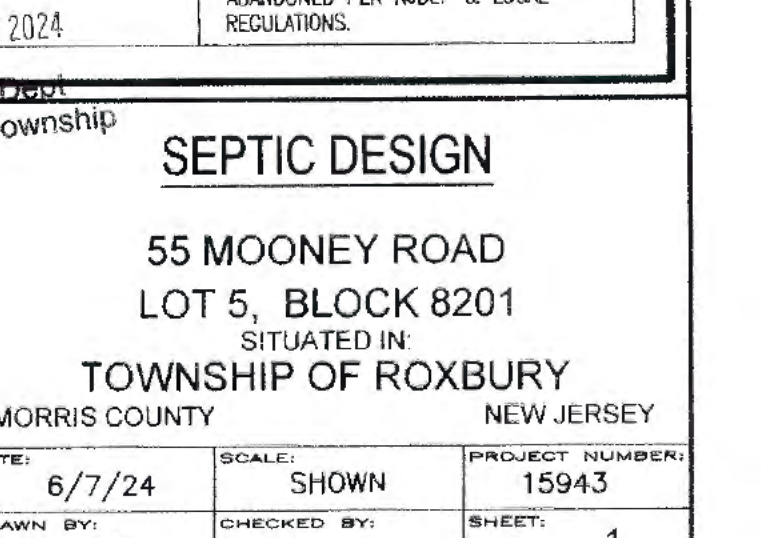
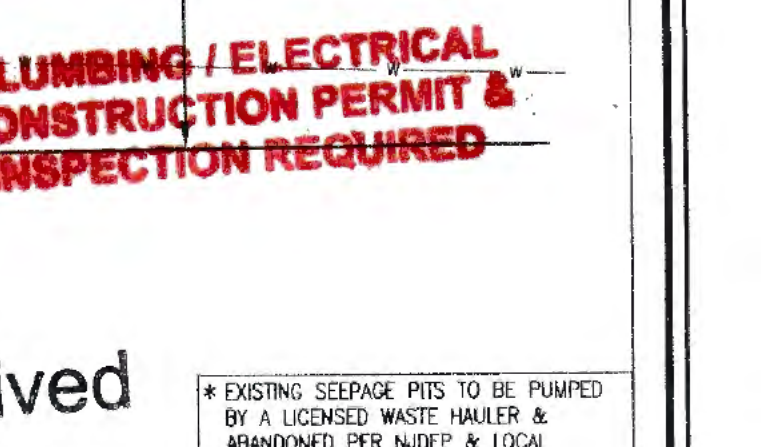
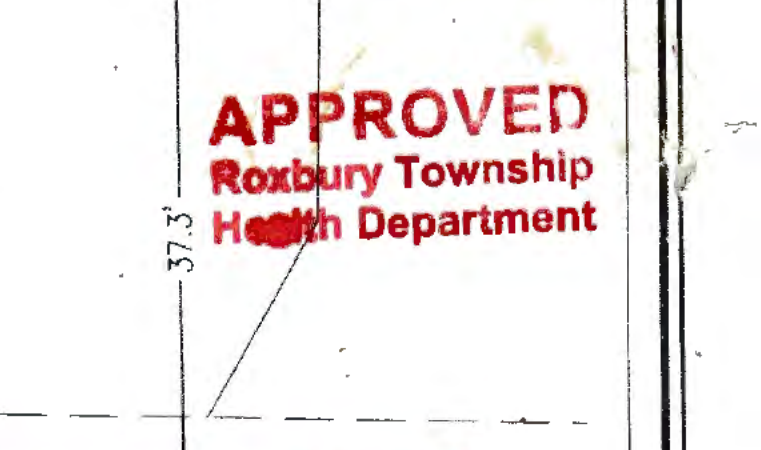
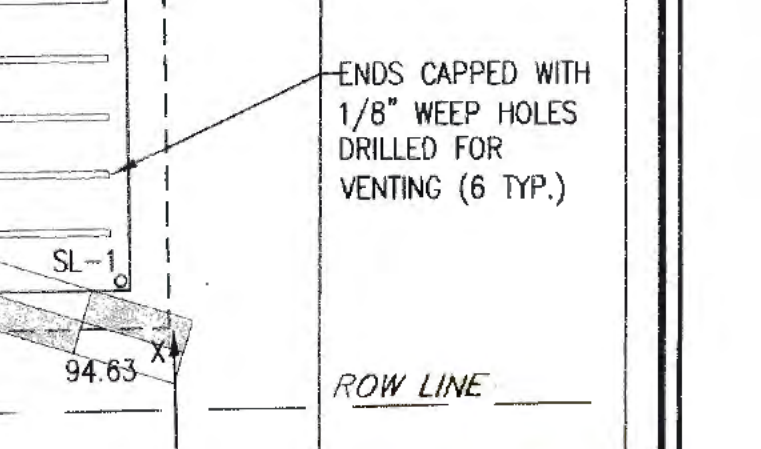
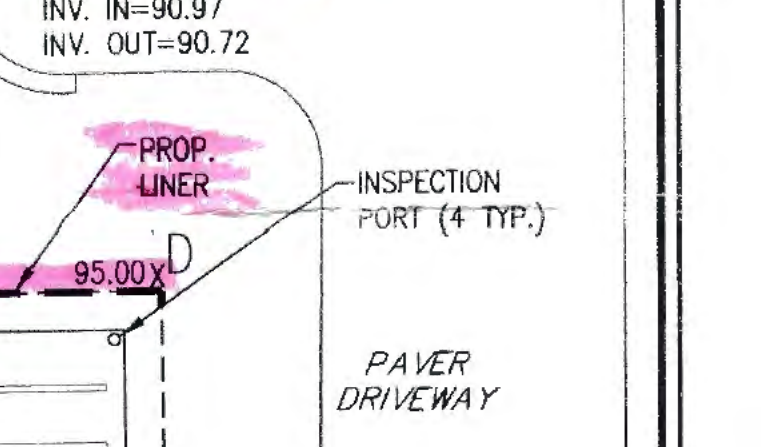
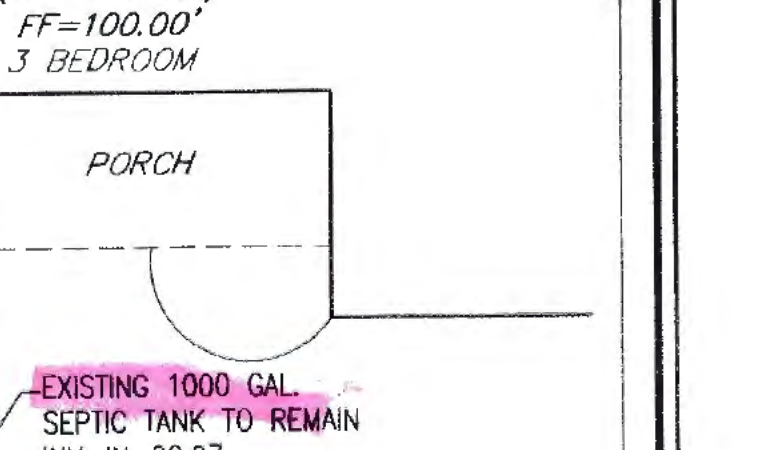
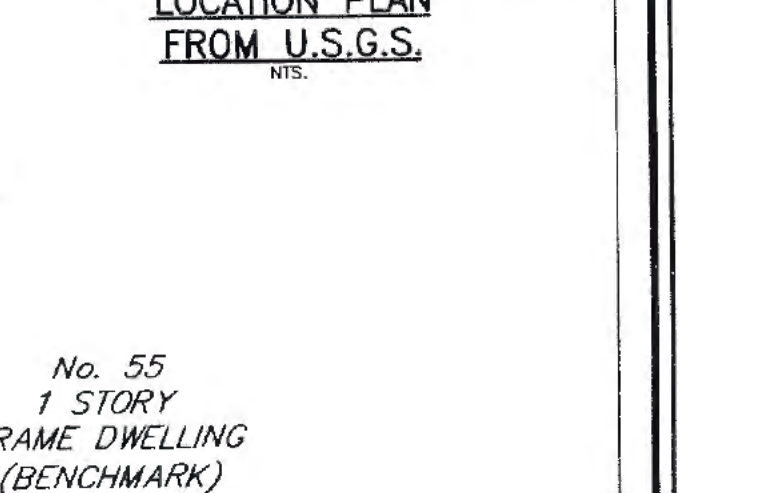
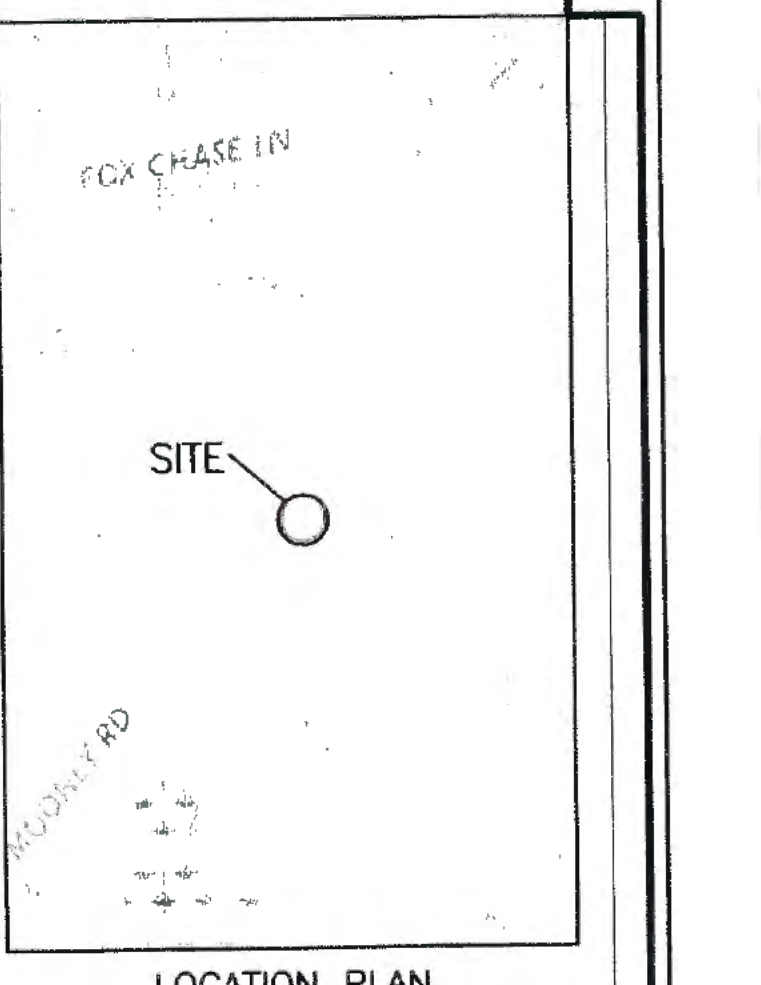
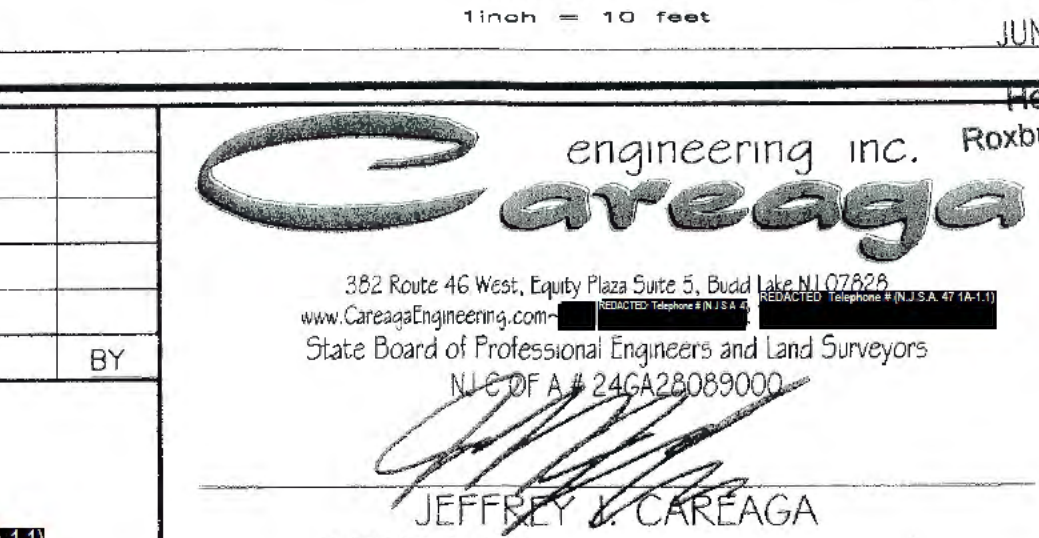
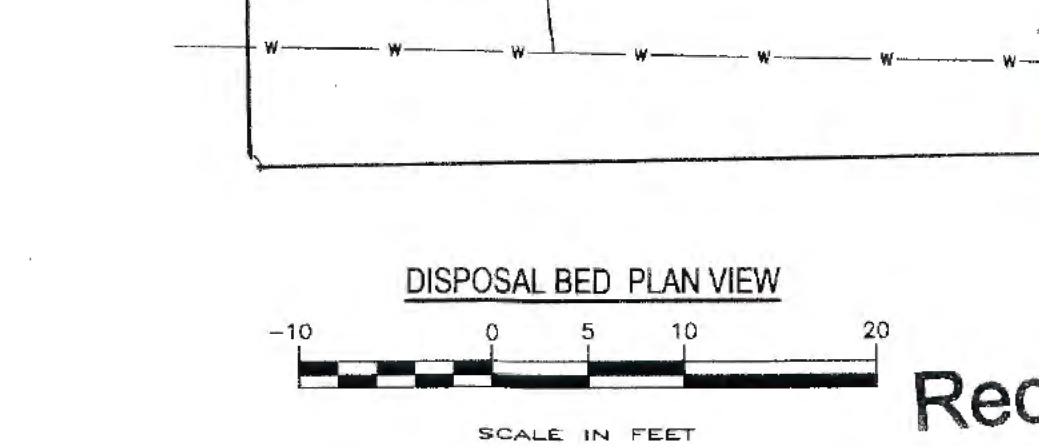
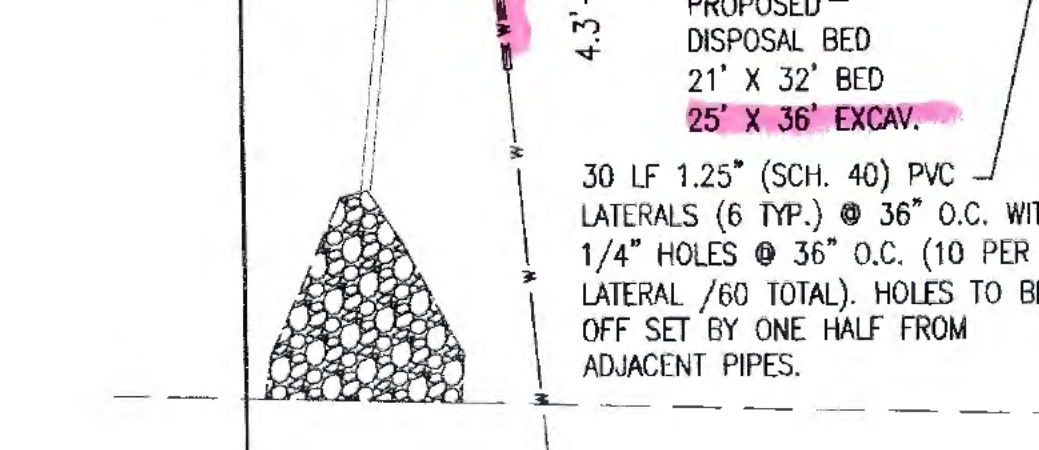
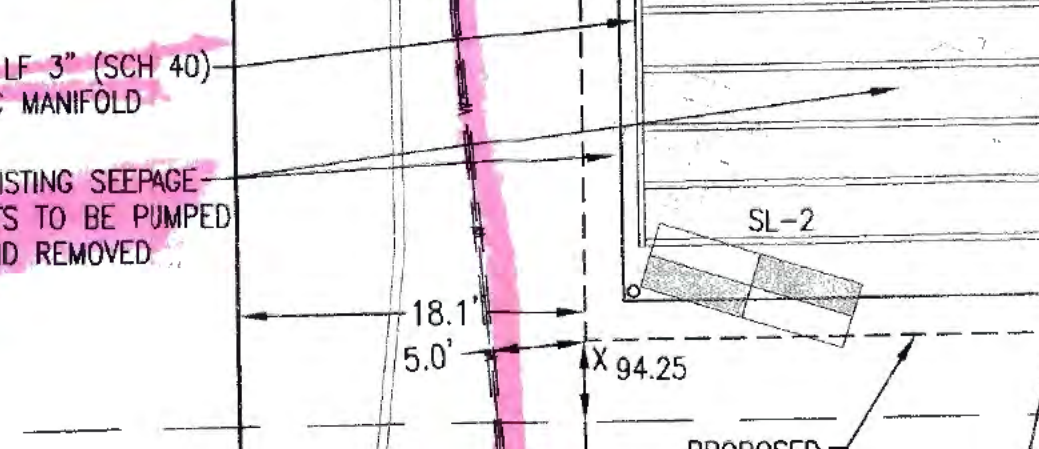
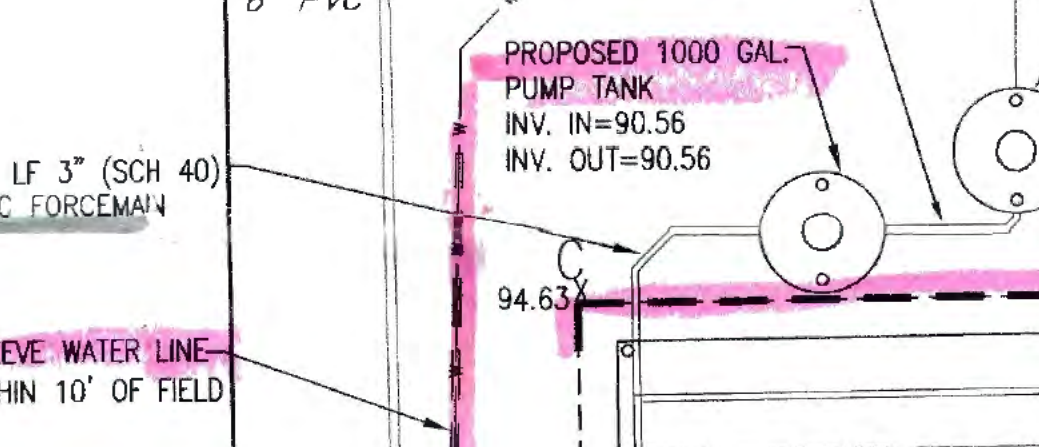
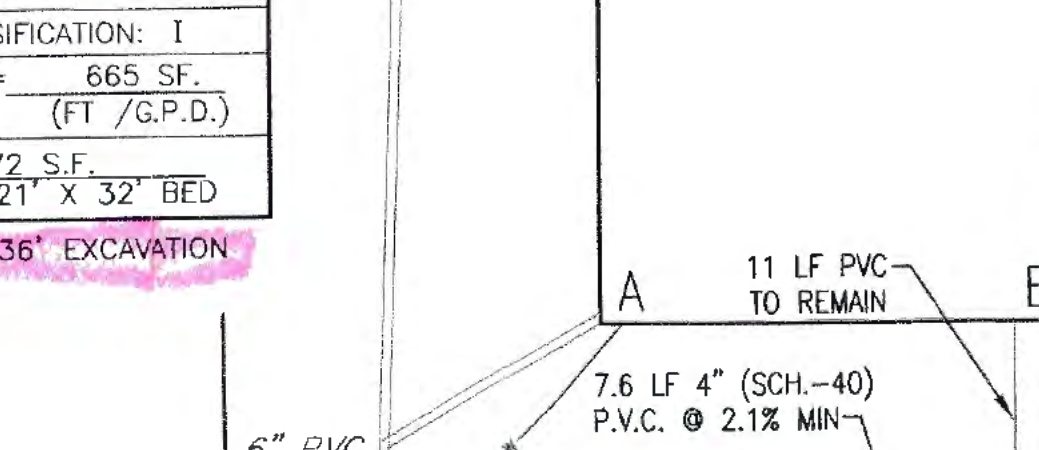
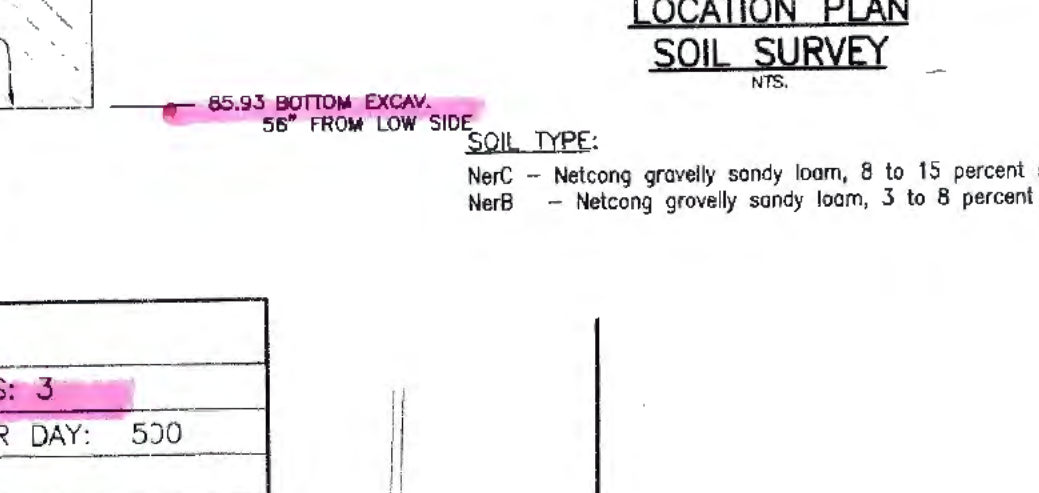
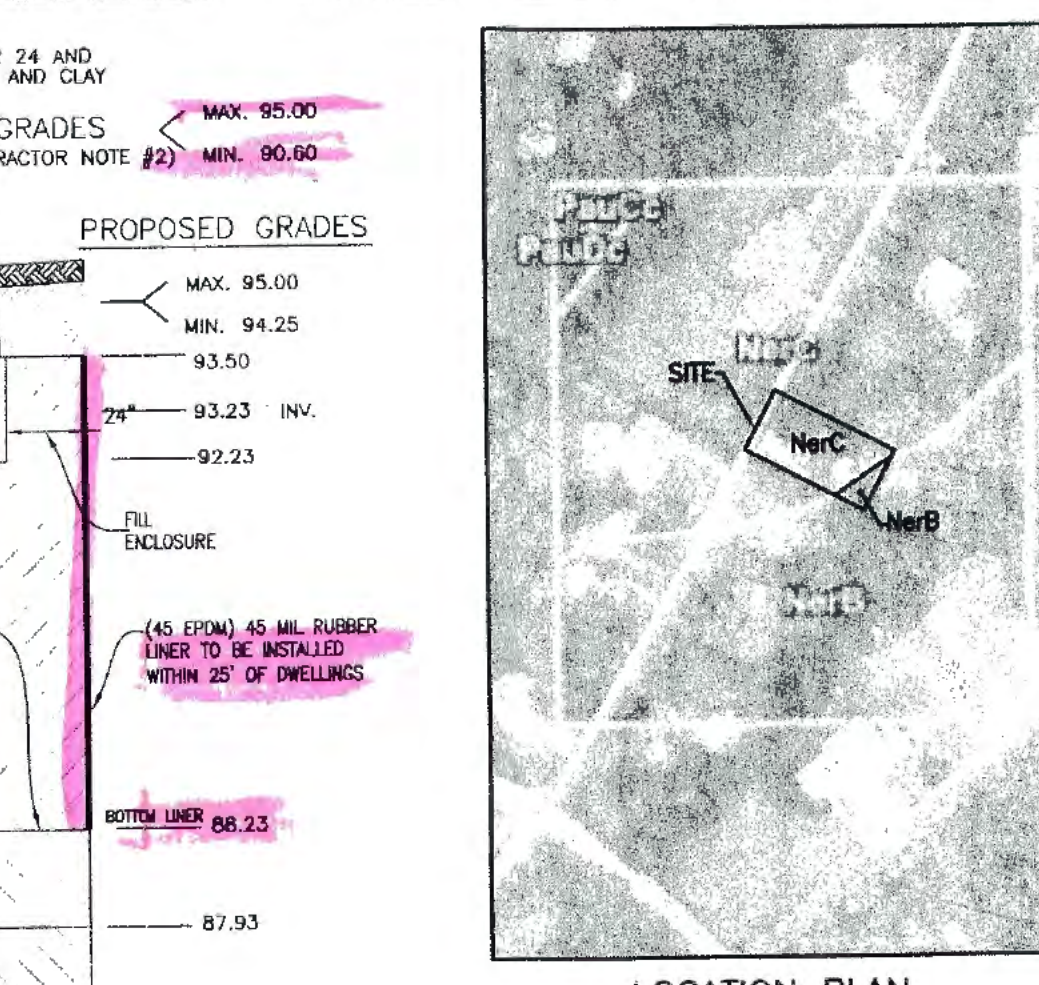
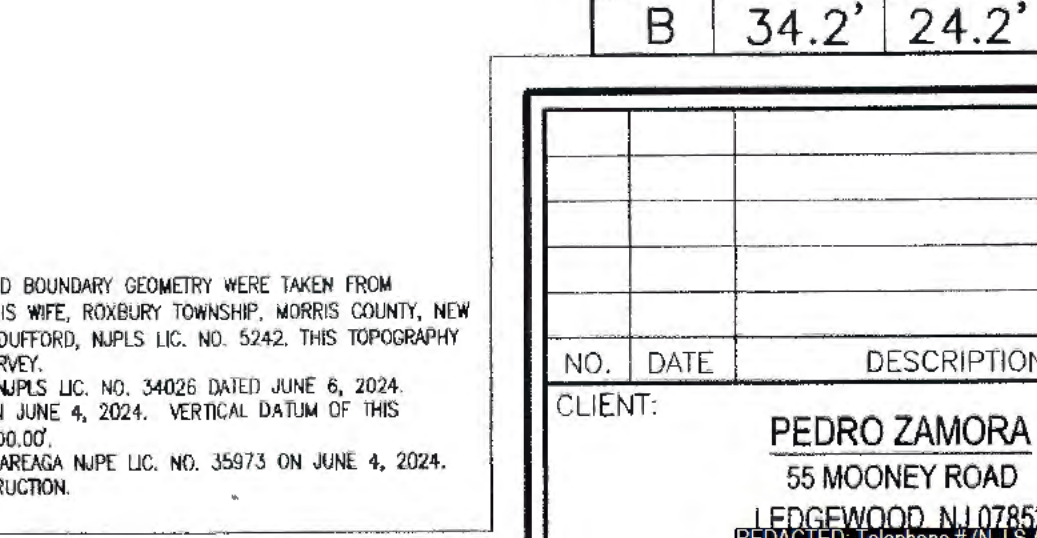
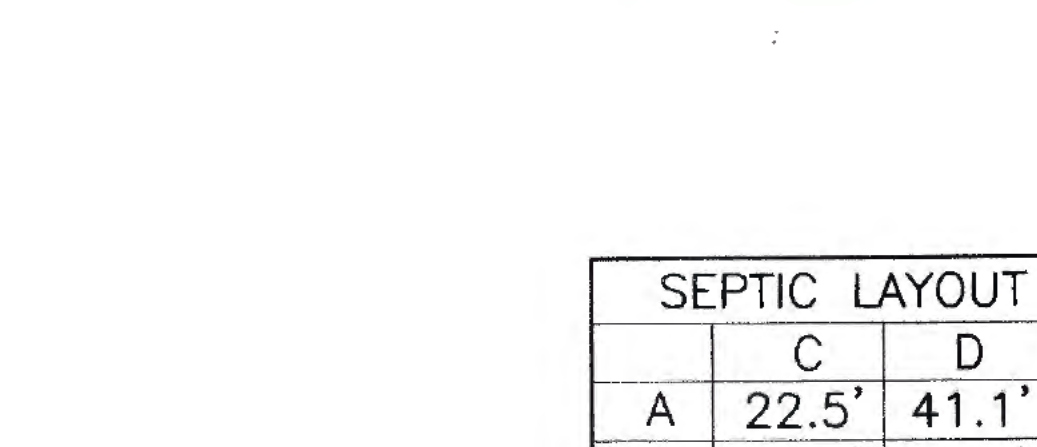
