

ENGINEERING PERMIT APPLICATION

RECEIVING CLERK: EBPERMIT #: Rev-17-00130BLOCK: 253.15 LOT: 6 ADDRESS: 40 Halsey Drive**IDENTIFICATION:**

1. WORK SITE ADDRESS: 40 Halsey Drive
2. NAME OF OWNER IN FEE: Larry Robin
ADDRESS: 40 Halsey Drive PHONE #: (609) 488-2228
Brick, NJ 08723 FAX #: (609) 488-2228
3. PRINCIPAL CONTRACTOR: SS Bulkheading
ADDRESS: 40 Halsey Drive PHONE #: (312) 370-1254
Brick, NJ 08723 FAX #: (609) 488-2228
4. ARCHITECT OR ENGINEER: _____ ✓
ADDRESS: _____ PHONE: # () _____
5. RESPONSIBLE PERSON FOR WORK: Steven Alfano
ADDRESS: 714 Chesapeake Dr. Forked River, NJ
PHONE #: (732) 370-1254 FAX #: (609) 488-2228 E-MAIL: SSBulkheading@hotmail.com

PROJECT DESCRIPTION: ☐ GRADING/CLEARING ☐ ROAD OPENING
☐ SOIL REMOVAL/FILL ☐ RETAINING WALL ☐ POOL
☒ BULKHEAD/DOCK ☐ DWELLING ☐ TREE REMOVAL
☐ OTHER: 20 Ft x 4 Ft Dock
LENGTH: _____ WIDTH: _____ HEIGHT: _____

FEE SUMMARY:

APPLICATION FEE: \$ 150.00

REVIEW FEE: \$ _____

INSPECTION FEE: \$ _____

OTHER: \$ _____

BOND(S): \$ _____

7464 TOTAL: \$ 150.00

SPECIAL CONDITIONS:

OCEAN COUNTY SOILS: _____

DRAINAGE EASEMENTS: _____

UTILITY EASEMENTS: _____

CONSERVATION EASEMENTS: _____

FEMA REQUIREMENTS: _____

D.E.P. PERMITS: _____

BOARD APPROVAL: ☐ PB ☐ ZB

APPLICATION NUMBER: _____

APPROVED DATE: _____

ENGINEERING REVIEW:DATE RECEIVED: 4.19.17 DATE REJECTED: _____ DATE APPROVED: 4/25/17 INITIALS: MA

TOWNSHIP OF BRICK

OCEAN COUNTY, NEW JERSEY
401 CHAMBERS BRIDGE ROAD, BRICK, N.J. 08723

John G. Ducey, Mayor

Township Council:

Arthur Halloran- President
Andrea Zapcic - Vice President
Lisa Crate
Heather deJong
Jim Fozman
Paul Mummolo
Marianna Pontoriero



Division of Engineering

Elissa C. Commins, PE, PP, CME, CPWM, CFM
Township Engineer & Floodplain Manager
ecommins@twp.brick.nj.us

732-262-1040
Fax: 732-262-2941
www.twp.brick.nj.us

REQUEST FOR INSPECTION

DATE: 5/11/2011

NAME: _____

DEVELOPMENT: _____

DATE FOR INSPECTION: _____

TIME: 11:38

PHONE

CONTRACTOR:

CONTRACTOR PHONE:

609-488-2228
SS Bulk

BLOCK: 53.5 LOT: 6
ADDRESS: 40 Halsey

BLOCK: _____ LOT: _____

ADDRESS: _____

BLOCK: _____ LOT: _____

BLOCK: _____ LOT: _____

ADDRESS: _____

ADDRESS: _____

TYPE OF INSPECTION

PAVING: _____

GRAVEL: _____

STORM SEWER: _____

CURB: _____

SIDEWALK: _____

DRIVEWAY: _____

BULKHEAD: _____

FINAL ENG: ☒

FINAL GRADE: _____

RETAINING WALL: _____

INGROUND POOL: _____

OTHER: _____

COMMENTS: _____

NOTE: IF INSPECTIONS WILL BE OF A CONTINUOUS NATURE, ASK FOR APPROXIMATE NUMBER OF DAYS.

ONGOING UNTIL: _____

RECEIVED BY: _____

INSPECTED BY: _____



www.facebook.com/BrickTwpNJGovernment



@TownshipofBrick



CHECKLIST

BLOCK 253.15 LOT 6 DATE RECEIVED 4/19/17
 PROPERTY ADDRESS 40 Halsey Drive, Brick, NJ 08723
 APPLICANT Larry Robin PHONE [REDACTED]
 ADDRESS 40 Halsey Drive, Brick, NJ 08723
 CONTRACTOR SS Bulkheading PHONE [REDACTED]
 ADDRESS 714 Chesapeake Drive, Forked River, NJ 08751
 TYPE OF WORK Construct 20ft x 4ft Dock

		YES	NO	N/A
1	PLANS/DETAILS SIGNED & SEALED	☒		
2	SCALE OF NOT LESS THAN 1"=50'	☒		
3	PROPERTY LINES, CORNERS, BEARINGS & DISTANCES	☒		
4	DRAINAGE PIPES, OUTFALLS/EASEMENTS	☒		☒
5	NORTH ARROW	☒		
6	PROPERTY ADDRESS/LOT/BLOCK NUMBER	☒		
7	EXISTING STRUCTURES/DWELLINGS	☒		
8	M.H. W.L. ELEVATION	☒		
9	EXISTING BULKHEAD/DOCK LOCATION	☒		
10	PROPOSED BULKHEAD/DOCK LOCATION	☒		
11	BULKHEAD/DOCK DETAIL (ELEVATION PROFILE)	☒		
12	FACE/ANCHOR PILING TYPE/SIZE/LENGTH	☒		
13	SHEET PILING TYPE/SIZE/LENGTH			☒
14	WALER TYPE/SIZE/LENGTH			☒
15	TIE ROD TYPE/SIZE/LENGTH			☒
16	CAP/HARDWARE/OTHER MISCELLANEOUS ITEMS	☒		
17	TOP OF BULKHEAD ELEVATION			☒
18	DISTANCE-TOP OF BULKHEAD TO SOLID BOTTOM			☒
19	BEVEL CUT DETAIL			☒
20	PIPE PENETRATION DETAIL			☒
21	PRIOR D.E.P. PERMIT/ARMY CORP. PERMIT # <u>DEP-1506-17-00201 LGP170001</u>			☒
22	BOAT LIFT DETAIL		☒	
23	DRAG LOG/TYPE/SIZE/LENGTH			☒
24	HELICAL/MANTA RAY/ETC.			☒
25	RIPARIAN GRANT/LAND LEASE/ETC.		☒	