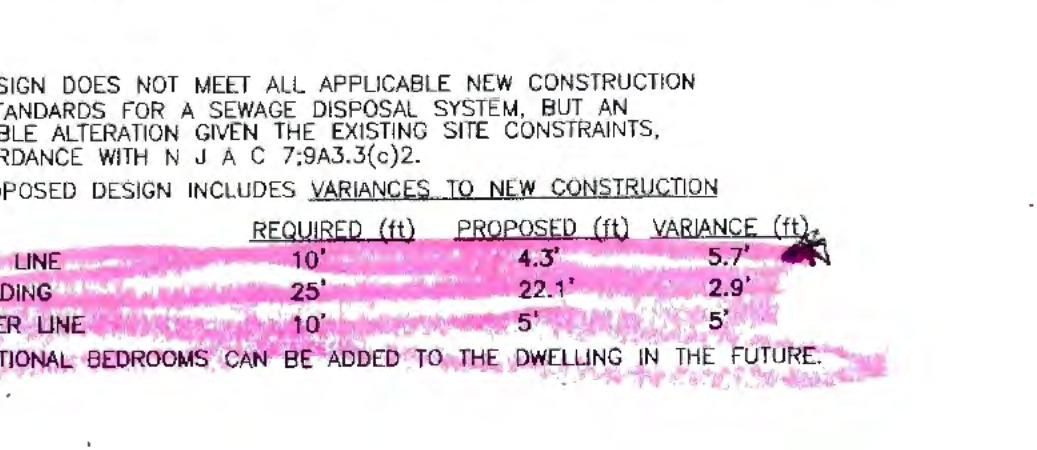
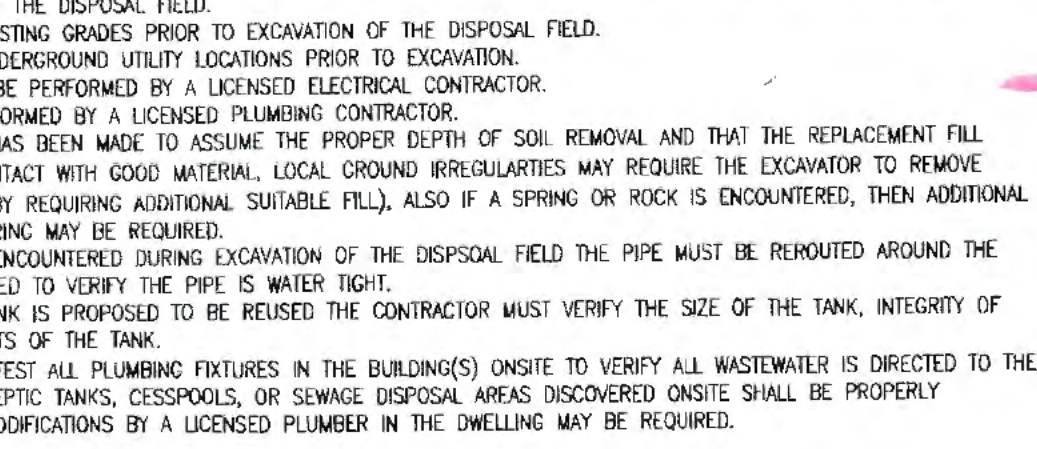
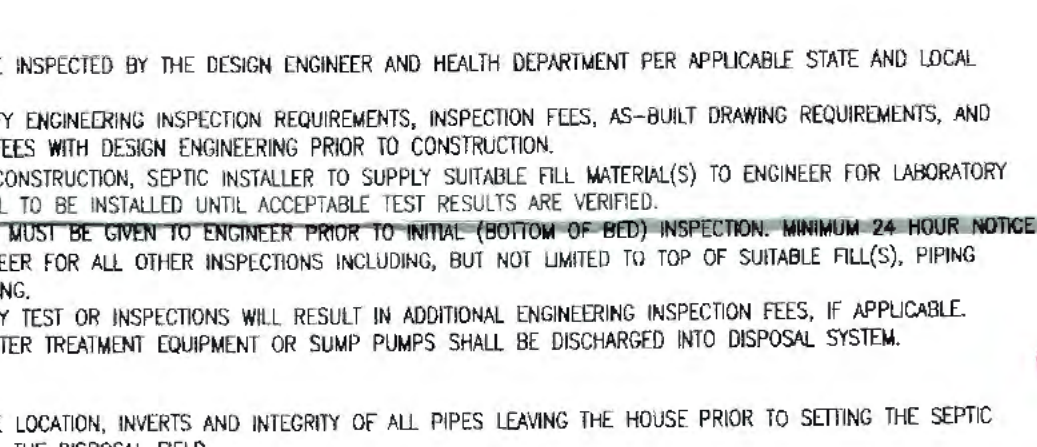
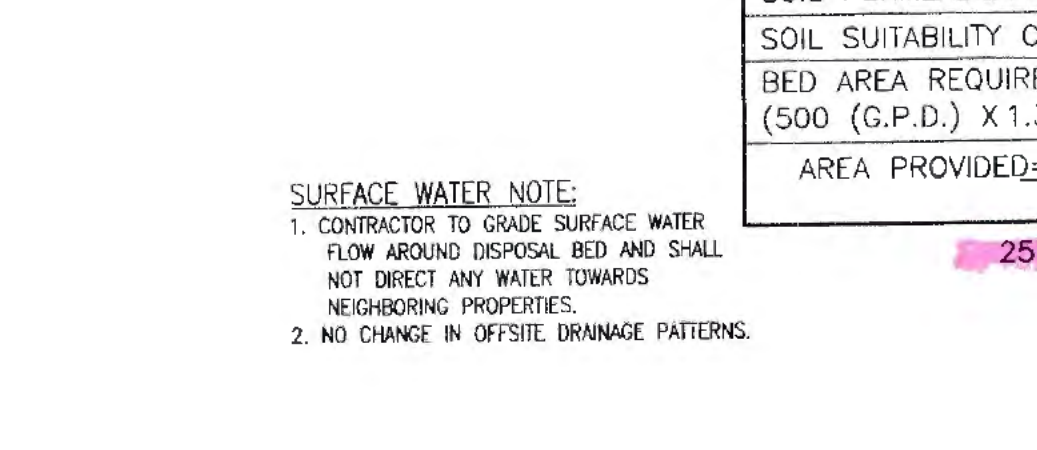
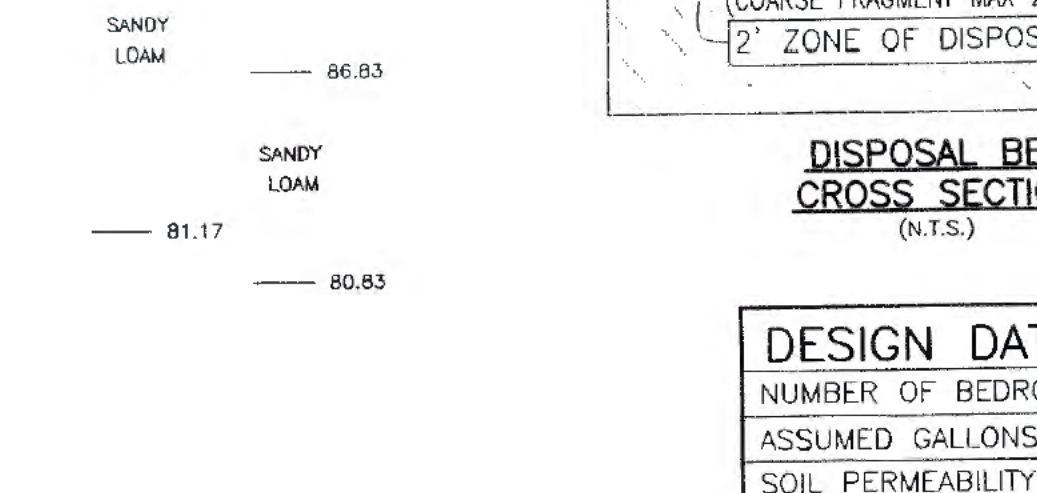
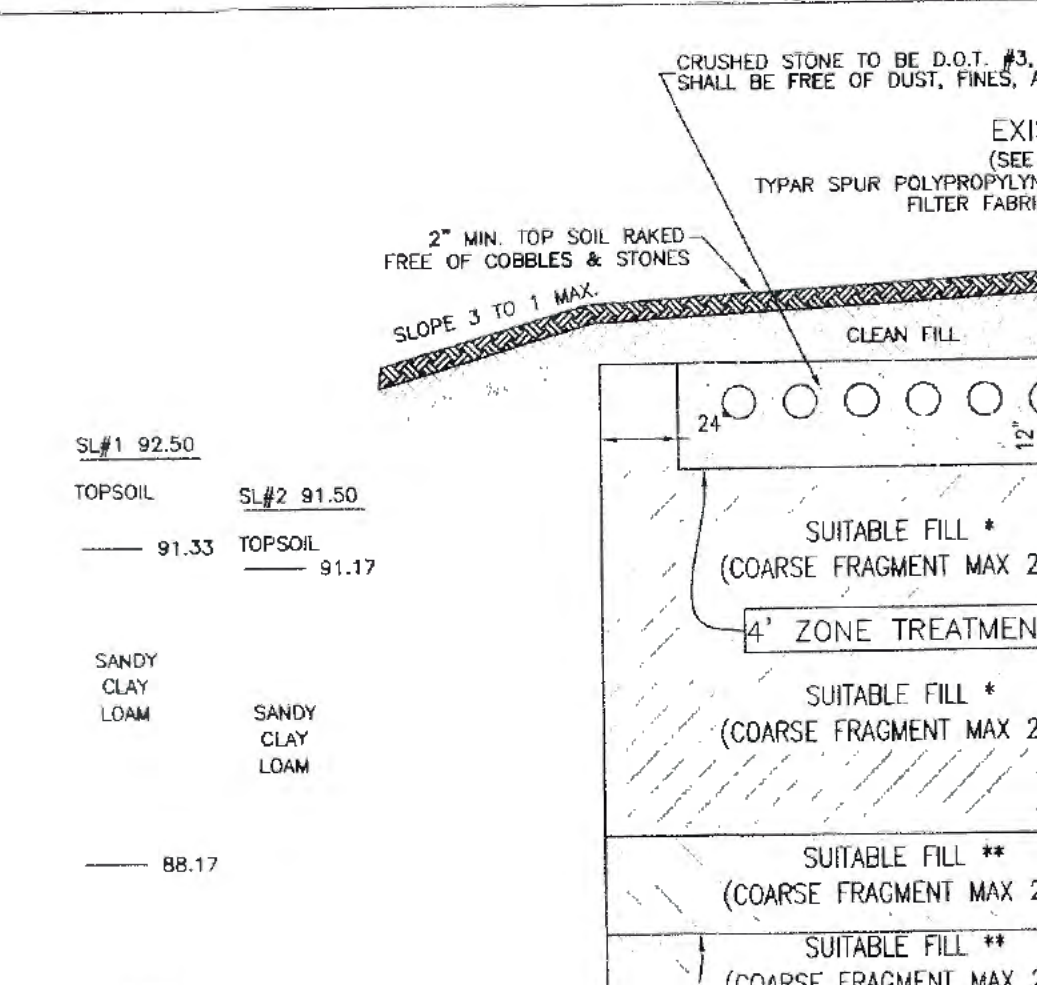
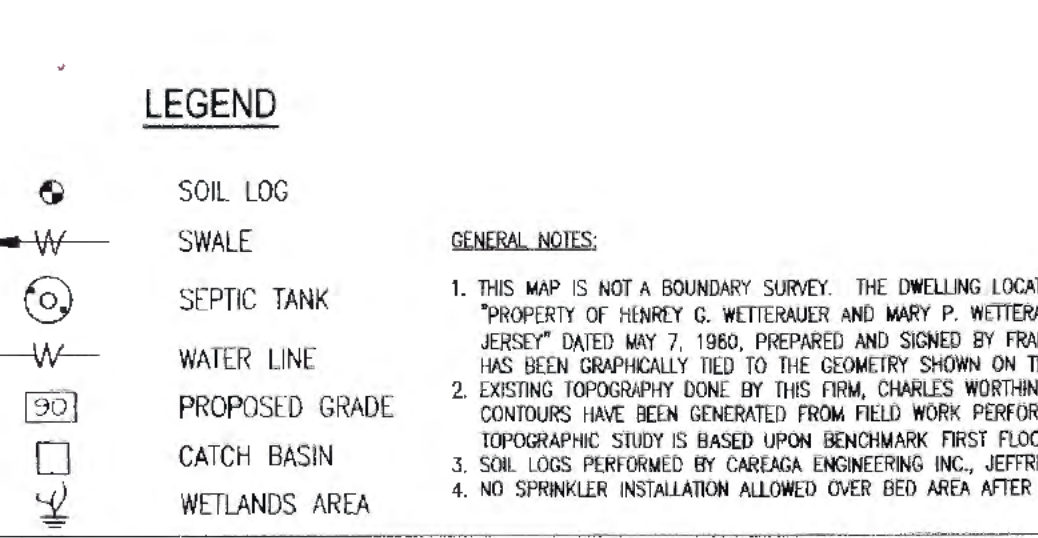
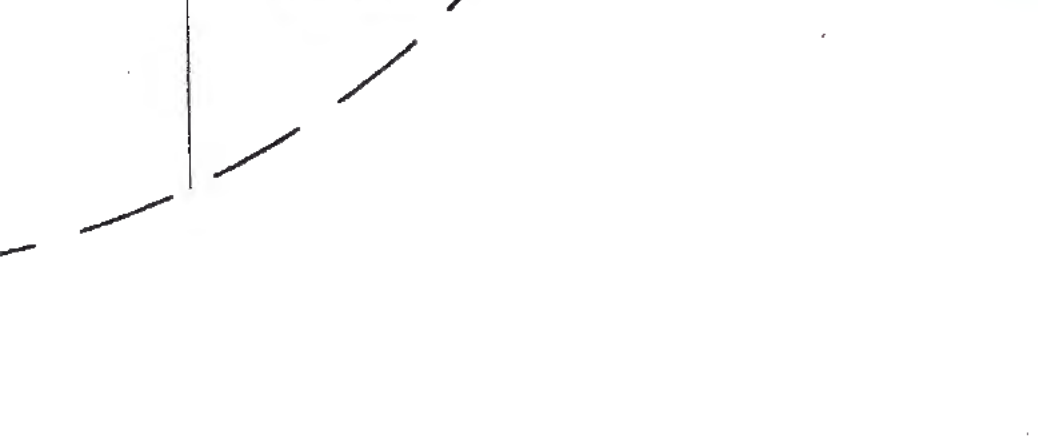
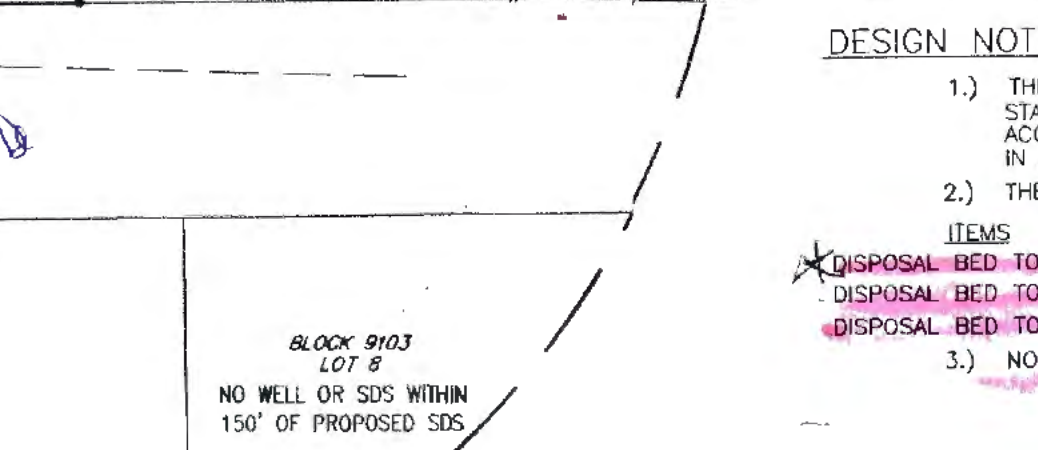
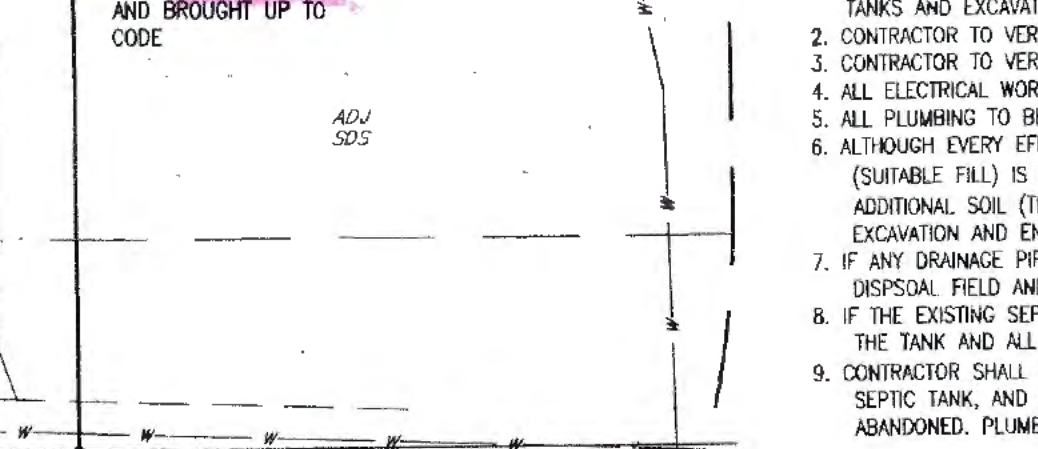
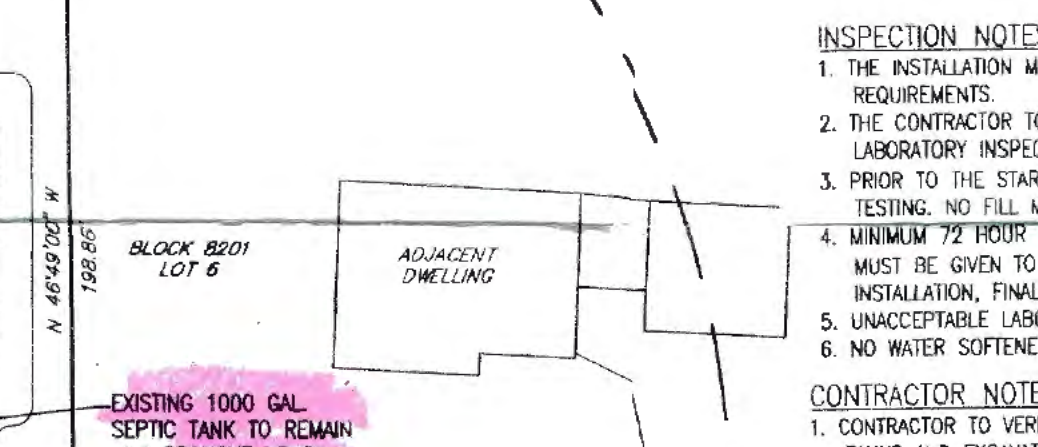
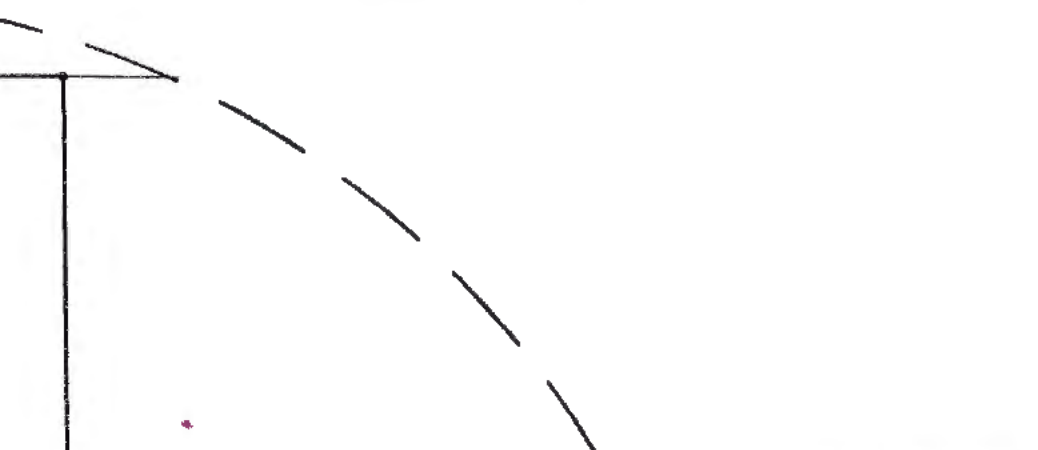
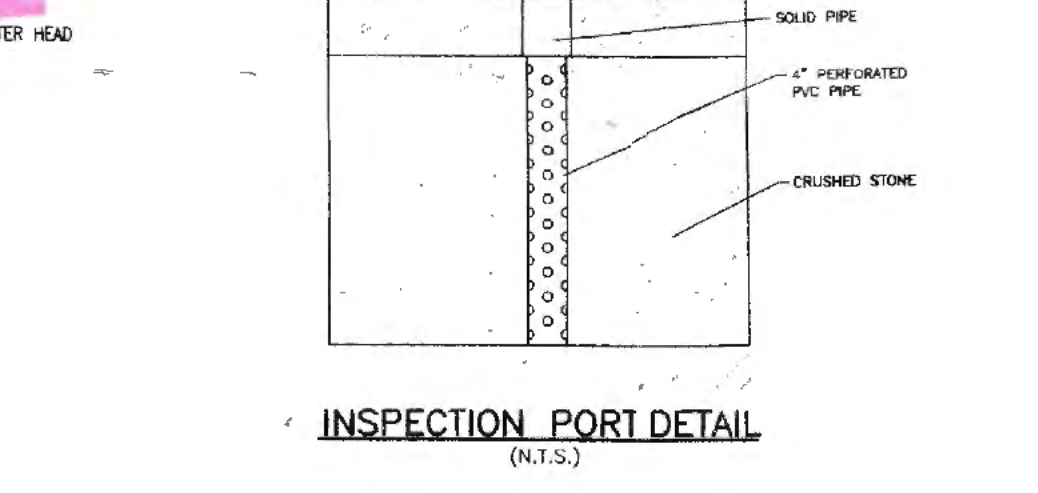
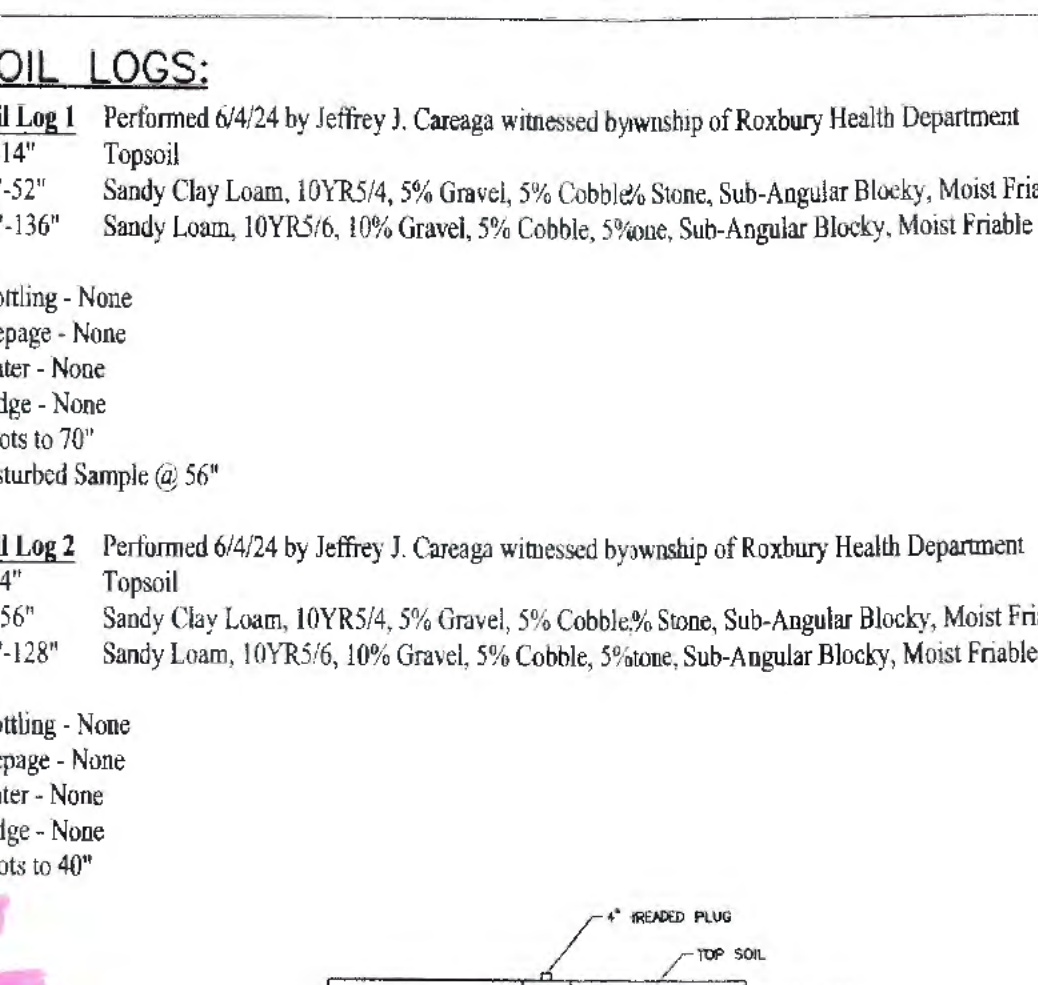
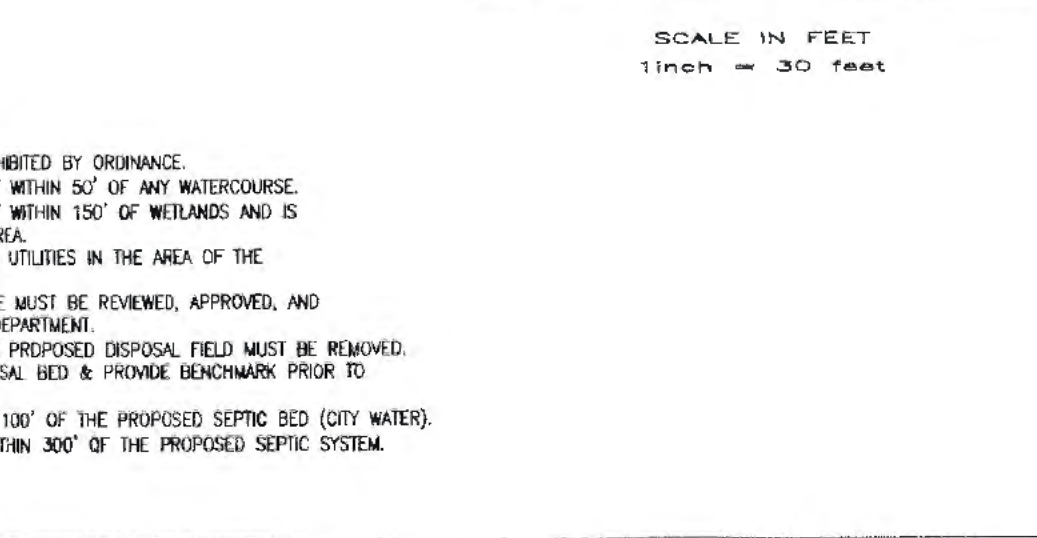
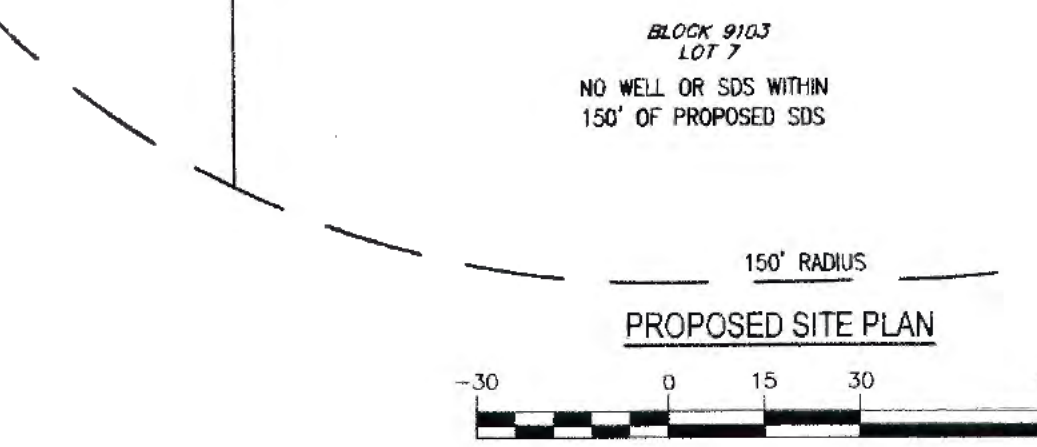
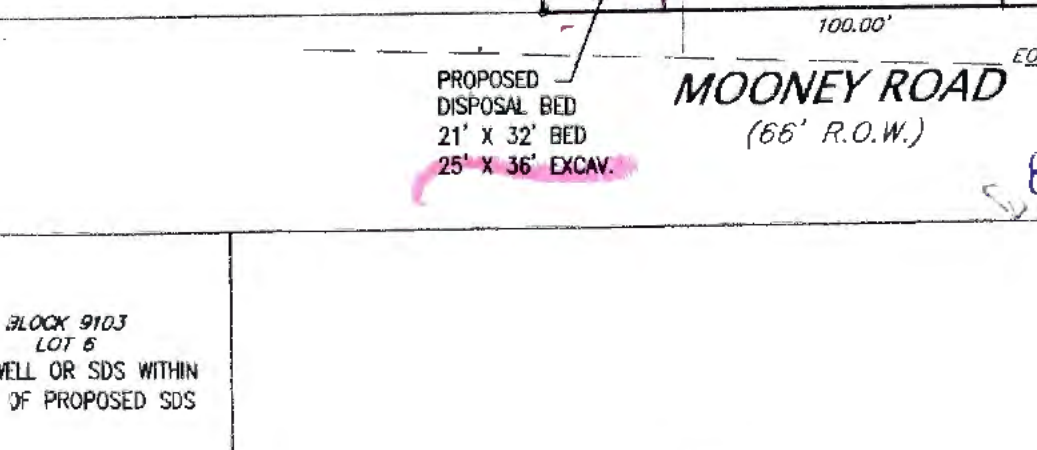
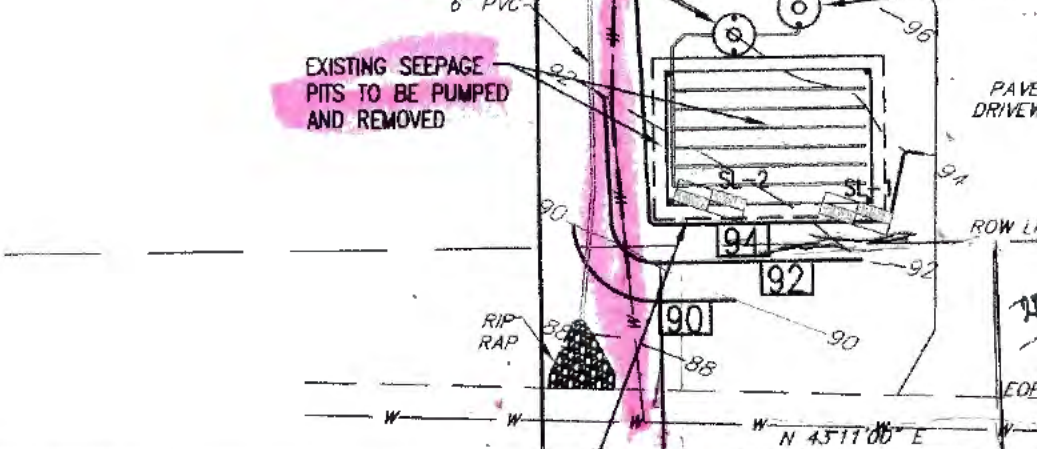