BULKHEAD REVIEW

APPROVED ☒ REJECTED ☐ SIGNED [Signature] DATE 4/25/17

ANCHOR INSPECTION

APPROVED ☐ REJECTED ☐ SIGNED ☐ DATE ☐

FINAL INSPECTION

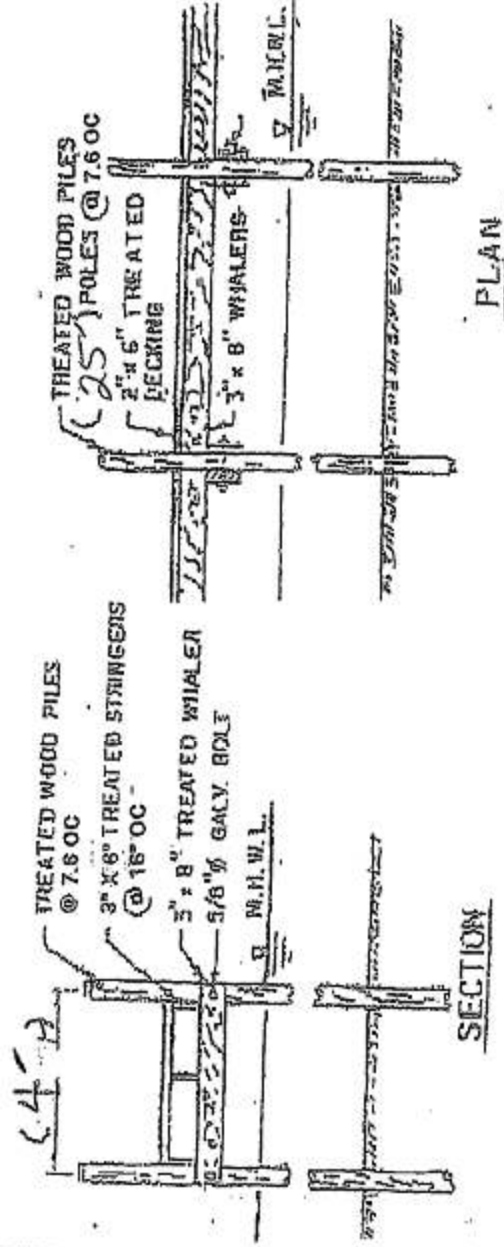
APPROVED ☒ REJECTED ☐ SIGNED [Signature] DATE 5/12/17

COMMENTS #425117 - Deck only. No piling list @ this time - [Signature]

DOCK DETAIL

Applicant/Owner: Larry Robin
Address of Applicant: 40 Halsey Dr.
Brick, NJ 08728

Property Location: Lot 6 Block 253, 15
Address: Street 40 Halsey Dr Town Brick



NOTE: ALL STRUCTURAL ELEMENTS
TO BE CONSTRUCTED OF
NON-POLLUTING MATERIALS.

Dock Size:
20Ft x 4Ft

S. S. Bulkheading L.L.C
Marine Construction
Bulk Heads, Decks, Piers & Decks
Repairs & Installations
Fully Insured
732-370-1254
SSBulkheading@hotmail.com

File Number: _____

Steven Alfano, Owner
714 Chesapeake Drive
Forked River, NJ 08731

OCT-25-02

08:41AM FROM-Otterbourg, Steindler, Houston & Rosen

212 682 6104

T-046

P.002/002

F-512

PROPERTY KNOWN AND DESIGNATED AS LOT 5 IN BLOCK 15 AS SHOWN ON MAP ENTITLED "DRUM POINT SECTION, SHORE ACRES, BRICK TOWNSHIP, OCEAN COUNTY, NEW JERSEY", AS FILED IN THE OCEAN COUNTY CLERKS OFFICE ON JULY 22, 1957, AS MAP NO. B-337.

PROPERTY ALSO KNOWN AS LOT 5 IN BLOCK 253.15 AS SHOWN ON THE TOWNSHIP OF BRICK TAX MAP.

DRUM POINT ROAD
(40' R.O.W.)