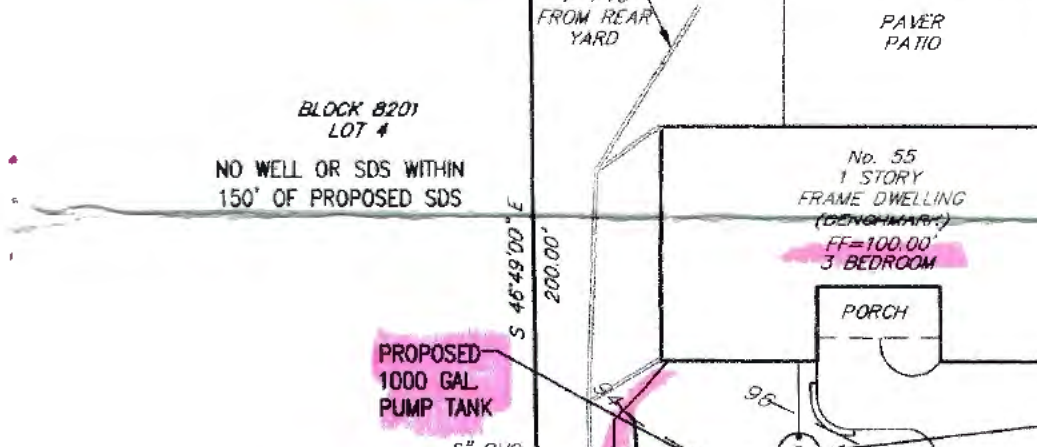
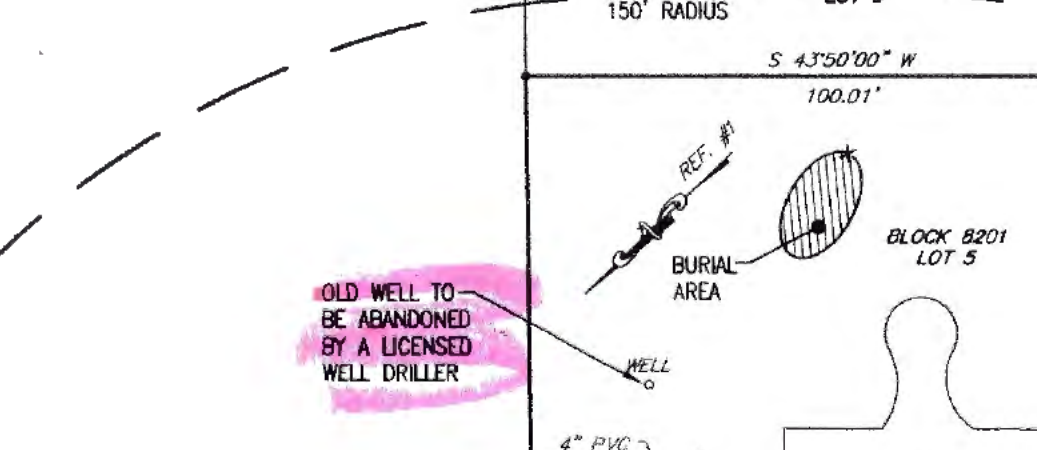
10. Crushed stone filter material, drainage fabric, and final backfill to be supplied per NJAC 7:9A-10.4(f) and (i) as applicable. All above materials are to be installed per applicable requirements of Subchapter 10, and to the satisfaction of the Local Board of Health and the Engineer.
11. Contractor to verify Local Board of Health inspection schedules and requirements prior to the start of construction. No work is to be backfilled until necessary Board of Health and Engineer inspections and approvals have been obtained.
12. Contractor is advised that all applicable OSHA Safety regulations must be followed during the course of construction including but not limited to potential shoring and shoring of excavations. These engineering drawings are not intended to illustrate methods of construction of the dwelling and excavation details, and it is the responsibility of the Contractor to evaluate the actual site conditions and comply with all applicable safety regulations.
13. All tanks shall be equipped with a label 6" square in size be attached to the manhole cover or riser immediately below the cover containing the following information:
- a. The administrative authority name and permit number under which the system was installed.
- b. The date of installation.
- c. The type of system.
- d. The total design capacity in gallons per day.

- SOIL EROSION AND CONTROL NOTES:
1. All soil erosion and control measures to be installed in accordance with NJ, County, and Local standards, and maintained until permanent protection is established.
2. Stabilize per following specifications:
- Time: 90 lb/1000 sq. ft.
- Fertilizer: 10-20-10 14 lb/1000 sq. ft.
- (or equivalent)
- Seed Mix: Annual ryegrass mixed with seed to match any local or existing conditions.
- Mulch: Salt hay or small grain hay, installed per NJ standards and secured by approved methods (i.e. peg and twine, mulch netting, liquid mulch blender).

3. Temporary berms to be installed on all cleared roadways and easement areas per NJ standards.
4. Site grading to be at all times maintained to control storm water runoff to approved soil erosion and control facilities.
5. Stockpiles to be protected with hay bale barriers, or sediment fence, and located over 50' of Road plan.
6. Any paved roadways to be kept clean at all times.
7. The local County Soil Conservation District may require additional measures to minimize soil and erosion damage, and any additional measures to be followed prior to any construction.



NEW 1,000 GALLON CONCRETE PUMP TANK DETAIL (N.T.S.)



2583
Date Issued

7-11-85

APPLICATION NO.

B-1847

ROXBURY TOWNSET & HEALTH DEPARTMENT
121 Main Street
Succasunna, NJ 07876

JUL 9 1985

APPLICATION FOR CONSTRUCTION OF AN
INDIVIDUAL SEWAGE DISPOSAL SYSTEM

1. General

☒ Alteration of existing system

☐ Repair of existing system

a. Location of system

Street Address 55 Mooney Road

Block 34

Lot 4

b. Owner of Property

James Richards

Phone

REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Present Address

55 Mooney Road

c. Name of Contractor

Peach Bros.

REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

Address

P.O. Box 250 Succasunna.

d. Type of building to be served

(1) Single family dwelling:

No. bedrooms 3 Basement Slab

Garbage grinder: Yes No

(2) Other than single family dwelling:

Type of building

Use or uses of building

Square footage of building

No. employees, occupants or members

Gallons/person/day

Estimated total sewage flow/day gallons

(3) Water supply

Public

Private ☒

Reviewed by

TRJ O'Ann

2. Design of Proposed Sewerage Facilities

a. Piping Material: Cast iron _____
 Schedule 40 ABS _____
 Schedule 40 PVC _____

b. Septic Tank (New):

(1) Liquid capacity _____ gallons

(2) Material: Precast concrete _____
 Poured-in-place concrete _____

(3) Inlet and outlet devised:

Tee _____ Straight baffle _____
 Semi-circular baffle _____ Other _____

c. Disposal Area:

(1) Seepage pit

Percolating area _____ sq. feet
 Number pits 3
 Material Concrete 6" RINGS
 Depth 11 feet
 Height from bottom to inlet 9 feet
 Diameter 6" 9" 12" feet

(2) Disposal bed

Width _____ feet
 Length _____ feet
 Area _____ sq. feet
 Linear feet of pipe _____
 Distance between line _____
 Type of pipe _____

SOIL LOG

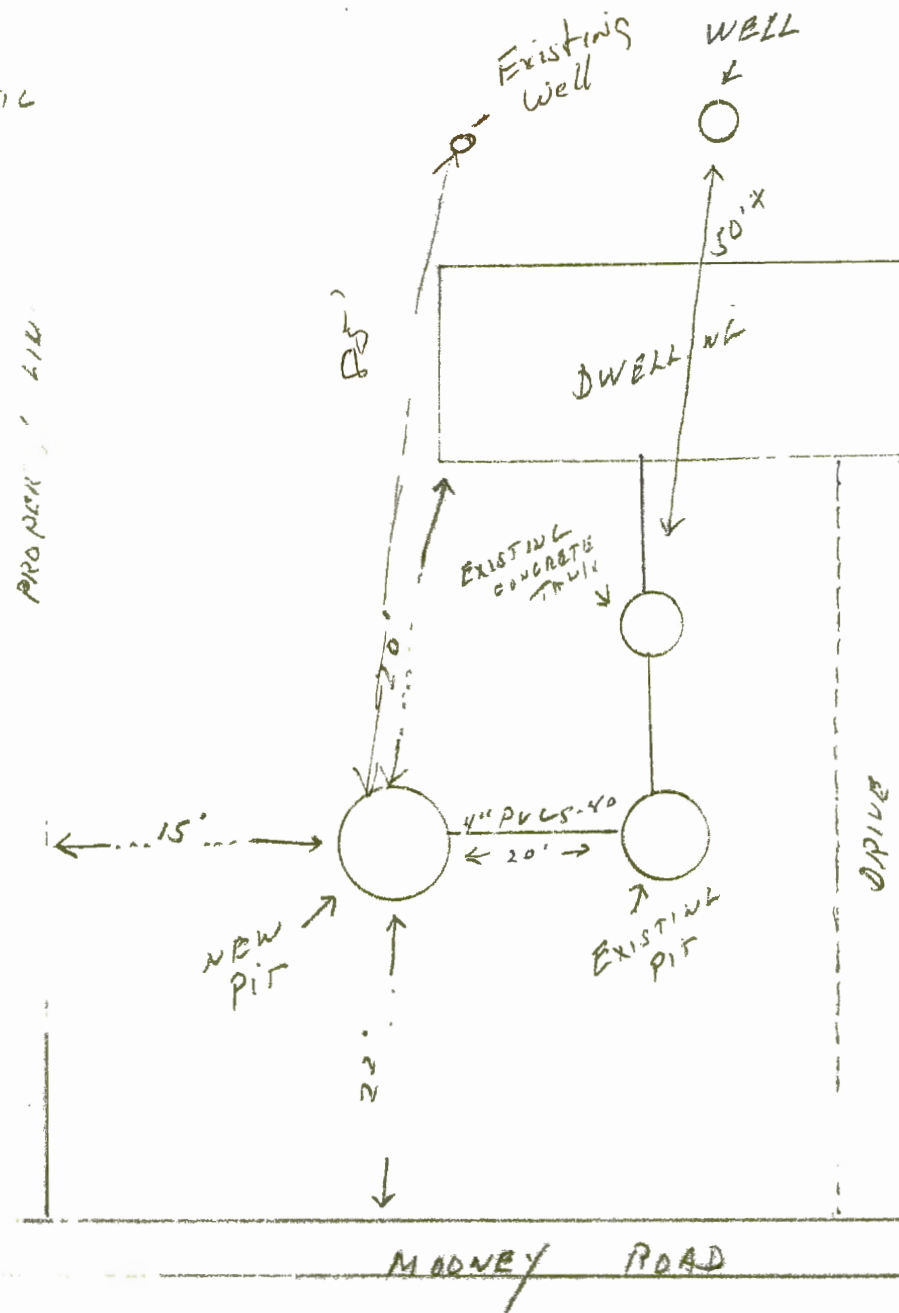
0-1 - TOP SOIL
 1-5 - SILTY CLAY
 5-8 - SAND
 8-10 - CLAY WITH ROCK
 10-15 - SAND & SMALL STONES

(3) Disposal trenches

Width _____ feet
 Length _____ feet
 Depth _____ feet
 Area _____ sq. feet
 Linear feet of pipe _____
 Distance between line _____
 Type of pipe _____

JAMES RICHARDS
55 MOONB. POOL
LEDGERWOOD

NO OTHER WELL
WITHIN 50' OF SEPTIC
SYSTEM.



INSPECTION REPORT

Roxbury Township Health Department
Succasunna, NJ 07876

Date of Assignment July 1, 1985 Assignment Number 016683

Name Richards (Peach)

Address 55 Mooney Rd. (Bl. 34, Lot 4)

Nature of Inspection Soil log (alteration)

Findings 7/1/85 - Soil Log - Satisfactory

0"-6" topsoil

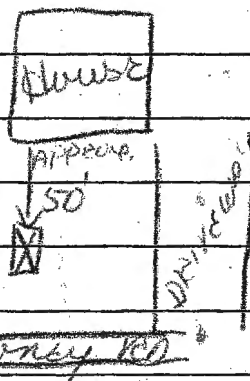
6"-46" clay loam

46"-7' SAND

7'-11' clay loam

11'-18' SAND AND ROCK

NO WATER - NO LOG-ROCK



Recommendations _____

Don M. Puggero
Inspector's Signature

7/2/85
Date

Time _____

Reinspection scheduled for: _____

8/3/83

(I) (we), ^{REV.} JAMES A. & MARILYN RICHARDS, owner(s) of the
name

property known as 55 Mooney Rd., Block 34, Lot 4
address

(am) (are) applying to the Roxbury Township Health Department for a
permit to construct a septic system alteration
purpose

which will deviate from State and local standards. The requested
deviation(s) is/are as follows:

less than 100' from existing well.

By reason of the allowance of said deviation(s), (I) (we) agree
that (I) (we) will not hold the Township of Roxbury, the Roxbury
Township Health Department, or the Health Officer of the Township
or Roxbury, responsible for any future malfunctions of the _____
septic system. being constructed, nor from any claims
arising out of the granting of the same and for any objections or
complaints should any be made.

This request is being made due to existing conditions on an estab-
lished and developed lot whereby the complete compliance with
established standards is not physically or financially possible.