HALSEY LAGOON

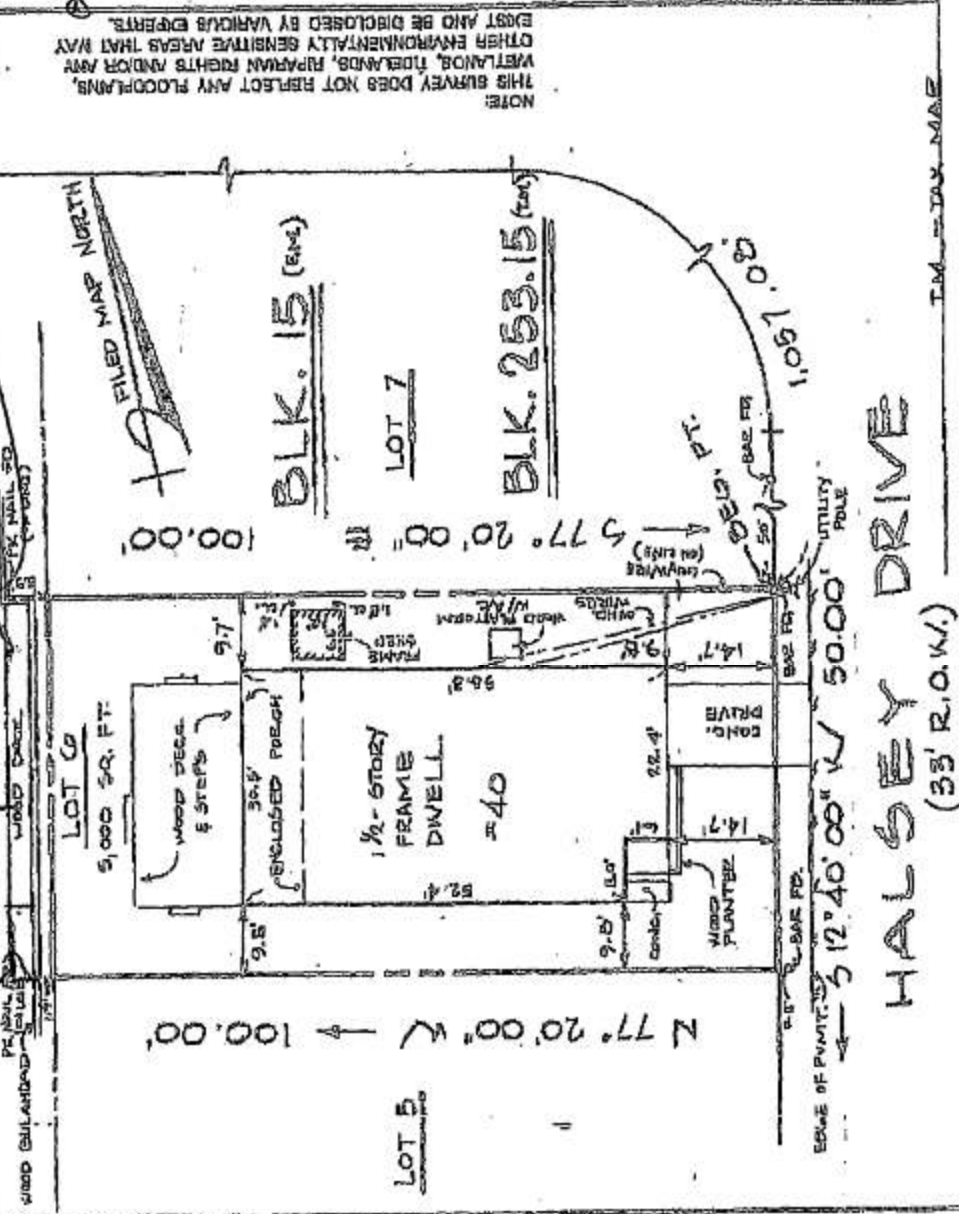
Proposed extension (60' wide)
Dock

Legalize existing dock
Proposed Lift T = 20.00
Jefski Lift T = 20.00

* must be min
5' off property
line - ~~not~~

NOTE: THIS SURVEY DOES NOT REFLECT ANY FLOODPLAINS, WETLANDS, TIDELANDS, RIPARIAN RIGHTS AND/OR ANY OTHER ENVIRONMENTALLY SENSITIVE AREAS THAT MAY EXIST AND BE DISCLOSED BY VARIOUS EXPERTS.

Not to be installed under this permit
Dock only



PROPERTY SURVEY PREPARED FOR
MICHAELAS E. GOLLA

SITUATED IN
BRICK TOWNSHIP, OCEAN CO., N.J.

Postage Paid Notice 7671

To: Dan Christensen, Phillip Lucero
On: Don Christensen, Phillip Lucero
Phone: 732-682-6104
Fax: 732-682-6104

PROFESSIONAL
LAND SURVEYING
AND PLANNING

**SUMMIT
LAND SURVEYING**

4511 HIGHWAY 9 NORTH
P.O. BOX 511
HOWELL, NJ 07731-0511
TEL (732) 370-0202

This certification is made only to the best of my knowledge and belief, and I am not responsible for any errors or omissions in this survey. I am not responsible for any errors or omissions in this survey. I am not responsible for any errors or omissions in this survey.

Peter T. Cleveland
PETER T. CLEVELAND
N.J. LIC. NO. 29180 (LAND SURVEYOR)



Division of Land Use Regulation

Division of Land Use Regulation
501-02A
PO Box 420
Trenton, NJ 08625-0420
Phone: (609) 777- 0454
Fax: (609) 777- 3656

Permit #: 1506-17-0020.1 - LGP170001
RSP Service ID#: 707308
Payment Arrangement: Credit Card
Paid Online: Yes
Paid On: 04/11/2017
Paid Amt: \$600.00

This Authorization form is requested to be located at the regulated construction site at all times and be available for inspection by any authorized representative of the New Jersey Department of Environmental Protection. If you have designated an agent, it is your responsibility to notify your agent about this General Permit and its requirements.

AUTHORIZATION TO CONSTRUCT

GP15 - Coastal Docks, Piers, JetSki Ramp in Man-made Lagoons

Property Owner

Lawrence Robin
Homeowner
40 Halsey Drive
Brick Town, NJ 08723

Applicant

Lawrence Robin
Homeowner
40 Halsey Drive
Brick Twp, NJ 08723

Project Name & Location

Lawrence Robin
40 Halsey Drive
Brick Twp, NJ 08723

Brick Twp / Ocean

County
Ocean

Municipality
Brick Twp

Block
253.15

Lot
6

Electronically certified online by the responsible party Debbie Alfano on 04/11/2017.

Issuance Date	Effective Date of Authorization	Expiration Date
04/11/2017	04/11/2017	04/10/2022

Your Request for Authorization under Land Use Regulation General Permit No. 1506-17-0020.1 - LGP170001 has been approved by the New Jersey Department of Environmental Protection.

Diane Dow, Director
Division of Land Use Regulation
New Jersey Department of Environmental Protection

Date: 04/11/2017

General Permit Requirements

Conditions that apply to an authorization under general permit-by-certification 15 for the construction of piers, docks, including jet ski ramps, pilings, and boatlifts in man-made lagoons:

This authorization includes the issuance of the US Army Corps of Engineers' State Programmatic General Permit New Jersey SPGP-17. All activities performed under this authorization shall also comply with the conditions of the US Army Corps of Engineers' permit.

This authorization includes a water quality certificate for the permitted activities.

The Department will monitor and require strict compliance with the terms of this permit. Any noncompliance with this authorization constitutes a violation of this chapter and is grounds for enforcement action under N.J.A.C. 7:7-29.

In accordance with N.J.A.C. 7:7-27.2(b), commencement of any regulated activity authorized under a coastal permit constitutes the permittee's acceptance of the permit in its entirety as well as the permittee's agreement to abide by the permit and all conditions therein.

In accordance with N.J.A.C. 7:7-27.2(c) and (d), the following conditions apply to this authorization under a general permit-by-certification:

The issuance of a permit shall in no way expose the State of New Jersey or the Department to liability for the sufficiency or correctness of the design of any construction or structure(s). Neither the State nor the Department shall, in any way, be liable for any loss of life or property that may occur by virtue of the activity or development conducted as authorized under a permit.

The issuance of a permit does not convey any property rights or any exclusive privilege.

The permittee shall obtain all applicable Federal, State, and local approvals prior to commencement of regulated activities authorized under a coastal permit.

A permittee proposing soil disturbance, the creation of drainage structures, or changes in natural contours shall obtain any required approvals from the Soil Conservation District or designee having jurisdiction over the site.

The permittee shall take all reasonable steps to prevent, minimize, or correct any adverse impact on the environment resulting from activities conducted pursuant to the permit, or from noncompliance with the permit.

The permittee shall immediately inform the Department of any unanticipated adverse effects on the environment not described in the application or in the conditions of the permit. The Department may, upon discovery of such unanticipated adverse effects, and upon the failure of the permittee to submit a report thereon, notify the permittee of its intent to suspend the permit, pursuant to N.J.A.C. 7:7-27.7.