(NOTARY SEAL)

Patricia D. Nydick

Signature/Date

PATRICIA D. NYDICK
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Jan. 29, 1987

7-11-85

Reviewed: _____

Rev. James A. Richards
Signature

Date: July 11, 1985

Marilyn Richards
Signature

Date: July 11, 1985

Signature/Health Officer

INSPECTION REPORT

Roxbury Township Health Department
Succasunna, NJ 07876

Date of Assignment July 11, 1985 Assignment Number 016750

Name Richards (Peach)

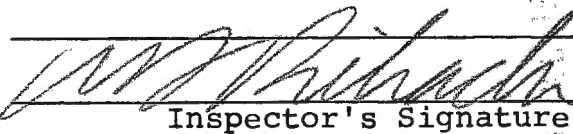
Address 55 Mooney Rd., Ldg. (Bl. 34, Lot 4)

Nature of Inspection As-built B-1847

Findings

7-11-85 As-Built Satisfactory

Recommendations _____


Inspector's Signature

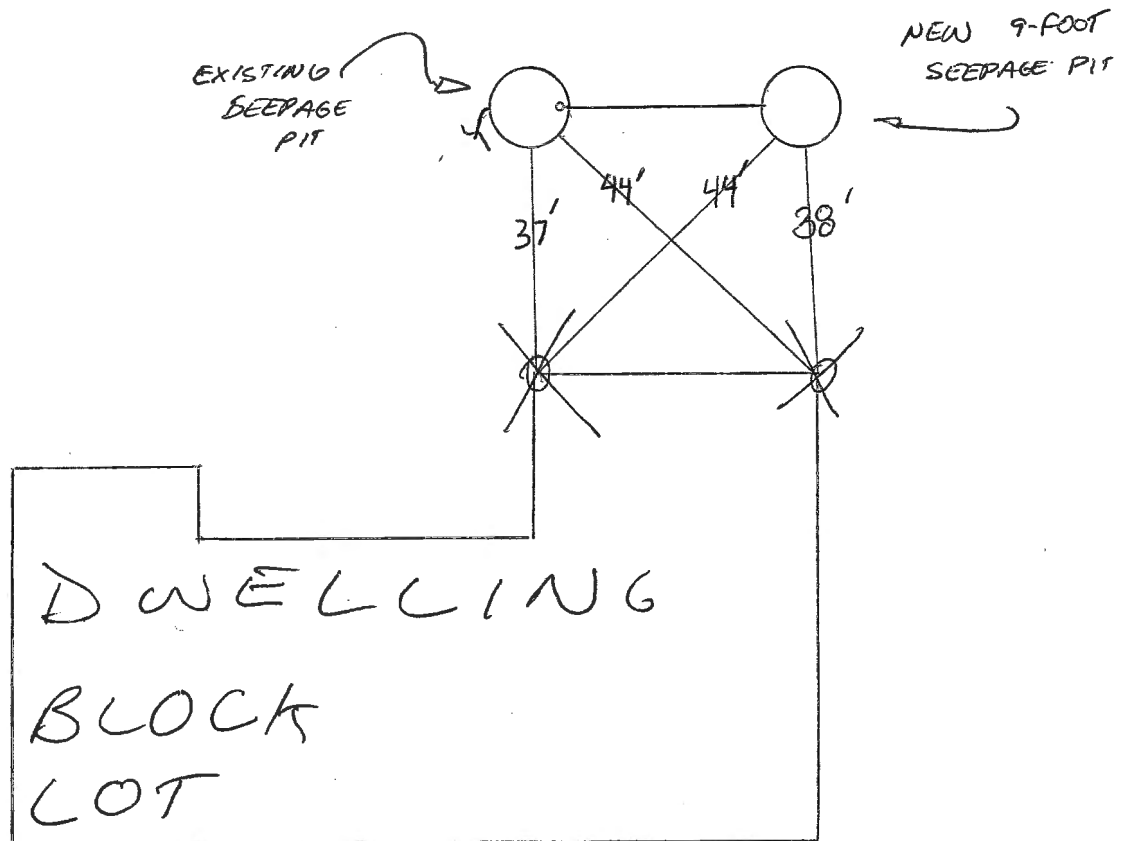
7-11-85
Date

Time

Reinspection scheduled for: _____

8/3/83

MOONEY ROAD



2383

Application No. _____

*Approved
5/7/60
[Signature]*

No. 1

BOARD OF HEALTH

TOWNSHIP OF ROXBURY
MORRIS COUNTY, N.J.

Henry G. Wetterauer

INDIVIDUAL SEWAGE DISPOSAL SYSTEM

Mooney Road.

FEEES

Filing of application and issuance of permit:	\$1.00
Issuance of certificate of compliance as to installation of system:	\$1.00
Reinspections of any installation failing to meet requirements and specifications:	\$5.00

*FILE AWAY
O.K. 10-8-60
[Signature]*

These forms are based upon provisions of:

The Realty Improvement Sewerage and Facilities Act (1954)
P.L. 1954, Chapter 199, R.S. 58:11-23, et seq.;

Standards for the Construction of Sewerage Facilities for
Realty Improvements, Promulgated by the State Commis-
sioner of Health, December 7, 1954 (herein referred to
as the State Standards); and

An Ordinance of the Township of Roxbury to Regulate and
Control the Location, Construction and Use of Individual
Sewage Disposal Systems and Individual Water Supply
Systems with the Township, and Providing Penalties for
the violation thereof; adopted by the Board of Health
on December 18, 1958 (herein referred to as the Town-
ship Ordinance).

Return completed application to sanitary inspector during office
hours.

*Rec 200
5-3-60
[Signature]*

Date 1 May 1960

- ☒ Construction of new sewage disposal system
☐ Alteration or repair of existing system

Location of System

Street Address Mooney Road
or

Tax Map Block _____ Lot _____

Name of Subdivision, if any _____

Owner of Property Henry G. WelterauerPresent Address 50 Ford Ave, Wharton N.J.

Name of Contractor _____

Address _____

1. TYPE OF BUILDING TO BE SERVED

(a) Dwelling

No. of bedrooms 3 Expansion attic: Yes ___ No XUse: Yearly X Summer _____ Garbage Grinder: Yes ___ No _____

(b) Other than dwelling

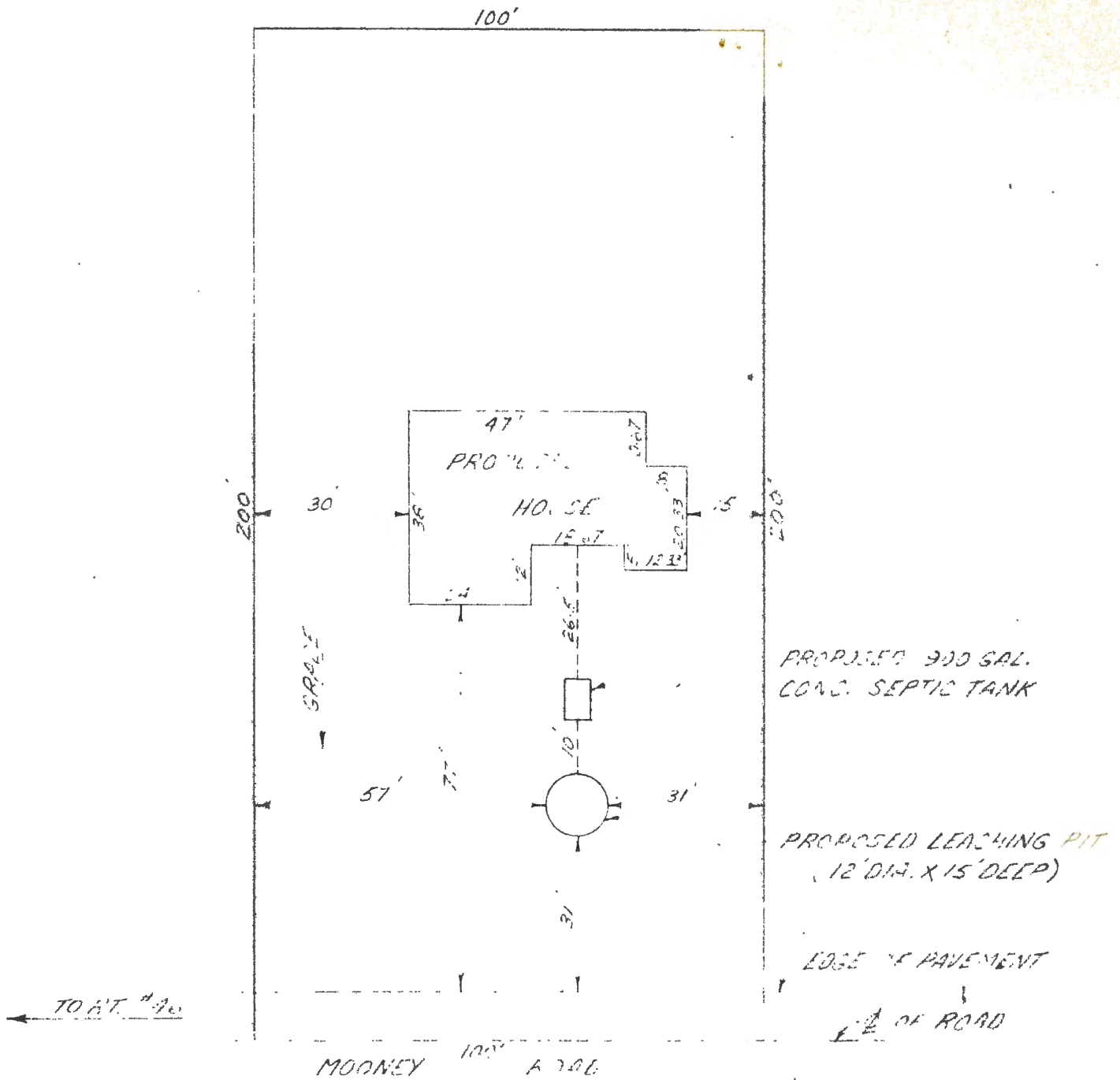
Specify type of building _____

Use or uses of building Residence(c) Estimated total sewage flow per day computed in accordance with Section 2.2 of State Standards 450 gallons.

2. SKETCH OF PROPERTY TO BE SERVED

Insert on next page or attach to this application a sketch of the property to be served by the individual sewage disposal system. The sketch shall show:

- (a) Lot dimensions and square foot area;
- (b) Location of proposed dwelling or building and all existing structures;
- (c) Any proposed change of grade in developing property;
- (d) Location and depth of percolation test holes;
- (e) Location of any source of potable water supply;
- (f) Location of any drainage right of way, as defined in Section 2 of the Municipal Planning Enabling Act of 1953, on the same or adjoining premises; and
- (g) Location of each component part of the proposed individual sewage disposal system, including distances from dwelling or building, other structures and lot lines. Refer to minimum distance table set forth in Section 3.2 of State Standards.



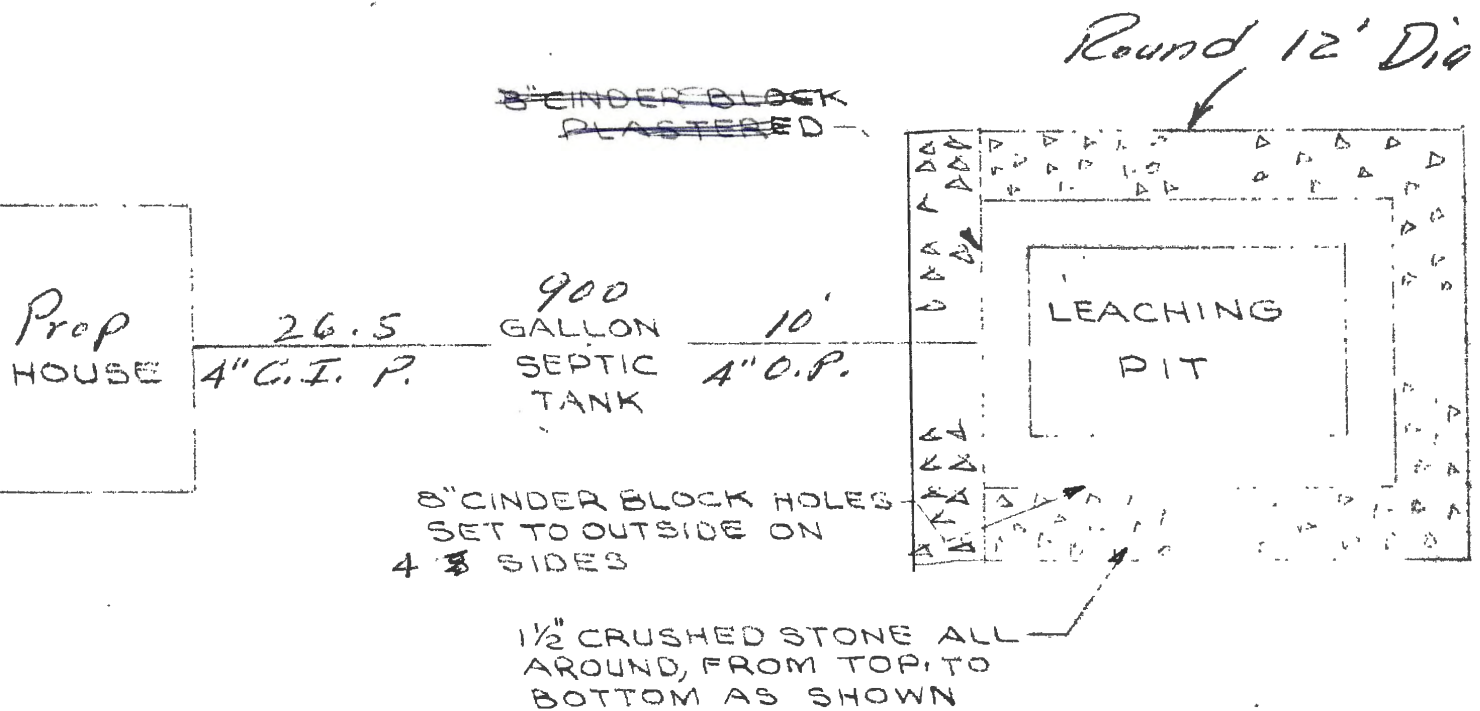
PROPOSED SEWAGE TREATMENT PLANT

PROPERTY OF HEINRICH S. WETTERAUER
 MOONEY RD.
 ROXBURY TWP.
 MOORE COUNTY, N.C.

TEST & DESIGN BY
 JOSEPH V. PRIVERANO, C.E.
 LIC # 13657 N.Y. RE.
 &
 GEORGE F. DRACER, P.E.
 LIC # 5123 N.J. RE.

SCALE: 1"=30'
 DATE: 23 APRIL 1960

CONSTRUCTION DETAIL



1. FOOTINGS UNDER CINDER BLOCK ONLY IN LEACHING PIT.
2. PITCH FROM HOUSE TO SEPTIC TANK & TANK TO PIT 1/4" PER FOOT.
3. INVERT OF PIPE AT LEACHING PIT TO BE 1'-0" BELOW TOP.
4. LEACHING PIT TO BE 15' DEEP.
5. ENTIRE CONSTRUCTION TO BE MINN. 18" BELOW FINAL GRADE.
6. CAST IRON PIPE MUST BE USED FROM HOUSE TO SEPTIC TANK.
7. TOP COVER ON LEACHING PIT TO BE 6" REINFORCED CONCRETE.

TEST & DESIGN BY
JOSEPH V. PRIMERANO, C.E.
LIC. NO. 13687 N.Y. P.E.

&
GEORGE R. HORACEK, P.E.
LIC. NO. 5702 N.J. P.E.

3. SOIL CHARACTERISTICS(a) Percolation Test ResultsDate tests were made 22 Apr 1960

Hole No.	Time in minutes per inch	Number of preliminary tests made to determine apparent saturation	Depth	Type or types of soil and depth of each type
1	6 M.	Two.	42"	12" Clay. 30" Clay - 30% Gravel & Sand.

(Indicate location of each hole on sketch of property on previous page).

Effect of recent rain or lack of rain NoneApparent moisture in the soil prior to the test Dry.Depth of ground water if encountered None encountered.

Other factors affecting test results _____

Remarks: _____

(b) Sub-soil and Ground Water Determination

Determinations as to sub-soil and ground water shall be supplied whenever required under Section 15.2 of the State Standards or requested by the Board of Health.

Test boring or pit no.	Depth	Type and nature of soil	Depth to ground water, if encountered
------------------------	-------	-------------------------	---------------------------------------

Remarks: _____

I hereby certify that the percolation tests and sub-soil and ground water determinations, if any, of which the foregoing results are set forth, were made by me in accordance with the procedures established by Section 9 of the State Standards.

Date: 2 May 1960

(SEAL)

Joseph V. Primerano
13687 N.Y.P.E.
George R. Horacek 5702 N.J.
Licensed Professional Engineer No.

4. DESIGN OF PROPOSED SEWERAGE FACILITIES(a) Design and Construction Requirements

Section 3 of the Township Ordinance incorporates the State Standards and sets forth additional design and construction requirements for individual sewage disposal systems.

(b) Plans and Specifications To Be Furnished

In accordance with the requirements of Section 3 of the Township Ordinance, the following shall be furnished with this application:

1. A COMPLETE SET OF PLANS AND SPECIFICATIONS FOR THE PROPOSED INDIVIDUAL SEWAGE DISPOSAL SYSTEM, as required by Section 3 (a) of the Township Ordinance. A standard design for such system may be used.