The permittee shall immediately inform the Department by telephone at (877) 927-6337 (Warn DEP Hotline) of any noncompliance that may endanger the public health, safety, and welfare, or the environment. The permittee shall inform the Division of Land Use Regulation by telephone at (609) 292-0060 of any other noncompliance within two working days of the time the permittee becomes aware of the noncompliance, and in writing within five working days of the time the permittee becomes aware of the noncompliance. Such notice shall not, however, serve as a defense to enforcement action if the project is found to be in violation of this chapter. The written notice shall include:

1. A description of the noncompliance and its cause;
2. The period of noncompliance, including exact dates and times;
3. If the noncompliance has not been corrected, the anticipated length of time it is expected to continue;

and

4. The steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance.

It shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the authorized activity in order to maintain compliance with the conditions of the permit.

The permittee shall employ appropriate measures to minimize noise where necessary during construction, as specified in N.J.S.A. 13:1G-1 et seq. and N.J.A.C. 7:29.

The issuance of a permit does not relinquish the State's tidelands ownership or claim to any portion of the subject property or adjacent properties.

The issuance of a permit does not relinquish public rights to access and use tidal waterways and their shores.

The permittee shall allow an authorized representative of the Department, upon the presentation of credentials, to:

1. Enter upon the permittee's premises where a regulated activity is located or conducted, or where records must be kept under the conditions of the permit;
2. Have access to and copy, at reasonable times, any records that must be kept under the conditions of the permit; and
3. Inspect at reasonable times any facilities, equipment, practices, or operations regulated or required under the permit. Failure to allow reasonable access under this paragraph shall be considered a violation of this chapter and subject the permittee to enforcement action under N.J.A.C. 7:7-29.

The permittee and its contractors and subcontractors shall comply with all conditions, site plans, and supporting documents approved by the permit.

All conditions, site plans, and supporting documents approved by a permit shall remain in full force and effect so long as the proposed development or any portion thereof is in existence, unless the permit is modified pursuant to N.J.A.C. 7:7-27.5.

The permittee shall record the permit, including all conditions listed therein, with the Office of the County Clerk (the Registrar of Deeds and Mortgages, if applicable) of each county in which the site is located. The permit shall be recorded within 30 calendar days of receipt by the permittee, unless the permit authorizes activities within two or more counties, in which case the permit shall be recorded within 90 calendar days of receipt. Upon completion of all recording, a copy of the recorded permit shall be forwarded to the Division of Land Use Regulation at the address set forth at N.J.A.C. 7:7-1.6.

The permittee shall notify the Department in writing within five working days prior to commencement of operation of a CAFRA individual permit. At this time, the permittee shall certify that all conditions of the permit that must be met prior to operation of the development have been met;

If any condition or permit is determined to be legally unenforceable, modifications and additional conditions may be imposed by the Department as necessary to protect public health, safety, and welfare, or the environment.

A copy of the permit and all approved site plans and supporting documents shall be maintained at the site at all times and made available to Department representatives or their designated agents immediately upon request.

Where the permittee becomes aware that it failed to submit any relevant facts in an application, or submitted incorrect information in an application or in any report to the Department, it shall promptly submit such facts or information.

The permittee shall submit written notification to the Bureau of Coastal and Land Use Compliance and Enforcement, 401 East State Street, 4th Floor, P.O. Box 420, Mail Code 401-04C, Trenton, NJ 08625, at least three working days prior to the commencement of site preparation or of regulated activities,

whichever comes first.

Any person aggrieved by this decision may, in accordance with N.J.A.C. 7:7-28.1(b), request an adjudicatory hearing within 30 calendar days after public notice of the decision is published in the DEP Bulletin. If a person submits the request after this time, the Department shall deny the request.

Permit Details

Structure ID	Structure Description
LUDI000000000001	Dock (fixed)
LUDI000000000002	Jet Ski Lift

Structure Permit Requirements

The structures, including mooring area and mooring piles shall not extend beyond a distance of 20 percent of the width of a man-made lagoon in accordance with N.J.A.C. 7:7-5.2(a)2.

The width of the dock or pier shall not exceed twice the clearance between the structure and the surface of the ground below or the water surface at mean high water, except for floating docks in accordance with N.J.A.C. 7:7-5.2(a)3

The maximum width of the structures shall be eight feet, except where crossing wetlands, where the structure shall be constructed perpendicular to the shoreline to access sufficient water depth and shall not exceed six feet in width in accordance with N.J.A.C. 7:7-5.2(a)4.

The height of the structure over wetlands shall be a minimum of four feet in accordance with N.J.A.C. 7:7-5.2(a)4.

The structure, including mooring area and mooring piles, shall not hinder navigation or access to adjacent docks, piers, moorings, or water areas in accordance with N.J.A.C. 7:7-5.2(a)6.

A minimum of eight feet of open water shall be provided between any docks including jet ski ramps, if the combined width of any exiting proposed docks over the water exceeds eight feet in accordance with N.J.A.C. 7:7-5.2(a)7.

For docks which are perpendicular to the adjacent bulkhead or shoreline, construction and placement of the dock shall be a minimum of four feet from all property lines in accordance with N.J.A.C. 7:7-5.2(a)8.

The spacing between horizontal planking shall be maximized and the width of the horizontal planking minimized to the maximum extent practicable. Under normal circumstances, a minimum of 3/8 inch, 1/2 inch, 3/4 inch, or one inch space shall be provided for four inch, six inch, eight to 10 inch, or 12 inch wide planks on the dock, respectively, in accordance with N.J.A.C. 7:7-5.2(a)9.

Jet ski ramps shall not exceed eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)10.

For sites which have existing dock structures exceeding eight feet in width over water areas and/or wetlands, which were constructed prior to September 1978 and for which the applicant proposes to increase the coverage over the water area or wetland by increasing the number or size of boat slips, docks, or piers, the existing oversized structures shall be reduced to a maximum of eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)11.

Certifications

The permittee certified that the property is located on a man-made lagoon lot as specified at N.J.A.C. 7:7-1.5.

The permittee certified that the proposed structure is located on an individual single family or duplex lots and shall be for recreational/non-commercial use, as specified at N.J.A.C. 7:7-5.2(a)1.

The permittee certified that the structures, including the mooring area and mooring piles, shall not extend beyond a distance of twenty percent of the width of a man-made lagoon as specified at N.J.A.C. 7:7-5.2(a)2.

The permittee certified that the width of the dock or pier shall not exceed twice the clearance between the structure and the surface of the ground below or the water surface at mean high water, except for floating docks in accordance with N.J.A.C. 7:7-5.2(a)3. For example, an eight foot wide dock must be elevated a minimum of four feet above the water surface at mean high water.

The permittee certified that the maximum width of the structures shall be no greater than eight feet except where crossing wetlands, where the structure shall be constructed perpendicular to the shoreline to access sufficient water depth and shall not exceed six feet in width in accordance with N.J.A.C. 7:7-5.2(a)4.

The permittee certified that the height of the structure over wetlands shall be a minimum of four feet in accordance with N.J.A.C. 7:7-5.2(a)4.

The permittee certified that any wetlands disturbed during construction shall be restored to pre-project conditions in accordance with N.J.A.C. 7:7-5.2(a)5.

The permittee certified that the structure, including mooring area and mooring piles, will not hinder navigation or access to adjacent docks, piers, moorings, or water areas in accordance with N.J.A.C. 7:7-5.2(a)6.

The permittee certified that no more than four vessels shall be moored at the project site at one time.

The permittee certified a minimum of eight feet of open water shall be provided between any docks, including jet ski ramps, if the combined width of any existing or proposed docks over the water exceeds eight feet in accordance with N.J.A.C. 7:7-5.2(a)7.

The permittee certified when they are constructing docks which are perpendicular to the adjacent bulkhead or shoreline, they will construct and place the docks a minimum of four feet from all property lines in accordance with N.J.A.C. 7:7-5.2(a)8.

The permittee certified that the space between the horizontal planking is maximized and the width of horizontal planking is minimized to the maximum extent practicable in accordance with N.J.A.C. 7:7-5.2(a)9. Under normal circumstances, a minimum of 3/8 inch, 1/2 inch, 3/4 inch, or one inch space is to be provided for four inch, six inch, eight inch to 10 inch, or 12 inch plus wide planks, respectively.

The permittee certified that any jet ski ramps shall not exceed eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)10. A Jet Ski ramp is an inclined floating dock typically attached to existing docks for the purpose of docking jet skis.

The permittee certified for sites which have existing dock structures exceeding eight feet in width over water areas and/or wetlands, which were constructed prior to September 1978 and for which the applicant proposes to increase the coverage over the water area or wetland by increasing the number or size of boat slips, docks or piers, the existing oversized structures shall be reduced to a maximum of eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)11.

DEPARTMENT OF THE ARMY
GENERAL PERMIT
NEW JERSEY-SPGP-17

PERMITTEE AND PERMIT NUMBER:

CENAP-OP-R-SPGP-17 -

ISSUING OFFICE:

Department of the Army
U.S. Army Corps of Engineers, Philadelphia District
Wanamaker Building - 100 Penn Square East
Philadelphia, Pennsylvania 19107-3390

NOTE: The term "you" and its derivatives, as used in this permit, means the permittee or any future transferee. The term "this office" refers to the appropriate district or division office of the Corps of Engineers having jurisdiction over the permitted activity or the appropriate official of that office acting under the authority of the commanding officer.

You are authorized to perform work in accordance with the terms and conditions specified below.

PROJECT DESCRIPTION: This general permit authorizes the construction of structures; performance of work and the discharge of dredged and fill material in substantially developed artificial tidal lagoons and their access channel. The terms "structure" and "work" are defined in Federal regulations contained in 33 CFR 322.2[b] & [c]. The terms "discharge of dredged material", "fill material" and "discharge of fill material" are defined in Federal regulations contained in 33 CFR 323.2[d], [e] & [f]. "Substantially developed" artificial tidal lagoons are those where the surrounding lands are uplands and do not support wetlands other than a narrow band of fringe wetlands along the waterline. Lagoons are defined as artificially created linear waterways sometimes branched, ending in a dead end with no significant upland drainage. A natural waterway, which is altered by activities including, but not limited to, filling, channelizing, or bulkheading shall not be considered a lagoon. A bulkheaded boat slip shall not be considered a lagoon.

PROJECT LOCATION: This general permit is applicable to Waters of the United States in the State of New Jersey located in substantially developed artificial tidal lagoons and their access channel within the geographic boundaries of both the Philadelphia District and the New York District, U.S. Army Corps of Engineers.

TERMS OF AUTHORIZATION:

1. That in order for the construction of structures, performance of work and/or the discharge of dredged and fill material to be approved by this general permit, these activities must be reviewed and receive the approval(s) or waiver of

CHECKLIST

BLOCK 253.15 LOT 6 DATE RECEIVED 4/19/17
 PROPERTY ADDRESS 40 Halsey Drive, Brick, NJ 08723
 APPLICANT Larry Robin PHONE 732-370-1254
 ADDRESS 40 Halsey Drive, Brick, NJ 08723
 CONTRACTOR SS Bulkheading PHONE _____
 ADDRESS 714 Chesapeake Drive, Fackled River, NJ 08731
 TYPE OF WORK Construct 20ft x 4ft Deck

		YES	NO	N/A
1	PLANS/DETAILS SIGNED & SEALED			
2	SCALE OF NOT LESS THAN 1"=50'	✓		
3	PROPERTY LINES, CORNERS, BEARINGS & DISTANCES	✓		
4	DRAINAGE PIPES, OUTFALLS/BASEMENTS	✓		
5	NORTH ARROW	✓		✓
6	PROPERTY ADDRESS/LOT/BLOCK NUMBER	✓		
7	EXISTING STRUCTURES/DWELLINGS	✓		
8	M.H.W.L. ELEVATION	✓		
9	EXISTING BULKHEAD/DOCK LOCATION	✓		
10	PROPOSED BULKHEAD/DOCK LOCATION	✓		
11	BULKHEAD/DOCK DETAIL (ELEVATION PROFILE)	✓		
12	FACE/ANCHOR PILING TYPE/SIZE/LENGTH	✓		
13	SHEET PILING TYPE/SIZE/LENGTH	✓		
14	W/ALER TYPE/SIZE/LENGTH			✓
15	TIE ROD TYPE/SIZE/LENGTH			✓
16	CAP/HARDWARE/OTHER MISCELLANEOUS ITEMS	✓		✓
17	TOP OF BULKHEAD ELEVATION			✓
18	DISTANCE-TOP OF BULKHEAD TO SOLID BOTTOM			✓
19	BEVEL CUT DETAIL			✓
20	PIPE PENETRATION DETAIL			✓
21	PRIOR D.E.P. PERMIT/ARMY CORP. PERMIT # <u>DEP-1506-17-0020</u>			✓
22	BOAT LIFT DETAIL			✓
23	DRAW LOG TYPE/SIZE/LENGTH			✓
24	HELICAL/MANTA RAY/BTC			✓
25	RIPARIAN GRANT/LAND LEASE/ETC.			✓