2. The following information shall be furnished either as part of the plans and specifications or below:

A. Building Sewer

Material: cast iron ☒ vitrified tile _____ cement _____
asbestos cement _____ bituminous pressed fiber _____
other _____

B. Grease Trap Yes _____ No ☒ Location _____

Size _____ Material _____

C. Septic Tank

Minimum liquid capacity:

2 bedrooms or less	750 gallons	
3 bedrooms	900 "	
4 bedrooms	1000 "	
5 bedrooms	1250 "	
6 bedrooms	1500 "	<u>900</u> gallons

Material if built in place: poured concrete _____ concrete block _____ cinder block _____ brick _____ stone _____

D. Disposal Area

(1) Seepage Pit

Percolating area in accordance with Section 13 of State Standards: 130 Square feet

Number of pits _____ If built in place, Material Cinder Blk.

Depth from bottom: 15 feet Diameter at bottom: 12 feet

Height from bottom to inlet: 14 feet

Shape Round

(2) Disposal Field

Distribution box _____

a. Disposal Trenches

Percolating area: to be determined in accordance with Section 11 of the State Standards:

Width _____ feet Length _____ feet Area _____ square feet

Linear feet of pipe _____

Distance between lines _____

Type of pipe _____

b. Disposal beds

Percolating area, to be determined in accordance with Section 12 of the State Standards:

Width _____ feet Length _____ feet Area _____ square feet

Linear feet of pipe _____

Distance between lines _____

Type of Pipe _____

E. Other specifications deemed appropriate _____

5. ADDITIONAL ENGINEERING DATA

Whenever application is made for certification as to 11 or more realty improvements or whenever the property to be built upon does not front upon an existing "street", as that term is defined in Section 2 of the Municipal Planning Enabling Act of 1953, the following additional engineering data shall be submitted:

- (a) A plan of the realty improvement showing the following:
- (1) Lots with their dimensions.
 - (2) Contours of original grades.
 - (3) Proposed elevations of the final grading shown at lot corners or any contemplated change slope.
 - (4) Drainage right of way and any contemplated diversion thereof affecting the realty improvement.
 - (5) Storm Sewers.
 - (6) Location and depth of all private and public water supplies within 500 feet of the realty improvement if available.
 - (7) Location of percolation test holes.
 - (8) Location of subsoil test holes, if required by the board.
- (b) Results of subsoil and ground water determinations.

Copies of all applications and the accompanying engineering data for certifications to cover 50 or more realty improvements shall be filed with or mailed by certified mail to the State Department of Health, Bureau of Public Health Engineering, Trenton, New Jersey, by the applicant on the date on which application is made to the Township Board of Health. In such cases, copies of all certifications by the Board of Health shall be mailed to the State Department of Health on the date of issue.

CERTIFICATION OF LICENSED PROFESSIONAL ENGINEER

This is to certify that the undersigned, a professional engineer licensed in the State of New Jersey, has prepared or examined the within application and accompanying plans and specifications and that such application and data are in compliance with

The Realty Improvement Sewerage and Facilities Act (1954)
P.L. 1954, Chapter 199, R.S. 58:11-23, et seq.;

Standards for the Construction of Sewerage Facilities for Realty Improvements, Promulgated by the State Commissioner of Health, December 7, 1954, and

An Ordinance of the Township of Roxbury to Regulate and Control the Location, Construction and Use of Individual Sewage Disposal Systems and Water Supply Systems within the Township, and Providing Penalties for the Violation thereof, adopted by the Board of Health December 18, 1958.

Date: 2 May 1960

(SEAL)

Signature Joseph V. Primerano
Name Printed George R. Horacek
Address P.O. Box 37 Lake Hopatcong
Professional Engineer's License No. 5702
N.J.



Township of Roxbury

Health Department
72 Eyland Avenue
Succasunna, NJ 07876
www.roxburynj.us

February 19, 2021

55 Mooney Road
Ledgewood, NJ 07852
Block 10404 Lot 22

Dear resident,

It was recently brought to the attention of the Health Department that the above referenced property has been connected to the public water system. The well that was previously servicing this property must either be decommissioned or re-permitted as an irrigation well, either of these options require a licensed well driller. Please forward a copy of the decommissioning report or the irrigation permit from the NJDEP when you have procured it. If you should have any questions please do not hesitate to contact the Health Department at the number provided.

Matthew Zachok
REHS

Information
973-448-2000

Building &
Construction
973-448-2009

Court
973-448-2034

Engineer
973-448-2018

Finance
973-448-2006

Fire Official
973-448-2012

Health
973-448-2028

Manager
973-448-2002

Mayor and
Council
973-448-2001

Police
973-448-2100

Planning
and Zoning
973-448-2008

Public Works
973-448-2069

Recreation
973-448-2015

Tax Assessor
973-448-2021

Tax Collector
and Utilities
973-448-2022

Technology
973-448-2099

Township Clerk
973-448-2001

Sewer Plant
973-584-5360

Water Plant
973-398-2818

2/18/01- Confirmed Connection to BS.

Montgomery Abigail

From: Michetti Melanie
Sent: Monday, July 06, 2020 3:00 PM
To: REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)
Cc: Kobylarz Mike; Johnson, Patricia; Pedersen, Heidi; Montgomery Abigail; Water Department
Subject: RE: Town water - 55 Mooney Road
Attachments: Allocation Applic_REV-2016.pdf; WATER_SERVICE 11X8 (2).pdf; ROW EXCAVAT PERMIT 7_2014.pdf; WATER_TRENCH_2 .pdf

Mr. Zamora,

We hope that you and your family are well. In response to your email below, the Township has water available for your home to connect to the water system. Please complete the attached form and return it to the Engineering Department with the application fee of \$250.00. The water allocation that will be granted for the home is 265 GPD or 1 EDU. The water connection fee for the 265 GPD water allocation is \$4,489.00 and is due upon the approval of the water allocation.

This cost does not include the wet tap/water service connection between the main and the curb valve. A water supply line/water service does not exist to your property. A water supply line must be installed between the existing 8" ductile iron water main and the curb valve and from the curb valve to the home. The installation of this water supply line is the property owner's responsibility. The tapping of the water main shall be performed by a contractor experienced in the use of drilling and tapping machines on ductile iron pipe. A copy of the Water Service Connection detail is attached for your information.

A representative of the Water Department shall inspect the water service installation from the water main to the curb valve. The Water Department shall be contacted at least 48 hours prior to the start of work in order to schedule the inspection of the water service tap. Gene Darcy of the Water Department shall be contacted at (973) 398-2818 to schedule the inspection.

A right-of-way excavation permit will be required for the work in Mooney Road. The water main is located on the opposite side of the road. A copy of the right-of-way excavation permit is attached for your information and use. A copy of the trench restoration detail is also enclosed for your information. Questions regarding traffic control for the work in Mooney Road shall be directed to Sgt. Steve Curtiss of the Police Department at (973) 448-2046.

The installation of the water supply line from the curb valve to the building is the property owner's responsibility. The homeowner shall be responsible for obtaining the plumbing permits for the construction of the water service between the curb valve and the building and for the interior plumbing work required for the installation of the water meter.

The Township Water Department will install a water meter to record all water consumption on the property. The current fee for the water meter is \$264.00 and is due upon the installation of the water meter. The Water Department will install the meter once the Construction Department approves of the water service piping from the curb valve to the building. The Water Department must be provided 48 hours prior notice in order to schedule the meter installation.

Questions regarding the abandonment and sealing of the existing well on the property shall be directed to the Township Health Office at (973) 448-2028. The sealing of the existing well shall be performed by a licensed well driller.

Please call me should you have any questions.

Melanie Michetti, P.E., C.M.E.
Sr. Assistant to the Township Engineer
Township of Roxbury

1715 Route 46
Ledgewood, NJ 07852
(973) 448-2074 (phone)
michettim@roxburynj.us

From: REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)

Sent: Friday, July 03, 2020 9:51 AM

To: Michetti Melanie

Subject: Town water - 55 Mooney Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Melanie,

We hope all is well with you and your family during these times.

Unfortunately, we have to revisit this at this time and are in need of connecting to the water main. Back in 2016 (time of attached email history) we had issues with our well and were considering connecting to the main water but opted to drop our well instead. Well, here we are having issues with our well again and need to urgently connect to the water main. We recently called to inquire and were told that Mooney Road will be paved late August/early September; therefore, we're hoping to get this done prior to that happening.

Please advise, how and/or what we need to proceed.

In our conversation back in 2016 there was a connection fee of \$4,489.00, what is this fee today?.....does that connection fee include the wet tap into the main and is there a water supply line between the main and the curb valve? If not, is this included in the connection fee?

Thank you, very much.

We look forward to hearing from you.

Pete Zamora

REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

-----Original Message-----

From: REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)

To: Michetti Melanie <michettim@roxburynj.us>

Sent: Thu, Nov 3, 2016 11:58 am

Subject: Re: Town water - 55 Mooney Road

Not a problem

Sent from my iPhone

> On Nov 3, 2016, at 11:50 AM, Michetti Melanie <michettim@roxburynj.us> wrote:

>

> Mr. Zamora,

> My apologies, the email went into my Junk folder.

>

> There is a water main located within Mooney Road immediately adjacent to the above referenced property. The Township Water System currently has sufficient water capacity available to serve this existing single-family home. However, a formal application requesting the water allocation will be required. A copy of the "Application for Water Allocation" is attached for your use. Please complete the application and return to the Engineering Department for processing along with the application fee of \$250.00. The allocation of water shall be on a first come-first serve

basis. The payment of a connection fee will be required once the water allocation is authorized. The current connection fee rate is \$4,489.00 per each equivalent dwelling unit (EDU) or single family home. However, the connection fee rate in effect at the time of connection shall apply. Questions regarding the payment of the water connection fee should be directed to MaryAnn Albrecht, Tax Collector or Heidi Pedersen, Sr. Assistant to the Tax Collector.

>

> I am confirming with the Water Department if a water supply line exists between the main and the curb valve. I will let you know. IF the water supply line exists to the curb valve, there would be no cost associated with the construction of this portion of the water supply line. If the water supply line does not exist, it will need to be installed at the property owner's cost. A Right-of-Way Excavation Permit will be required for the construction of the portion of the water supply line located within the municipal right of way.

>

> The construction of the water supply line between the curb valve and the home is the responsibility of the property owner. The Township Water Department will install a water meter to record all water consumption on the property. The fee for the water meter and transmitter is currently \$255.00 and is due upon the installation of the water meter.

>

> Kindly confirm receipt of this email.

>

> Melanie M. Michetti, P.E., C.M.E.

> Sr. Assistant to the Township Engineer

> Township of Roxbury

> 1715 Route 46

> Ledgewood, NJ 07852

> (973) 448-2074 (phone)

> michettim@roxburynj.us

>

> 2011 "America's Promise Alliance 100 Best Communities for Young People"

>

> -----Original Message-----

> From: REDACTED: E-Mail Address (N.J.S.A. 47:1A-1.1)

> Sent: Wednesday, October 19, 2016 11:43 AM

> To: Michetti Melanie

> Subject: Town water

>

> Good morning Melanie.

> I understand that I need to contact you in order to obtain a application to connect to town water. Please provide me with the process involved in connecting to town water. Most importantly I need to know the time frame for this process. Thank you in advance for your assistance.

> Pedro A Zamora Jr

> 55 Mooney Rd., Ledgewood, NJ

REDACTED: Telephone # (N.J.S.A. 47:1A-1.1)

>

> Sent from my iPhone

> <Allocation Applic_REV-2016.pdf>

Planning/Zoning

From: Tracy Osetec
Sent: Tuesday, May 13, 2025 2:16 PM
To: Amy Rhead
Cc: Mike Haggerty; Michele Roddy; John Shepherd; Robyn Lance
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)

Amy,

Please be advised that the Planning/Zoning Department has conducted a file inspection for property known as (55 Mooney Rd, B8201-L5), where the attached records have been found.



OPRA - 55
Mooney Road, B...

Tracy Osetec

Zoning Board Secretary
Certified Zoning Officer
1715 Route 46
Ledgewood, NJ 07852
973-448-2008
osetec@roxburynj.us



Roxbury Township
1715 Route 46

Ledgewood, NJ 07852
(973) 448-2008

F

Date Issued:	4/3/2009
Application Number:	ZA-03-09-0091
Application Date:	3/31/2009
Project Number:	
Permit Number:	ZP-04-09-0086
Fee:	\$25

Zoning Permit

Worksite **55 MOONEY RD**
Location: **LEDGEWOOD, NJ 07852**

Block:	8201
Lot:	5
Qualifier:	
Zone:	R-1

Owner: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Applicant: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Application Approved Date: 4/3/2009

This certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Single-Family Residential

Nonconforming Use is: _____

Work Description:

Addition - Within existing dwelling, add bathroom in basement and on first floor renovate kitchen, dining room wall and windows, master bath and front entrance door. Use to remain single-family residence.

Upon review it was determined that:

- ☒ Use is permitted by Ordinance
- ☐ Use is permitted by Variance approved on: _____
- ☐ Valid Nonconforming Use is established by
 - ☐ Zoning Board of Adjustment
 - ☐ Zoning Officer

Additional Comments:


Joseph McDonnell, Zoning Officer

4/3/2009

Date

This zoning permit does not exempt bearer of responsibility to secure a Certificate of Occupancy, Building Permit, Board of Health approvals, Engineering approvals, or other permits as required by Municipal, County, State or Federal agencies. Additional permits will be required from: Engineering Department ____, Health Department: ____, Building Department: ✓, Township Clerk: ____

Conditions:

as noted in work description. No expansion of dwelling.



Roxbury Township
Municipal Building
1715 Route 46
Ledgewood, NJ 07852
(973) 448-2013



Date Issued:	10/17/2016
Application Number:	ZA-10-16-461
Application Date:	10/14/2016
Project Number:	
Permit Number:	ZP-10-16-0366
Fee:	\$30.00

Zoning Permit

Worksite: **55 MOONEY RD**
Location: **Roxbury Township, NJ**

Block: **8201**
Lot: **5**
Qualifier:
Zone: **R-1**

Owner: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Applicant: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Application Approved Date: 10/17/2016

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Single-Family Residential

Nonconforming Use is: _____

Work Description:

Driveway, patio, walkway - Remove existing driveway, expand and replace with pavers, construct a 20' X 37' paver patio, and new paver walkway in the front of the home as shown on a marked up survey prepared by Frank Dufford and dated 5/7/1960. The applicant will also construct a decorative wall with planters on each side of the patio. These walls are not retaining walls and shall not exceed four feet in height.

ZP-04-14-0058 was approved to construct an addition and expand the driveway. The addition was completed but the driveway was not constructed to date. The zoning permit approval has expired and the applicant has added the patio and walkway to the current application.

The applicant shall comply with all ordinances of the Township of Roxbury.