BULKHEAD REVIEW

APPROVED ☒ REJECTED ☐ SIGNED MR DATE 4/25/17

ANCHOR INSPECTION

APPROVED ☐ REJECTED ☐ SIGNED _____ DATE _____

FINAL INSPECTION

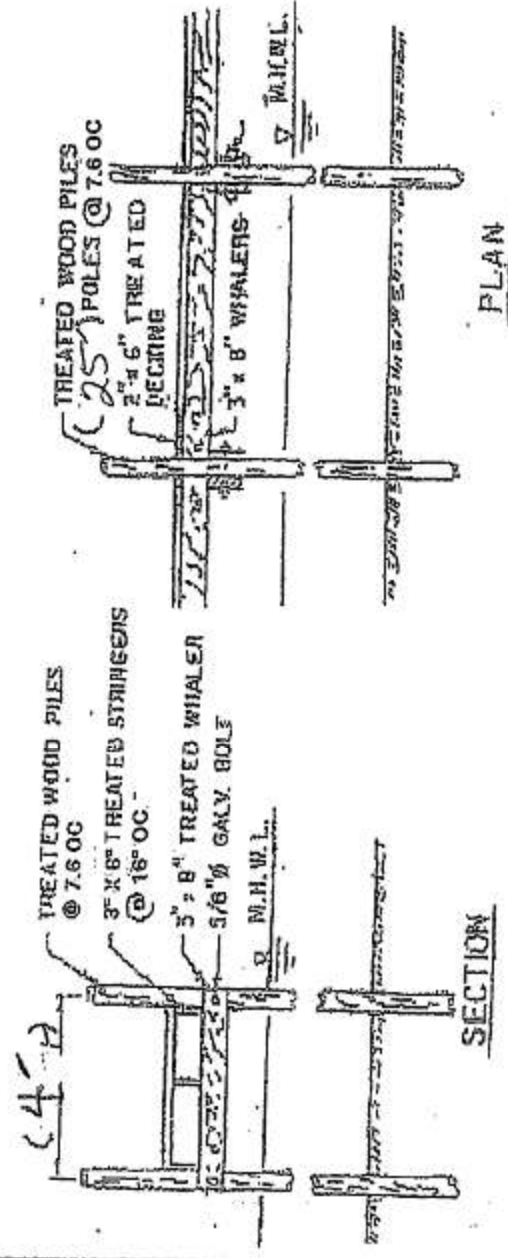
APPROVED ☐ REJECTED ☐ SIGNED _____ DATE _____

COMMENTS #425/17 - Deck only. No piling lift @ this time - MR

DOCK DETAIL

Applicant/Owner: Larry Robin
 Address of Applicant: 40 Halsey Dr.
Brick, NJ 08728

Property Location: Lot 6 Block 253, K
 Address: Street 40 Halsey Dr Town Brick



NOTE: ALL STRUCTURAL ELEMENTS
 TO BE CONSTRUCTED OF
 NON-POLLUTING MATERIALS.

Dock Size:
 20Ft x 4Ft

S. S. Bulkheading L.L.C
 Marine Construction
 Bulk Heads, Docks, Piers & Decks
 Repairs & Installations
 Fully Insured
 732-370-1254
 SSBulkheading@hotmail.com

Steven Alfano, Owner
 714 Chesapeake Drive
 Forked River, NJ 08731

File Number: _____

F-512

DRUM POINT
ROAD

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4511 HIGHWAY

HOWELL, NEN
P.O. BOX 454

TEL. (732) 370-

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154

LAND SU

must be min
5' off property
line - ~~not~~
not to be
installed
under this
permit
Dock
only

Russell Harris

From: SS Bulkheading <ssbulkheading@hotmail.com>
Sent: Tuesday, April 25, 2017 12:38 PM
To: Russell Harris
Subject: Re: 40 Halsey - Jet Ski Lift ?

Hi Russel,

My client does not have a jetski and will not be requiring a permit for it at this time.

Regaurds,

Debbie
SS Bulkheading

From: Russell Harris <rharris@twp.brick.nj.us>
Sent: Tuesday, April 25, 2017 12:00 PM
To: ssbulkheading@hotmail.com
Subject: 40 Halsey - Jet Ski Lift ?

Hey Debbie. Just confirming that you are not installing the jet ski lift with this permit. Please confirm. If the owner decides to install one in the future he would need a new permit from the town and also notify him it would need to be a minimum of 5' off the property line.

Russell Harris
Senior Road Inspector
Engineering Department
Township of Brick
Phone: 732-262-1040
Fax: 732-262-2941

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Division of Land Use Regulation

Division of Land Use Regulation

501-02A
PO Box 420
Trenton, NJ 08625-0420
Phone: (609) 777-0454
Fax: (609) 777-3656

Permit #: 1506-17-0020.1 - LGP170001
RSP Service ID#: 707308
Payment Arrangement: Credit Card
Paid Online: Yes
Paid On: 04/11/2017
Paid Amt: \$600.00

This Authorization form is requested to be located at the regulated construction site at all times and be available for inspection by any authorized representative of the New Jersey Department of Environmental Protection. If you have designated an agent, it is your responsibility to notify your agent about this General Permit and its requirements.

AUTHORIZATION TO CONSTRUCT

GP15 - Coastal Docks, Piers, JetSki Ramp in Man-made Lagoons

Property Owner

Lawrence Robin
Homeowner
40 Halsey Drive
Brick Town, NJ 08723

Applicant

Lawrence Robin
Homeowner
40 Halsey Drive
Brick Twp, NJ 08723

Project Name & Location

Lawrence Robin
40 Halsey Drive
Brick Twp, NJ 08723

Brick Twp / Ocean

County
Ocean

Municipality
Brick Twp

Block
253.15

Lot
6

Electronically certified online by the responsible party Debbie Alfano on 04/11/2017.

Issuance Date	Effective Date of Authorization	Expiration Date
04/11/2017	04/11/2017	04/10/2022

Your Request for Authorization under Land Use Regulation General Permit No. 1506-17-0020.1 - LGP170001 has been approved by the New Jersey Department of Environmental Protection.

Diane Dow, Director
Division of Land Use Regulation
New Jersey Department of Environmental Protection

Date: 04/11/2017

General Permit Requirements

Conditions that apply to an authorization under general permit-by-certification 15 for the construction of piers, docks, including jet ski ramps, pilings, and boatlifts in man-made lagoons:

This authorization includes the issuance of the US Army Corps of Engineers' State Programmatic General Permit New Jersey SPGP-17. All activities performed under this authorization shall also comply with the conditions of the US Army Corps of Engineers' permit.

This authorization includes a water quality certificate for the permitted activities.

The Department will monitor and require strict compliance with the terms of this permit. Any noncompliance with this authorization constitutes a violation of this chapter and is grounds for enforcement action under N.J.A.C. 7:7-29.

In accordance with N.J.A.C. 7:7-27.2(b), commencement of any regulated activity authorized under a coastal permit constitutes the permittee's acceptance of the permit in its entirety as well as the permittee's agreement to abide by the permit and all conditions therein.

In accordance with N.J.A.C. 7:7-27.2(c) and (d), the following conditions apply to this authorization under a general permit-by-certification:

The issuance of a permit shall in no way expose the State of New Jersey or the Department to liability for the sufficiency or correctness of the design of any construction or structure(s). Neither the State nor the Department shall, in any way, be liable for any loss of life or property that may occur by virtue of the activity or development conducted as authorized under a permit.

The issuance of a permit does not convey any property rights or any exclusive privilege.

The permittee shall obtain all applicable Federal, State, and local approvals prior to commencement of regulated activities authorized under a coastal permit.

A permittee proposing soil disturbance, the creation of drainage structures, or changes in natural contours shall obtain any required approvals from the Soil Conservation District or designee having jurisdiction over the site.

The permittee shall take all reasonable steps to prevent, minimize, or correct any adverse impact on the environment resulting from activities conducted pursuant to the permit, or from noncompliance with the permit.

The permittee shall immediately inform the Department of any unanticipated adverse effects on the environment not described in the application or in the conditions of the permit. The Department may, upon discovery of such unanticipated adverse effects, and upon the failure of the permittee to submit a report thereon, notify the permittee of its intent to suspend the permit, pursuant to N.J.A.C. 7:7-27.7.

The permittee shall immediately inform the Department by telephone at (877) 927-6337 (Warm DEP Hotline) of any noncompliance that may endanger the public health, safety, and welfare, or the environment. The permittee shall inform the Division of Land Use Regulation by telephone at (609) 292-0060 of any other noncompliance within two working days of the time the permittee becomes aware of the noncompliance, and in writing within five working days of the time the permittee becomes aware of the noncompliance. Such notice shall not, however, serve as a defense to enforcement action if the project is found to be in violation of this chapter. The written notice shall include:

1. A description of the noncompliance and its cause;
2. The period of noncompliance, including exact dates and times;
3. If the noncompliance has not been corrected, the anticipated length of time it is expected to continue;

Division of Land Use Regulation

and

4. The steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance.

It shall not be a defense for a permittee in an enforcement action that it would have been necessary to halt or reduce the authorized activity in order to maintain compliance with the conditions of the permit.

The permittee shall employ appropriate measures to minimize noise where necessary during construction, as specified in N.J.S.A. 13:1G-1 et seq. and N.J.A.C. 7:29.

The issuance of a permit does not relinquish the State's tidelands ownership or claim to any portion of the subject property or adjacent properties.

The issuance of a permit does not relinquish public rights to access and use tidal waterways and their shores.

The permittee shall allow an authorized representative of the Department, upon the presentation of credentials, to:

1. Enter upon the permittee's premises where a regulated activity is located or conducted, or where records must be kept under the conditions of the permit;
2. Have access to and copy, at reasonable times, any records that must be kept under the conditions of the permit; and
3. Inspect at reasonable times any facilities, equipment, practices, or operations regulated or required under the permit. Failure to allow reasonable access under this paragraph shall be considered a violation of this chapter and subject the permittee to enforcement action under N.J.A.C. 7:7-29.

The permittee and its contractors and subcontractors shall comply with all conditions, site plans, and supporting documents approved by the permit.

All conditions, site plans, and supporting documents approved by a permit shall remain in full force and effect so long as the proposed development or any portion thereof is in existence, unless the permit is modified pursuant to N.J.A.C. 7:7-27.5.

The permittee shall record the permit, including all conditions listed therein, with the Office of the County Clerk (the Registrar of Deeds and Mortgages, if applicable) of each county in which the site is located. The permit shall be recorded within 30 calendar days of receipt by the permittee, unless the permit authorizes activities within two or more counties, in which case the permit shall be recorded within 90 calendar days of receipt. Upon completion of all recording, a copy of the recorded permit shall be forwarded to the Division of Land Use Regulation at the address set forth at N.J.A.C. 7:7-1.6.

The permittee shall notify the Department in writing within five working days prior to commencement of operation of a CAFRA individual permit. At this time, the permittee shall certify that all conditions of the permit that must be met prior to operation of the development have been met;

If any condition or permit is determined to be legally unenforceable, modifications and additional conditions may be imposed by the Department as necessary to protect public health, safety, and welfare, or the environment.

A copy of the permit and all approved site plans and supporting documents shall be maintained at the site at all times and made available to Department representatives or their designated agents immediately upon request.

Where the permittee becomes aware that it failed to submit any relevant facts in an application, or submitted incorrect information in an application or in any report to the Department, it shall promptly submit such facts or information.

The permittee shall submit written notification to the Bureau of Coastal and Land Use Compliance and Enforcement, 401 East State Street, 4th Floor, P.O. Box 420, Mail Code 401-04C, Trenton, NJ 08625, at least three working days prior to the commencement of site preparation or of regulated activities,

Division of Land Use Regulation

whichever comes first.

Any person aggrieved by this decision may, in accordance with N.J.A.C. 7:7-28.1(b), request an adjudicatory hearing within 30 calendar days after public notice of the decision is published in the DEP Bulletin. If a person submits the request after this time, the Department shall deny the request.

Permit Details

Structure ID	Structure Description
LUDI000000000001	Dock (fixed)
LUDI000000000002	Jet Ski Lift

Structure Permit Requirements

The structures, including mooring area and mooring piles shall not extend beyond a distance of 20 percent of the width of a man-made lagoon in accordance with N.J.A.C. 7:7-5.2(a)2.

The width of the dock or pier shall not exceed twice the clearance between the structure and the surface of the ground below or the water surface at mean high water, except for floating docks in accordance with N.J.A.C. 7:7-5.2(a)3

The maximum width of the structures shall be eight feet, except where crossing wetlands, where the structure shall be constructed perpendicular to the shoreline to access sufficient water depth and shall not exceed six feet in width in accordance with N.J.A.C. 7:7-5.2(a)4.