Upon review it was determined that the Zoning Permit:

- ☒ Permitted by Ordinance
☐ Permitted by Variance approved on: _____
☐ Valid Nonconforming Use is established by
 ☐ Zoning Board of Adjustment
 ☐ Zoning Officer

Patricia Fischer, Zoning Officer

10/17/2016

Date

This zoning permit does not exempt bearer of responsibility to secure a Certificate of Occupancy, Building Permit, Board of Health approvals, Engineering approvals, or other permits as required by Municipal, County, State or Federal agencies. Additional permits will be required from: Engineering Dept.: ☒, Health Dept.: ☐, Building Dept.: ☐



Roxbury Township
Municipal Building
1715 Route 46
Ledgewood, NJ 07852
(973) 448-2013

F

Date Issued: 4/2/2014
Application Number: ZA-03-14-68
Application Date: 4/2/2014
Project Number: _____
Permit Number: ZP-04-14-0058
Fee: \$0

Zoning Permit

Worksite **55 MOONEY RD**
Location: **Roxbury Township, NJ**

Block: **8201**
Lot: **5**
Qualifier: _____
Zone: **R-1**

Owner: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Applicant: **ZAMORA, PEDRO A JR**
Address: **55 MOONEY RD**
LEDGEWOOD, NJ 07852

Application Approved Date: 4/2/2014

This Certifies that an application for the issuance of a Zoning Permit has been examined.

Use is: Single-Family Residential

Nonconforming Use is: _____

Work Description:

Addition, Driveway Expansion - Garage as shown on submitted plans and the existing and proposed driveway will be constructed with pavers. Engineering and construction permits required. Garage must have a minimum setback of 10'.

Upon review it was determined that the Zoning Permit:

- ☒ Permitted by Ordinance
☐ Permitted by Variance approved on: _____
☐ Valid Nonconforming Use is established by
☐ Zoning Board of Adjustment
☐ Zoning Officer

Russell Stern
Russell Stern, Planner

4/4/2014
Date

This zoning permit does not exempt bearer of responsibility to secure a Certificate of Occupancy, Building Permit, Board of Health approvals, Engineering approvals, or other permits as required by Municipal, County, State or Federal agencies. Additional permits will be required from: Engineering Dept.: ☒, Health Dept.: ☐, Building Dept.: ☒

Tax Assessor

Part 1 of 2

From: Lydia Fariello
Sent: Tuesday, May 13, 2025 2:17 PM
To: Amy Rhead
Cc: Jacquie Cardini; Michele Roddy
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)

Amy,



1716.pdf

Please find the most recent deed attached.

Have a nice day,

Lydia Fariello

Assistant to the Tax Assessor
1715 US 46
Ledgewood, NJ 07852
Email: fariello1@roxburynj.us
Direct Dial: 973-448-2021
Fax: 973-448-0864



TOWNSHIP OF
ROXBURY, NJ

From: Lydia Fariello
Sent: Tuesday, May 13, 2025 2:19 PM
To: Amy Rhead
Cc: Jacquie Cardini; Michele Roddy
Subject: RE: OPRA 20250512-002 Zamora (55 Mooney Rd; B8201-L5)

At this time without a formal inspection there are no pending added assessments

Have a nice day,

Lydia Fariello

Assistant to the Tax Assessor

1715 US 46

Ledgewood, NJ 07852

Email: fariello@roxburynj.us

Direct Dial: 973-448-2021

Fax: 973-448-0864



TOWNSHIP OF
ROXBURY, NJ

✓

Deed

This Deed is made on February 27, 2009

BETWEEN

MARILYN A. RICHARDS, widow, by her Attorney-in-Fact, Carole L. Knudsen
whose post office address is 55 Mooney Road, Ledgewood, (Roxbury Township), New Jersey 07852

referred to as the Grantor,

AND

PEDRO A. ZAMORA, JR., unmarried,
whose post office address is about to be 55 Mooney Road, Ledgewood, (Roxbury Township), New Jersey 07852

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

1. Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property (called the "Property") described below to the Grantee. This transfer is made for the sum of TWO HUNDRED NINETY THOUSAND AND NO/100-----(\$290,000.00)-----DOLLARS
The Grantor acknowledges receipt of this money.

2. Tax Map Reference. (N.J.S.A. 46:15-1.1) Municipality of Roxbury Township
Block No. 8201 Lot No. 5 Qualifier No. Account No.

☐ No lot and block or account number is available on the date of this Deed. (Check box if applicable.)

3. Property. The Property consists of the land and all the buildings and structures on the land in the Township of Roxbury
County of Morris and State of New Jersey. The legal description is:

☒ Please see attached Legal Description annexed hereto and made a part hereof. (Check Box if Applicable.)

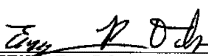
BEING the same premises conveyed to Marilyn A. Richards, widow, by Deed from Marilyn A. Richards, erroneously known as Marilyn M. Richards, dated May 19, 2007, recorded June 27, 2007 in the Clerk's Office of the County of Morris, New Jersey in Book 20854, Page 2000.

SUBJECT to zoning ordinances, easements, restrictions of record, if any, and such state of facts as an accurate survey may disclose.

MORRIS COUNTY, NJ
JOAN BRAMHALL, COUNTY CLERK
DEED-OR BOOK 21244 PG 1716
RECORDED 03/16/2009 11:01:40
FILE NUMBER 2009017142
RCPT #: 367311; RECD BY: ann
RECORDING FEES 80.00
MARGINAL NOTATION 0.00
TOTAL TAX 500.00

Prepared by: (print signer's name below signature)

(For Recorder's Use Only)


EUGENE P. DOLAN, ESQ.

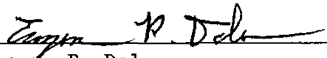
5

The street address of the Property is: 55 Mooney Road, Ledgewood, (Roxbury Township), New Jersey
07852

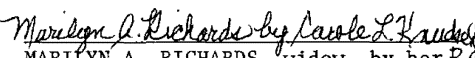
4. Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the Property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the Property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

5. Signatures. The Grantor signs this Deed as of the date at the top of the first page. (Print name below each signature.)

Witness by: Eugene P. Dolan, Esq.


Eugene P. Dolan

Attorney at Law of New Jersey

 (Seal)
MARILYN A. RICHARDS, widow, by her P.O.A.
Attorney-in-Fact, Carole L. Knudsen
(Seal)

STATE OF NEW JERSEY, COUNTY OF MORRIS

SS:

I CERTIFY that on February 27, 2009

Carole L. Knudsen, the Attorney-in-Fact for Marilyn A. Richards

personally came before me and stated to my satisfaction that this person (or if more than one, each person):

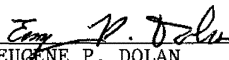
(a) was the maker of this Deed; and,

(b) executed this Deed as his or her own act; and

(c) made this Deed for \$ 290,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)

RECORD AND RETURN TO:

MICHAEL R. CARLUCCI, ESQ.
7 Highland Place
Maplewood, New Jersey 07040


EUGENE P. DOLAN
Attorney at Law of New Jersey
Print name and title below signature



Chicago Title Insurance Company

SCHEDULE A (Continued)

File No. SDL-014497

LEGAL DESCRIPTION

ALL that certain lot, parcel or tract of land, situate and lying in the Township of Roxbury, County of Morris, State of New Jersey, and being more particularly described as follows:

Beginning at a point in or near the center line of Mooney Road, where the same is intersected by the common line dividing Lots 5 & 6, said point also being the northerly corner of Lot 6 Lands n/f Paul Handelang (Deed Book 6087 Page 57) and thence,

- 1. Along the same or nearly so, N. 43 degrees 11 minutes 00 seconds E. 100.00' to a point and thence,*
- 2. S. 46 degrees 49 minutes 00 seconds E. 200.00' to a point and thence,*
- 3. S. 43 degrees 50 minutes 00 seconds W. 100.01' to a bent iron pipe and thence,*
- 4. N. 46 degrees 49 minutes 00 seconds W. 198.86' to the point or place of beginning.*

The above described lands are known as Lot 5 in Block 8201 as shown on the current Official Tax Maps of the Township of Roxbury.

Premises more commonly known as 55 Mooney Road.

The above description is in accordance with a survey prepared by Brunswick West, Inc. dated 2/9/2009 as File No. 09.0058.

FOR INFORMATIONAL PURPOSES ONLY Also known as Lot 5 in Block 8201 on the Township of Roxbury Tax Map.

ALTA Commitment 2006
Schedule A (Continued)

NJRB 3-07
Eff. 2/15/07

All Jersey Title, LLC
155 Willowbrook Boulevard, Suite 120, Wayne, NJ 07470 Phone: (973)785-0600 Fax: (973) 785-0601

Feb 9 2009 03:25pm P002/004

DOCUMENT SOLUTIONS Fax 9086531334

State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION
(C.55, P.L. 2004)

(Please Print or Type)

SELLER(S) INFORMATION (See Instructions, Page 2)

Name(s)

MARILYN A. RICHARDS, by her Attorney-in-Fact, Carole L. Knudsen

Current Resident Address:

Street: 55 Mooney Road

City, Town, Post Office

State

Zip Code

Ledgewood (Roxbury Township)

New Jersey

07852

PROPERTY INFORMATION (Brief Property Description)

Block(s)

Lot(s)

Qualifier

8201

5

Street Address:

55 Mooney Road

City, Town, Post Office

State

Zip Code

Ledgewood (Roxbury Township)

New Jersey

07852

Seller's Percentage of Ownership

Consideration

Closing Date

100%

\$290,000.00

2/27/09

SELLER ASSURANCES (Check the Appropriate Box) (Boxes 2 through 8 apply to NON-residents)

1. ☐ I am a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to N.J.S.A. 54A:1-1 et seq. and will file a resident gross income tax return and pay any applicable taxes on any gain or income from the disposition of this property.
2. ☒ The real property being sold or transferred is used exclusively as my principal residence within the meaning of section 121 of the federal Internal Revenue Code of 1986, 26 U.S.C. s. 121.
3. ☐ I am a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate or trust and as such not required to make an estimated payment pursuant to N.J.S.A.54A:1-1 et seq.
6. ☐ The total consideration for the property is \$1,000 or less and as such, the seller is not required to make an estimated payment pursuant to N.J.S.A. 54A:5-1-1 et seq.
7. ☐ The gain from the sale will not be recognized for Federal income tax purposes under I.R.C. Section 721, 1031, 1033 or is a cemetery plot (CIRCLE THE APPLICABLE SECTION). If such section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale (see instructions).
☐ No non-like kind property received.
8. ☐ Transfer by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this state.

SELLER(S) DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein could be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete.

February 27, 2009

Date

Marilyn A. Richards by Carole L. Knudsen P.O.A.
MARILYN A. RICHARDS, by Signature Carole L. Knudsen, POA
(Seller) Please indicate if Power of Attorney or Attorney in Fact

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney in Fact

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)
BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY } SS. County Municipal Code
COUNTY OF MORRIS } 1436
Municipality of Property Location: Roxbury Township

FOR RECORDER'S USE ONLY	
Consideration \$	<u>290,000.00</u>
RTF paid by seller \$	<u>600.00</u> †
Date	<u>3/16/09</u> By <u>ARS</u>

† Use symbol "C" to indicate that fee is exclusively for county use.

(1) **PARTY OR LEGAL REPRESENTATIVE** (See Instructions 3 and 4 attached)
Deponent, MARILYN A. RICHARDS, by her, being duly sworn according to law upon his/her oath deposes
Attorney-in-Fact Carole L. Knudsen
and says that he/she is the Grantor in a deed dated February 27, 2009
(Grantor, Grantee, Legal Representative, Corporate Officer, Officer of Title Co., Lending Institution, etc.)
transferring real property identified as Block No. 8201 Lot No. 5 located at
55 Mooney Road, Ledgewood (Roxbury Twp.), Morris County, NJ and annexed thereto.
(Street Address, Town) 07852

(2) **CONSIDERATION:** \$ 290,000.00 (See Instructions 1 and 5)
(3) Property transferred is Class 4A 4B 4C (circle one). If Class 4A, calculation in Section 3A is required.
(3A) **REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A COMMERCIAL PROPERTY TRANSACTIONS:** (see Instructions 5A and 7)

Total Assessed Valuation ÷ Director's Ratio = Equalized Assessed Valuation
\$ _____ ÷ _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized value.

(4) **FULL EXEMPTION FROM FEE:** (see Instruction 8)
Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to the exemption symbol is insufficient. Explain in detail.

(5) **PARTIAL EXEMPTION FROM FEE:** (see Instruction 9) **NOTE:** All boxes below apply to grantor(s) only.
ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption.
Deponent claims that this deed transaction is exempt from the State's portion of the Basic Fee, Supplemental Fee and General Purpose Fee, as applicable, imposed by C. 176, P.L. 1975; C. 113, P.L. 2004 and C. 66, P.L. 2004 for the following reason(s):

A. SENIOR CITIZEN (see Instruction 9)	
☒ Grantor(s) 62 years of age or over.*	☒ Owned and occupied by grantor(s) at time of sale.
☒ One- or two-family residential premises.	☒ Owners as joint tenants must all qualify.
☒ Resident of the State of New Jersey.	

B. BLIND (see Instruction 9)	DISABLED (see Instruction 9)
☐ Grantor(s) legally blind.*	☐ Grantor(s) permanently and totally disabled.*
☐ One- or two-family residential premises.	☐ Receiving disability payments.*
☐ Owned and occupied by grantor(s) at time of sale.	☐ Not gainfully employed.*
☐ Owners as joint tenants must all qualify.	☐ One- or two-family residential premises.
☐ Resident of the State of New Jersey.	☐ Owned and occupied by grantor(s) at time of sale.
☐ * IN THE CASE OF HUSBAND AND WIFE/CIVIL UNION PARTNERS, ONLY ONE GRANTOR NEEDS TO QUALIFY IF OWNED AS TENANTS BY THE ENTIRETY.	☐ Owners as joint tenants must all qualify.
	☐ Resident of the State of New Jersey.

C. LOW AND MODERATE INCOME HOUSING (see Instruction 9)	
☐ Affordable according to HUD standards.	☐ Reserved for occupancy.
☐ Meets income requirements of region.	☐ Subject to resale controls.

(6) **NEW CONSTRUCTION** (see Instructions 2, 10 and 12)
☐ Entirely new improvement. ☐ Not previously occupied.
☐ Not previously used for any purpose. ☐ "NEW CONSTRUCTION" printed clearly at the top of the first page of the deed.

(7) Deponent makes this Affidavit to induce the County Clerk or Register of Deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 27th
day of February, 2009
Marilyn A. Richards
Signature of Deponent
MARILYN A. RICHARDS by
Carole L. Knudsen, POA
55 Mooney Road
Ledgewood, NJ 07852
Grantor Name
55 Mooney Road
Ledgewood, NJ 07852
Grantor Address at Time of Sale

Teresa A. Allen
Notary Public of New Jersey
XXX-XX-X 4 2 8
Last 3 digits in Grantor's Social Security No. Eugene P. Dolan, Esq.
Name/Company of Settlement Officer

This form is prescribed by the Division of Taxation in the Department of the Treasury and may not be altered or amended without the approval of the Director of Taxation. For more information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division of Taxation website at www.state.nj.us/treasury/taxation/rtf.htm

FOR OFFICIAL USE ONLY	
Instrument Number	<u>017142</u> County <u>Morris</u>
Deed Number	Book <u>21244</u> Page <u>1716</u>
Deed Dated	<u>2/27/09</u> Date Recorded <u>3/16/09</u>

County Recording Officers shall forward one copy of each Affidavit of Consideration for Use by Seller when Section 3A is completed.
State of New Jersey - Division of Taxation, P.O. Box 251, Trenton, NJ 08695-0251, Attention: Realty Transfer Fee Unit