The height of the structure over wetlands shall be a minimum of four feet in accordance with N.J.A.C. 7:7-5.2(a)4.

The structure, including mooring area and mooring piles, shall not hinder navigation or access to adjacent docks, piers, moorings, or water areas in accordance with N.J.A.C. 7:7-5.2(a)6.

A minimum of eight feet of open water shall be provided between any docks including jet ski ramps, if the combined width of any exiting proposed docks over the water exceeds eight feet in accordance with N.J.A.C. 7:7-5.2(a)7.

For docks which are perpendicular to the adjacent bulkhead or shoreline, construction and placement of the dock shall be a minimum of four feet from all property lines in accordance with N.J.A.C. 7:7-5.2(a)8.

The spacing between horizontal planking shall be maximized and the width of the horizontal planking minimized to the maximum extent practicable. Under normal circumstances, a minimum of 3/8 inch, 1/2 inch, 3/4 inch, or one inch space shall be provided for four inch, six inch, eight to 10 inch, or 12 inch wide planks on the dock, respectively, in accordance with N.J.A.C. 7:7-5.2(a)9.

Jet ski ramps shall not exceed eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)10.

For sites which have existing dock structures exceeding eight feet in width over water areas and/or wetlands, which were constructed prior to September 1978 and for which the applicant proposes to increase the coverage over the water area or wetland by increasing the number or size of boat slips, docks, or piers, the existing oversized structures shall be reduced to a maximum of eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)11.

Certifications

The permittee certified that the property is located on a man-made lagoon lot as specified at N.J.A.C. 7:7-1.5.

The permittee certified that the proposed structure is located on an individual single family or duplex lots and shall be for recreational/non-commercial use, as specified at N.J.A.C. 7:7-5.2(a)1.

The permittee certified that the structures, including the mooring area and mooring piles, shall not extend beyond a distance of twenty percent of the width of a man-made lagoon as specified at N.J.A.C. 7:7-5.2(a)2.

The permittee certified that the width of the dock or pier shall not exceed twice the clearance between the structure and the surface of the ground below or the water surface at mean high water, except for floating docks in accordance with N.J.A.C. 7:7-5.2(a)3. For example, an eight foot wide dock must be elevated a minimum of four feet above the water surface at mean high water.

The permittee certified that the maximum width of the structures shall be no greater than eight feet except where crossing wetlands, where the structure shall be constructed perpendicular to the shoreline to access sufficient water depth and shall not exceed six feet in width in accordance with N.J.A.C. 7:7-5.2(a)4.

The permittee certified that the height of the structure over wetlands shall be a minimum of four feet in accordance with N.J.A.C. 7:7-5.2(a)4.

The permittee certified that any wetlands disturbed during construction shall be restored to pre-project conditions in accordance with N.J.A.C. 7:7-5.2(a)5.

The permittee certified that the structure, including mooring area and mooring piles, will not hinder navigation or access to adjacent docks, piers, moorings, or water areas in accordance with N.J.A.C. 7:7-5.2(a)6.

The permittee certified that no more than four vessels shall be moored at the project site at one time.

The permittee certified a minimum of eight feet of open water shall be provided between any docks, including jet ski ramps, if the combined width of any existing or proposed docks over the water exceeds eight feet in accordance with N.J.A.C. 7:7-5.2(a)7.

The permittee certified when they are constructing docks which are perpendicular to the adjacent bulkhead or shoreline, they will construct and place the docks a minimum of four feet from all property lines in accordance with N.J.A.C. 7:7-5.2(a)8.

The permittee certified that the space between the horizontal planking is maximized and the width of horizontal planking is minimized to the maximum extent practicable in accordance with N.J.A.C. 7:7-5.2(a)9. Under normal circumstances, a minimum of 3/8 inch, 1/2 inch, 3/4 inch, or one inch space is to be provided for four inch, six inch, eight inch to 10 inch, or 12 inch plus wide planks, respectively.

The permittee certified that any jet ski ramps shall not exceed eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)10. A Jet Ski ramp is an inclined floating dock typically attached to existing docks for the purpose of docking jet skis.

The permittee certified for sites which have existing dock structures exceeding eight feet in width over water areas and/or wetlands, which were constructed prior to September 1978 and for which the applicant proposes to increase the coverage over the water area or wetland by increasing the number or size of boat slips, docks or piers, the existing oversized structures shall be reduced to a maximum of eight feet in width in accordance with N.J.A.C. 7:7-5.2(a)11.

DEPARTMENT OF THE ARMY
GENERAL PERMIT
NEW JERSEY-SPGP-17

PERMITTEE AND PERMIT NUMBER:

CENAP-OP-R-SPGP-17 -

ISSUING OFFICE:

Department of the Army
U.S. Army Corps of Engineers, Philadelphia District
Wanamaker Building - 100 Penn Square East
Philadelphia, Pennsylvania 19107-3390

NOTE: The term "you" and its derivatives, as used in this permit, means the permittee or any future transferee. The term "this office" refers to the appropriate district or division office of the Corps of Engineers having jurisdiction over the permitted activity or the appropriate official of that office acting under the authority of the commanding officer.

You are authorized to perform work in accordance with the terms and conditions specified below.

PROJECT DESCRIPTION: This general permit authorizes the construction of structures; performance of work and the discharge of dredged and fill material in substantially developed artificial tidal lagoons and their access channel. The terms "structure" and "work" are defined in Federal regulations contained in 33 CFR 322.2[b] & [c]. The terms "discharge of dredged material", "fill material" and "discharge of fill material" are defined in Federal regulations contained in 33 CFR 323.2[d], [e] & [f]. "Substantially developed" artificial tidal lagoons are those where the surrounding lands are uplands and do not support wetlands other than a narrow band of fringe wetlands along the waterline. Lagoons are defined as artificially created linear waterways sometimes branched, ending in a dead end with no significant upland drainage. A natural waterway, which is altered by activities including, but not limited to, filling, channelizing, or bulkheading shall not be considered a lagoon. A bulkheaded boat slip shall not be considered a lagoon.

PROJECT LOCATION: This general permit is applicable to Waters of the United States in the State of New Jersey located in substantially developed artificial tidal lagoons and their access channel within the geographic boundaries of both the Philadelphia District and the New York District, U.S. Army Corps of Engineers.

TERMS OF AUTHORIZATION:

1. That in order for the construction of structures, performance of work and/or the discharge of dredged and fill material to be approved by this general permit, these activities must be reviewed and receive the approval(s) or waiver of

DEPARTMENT OF COMMUNITY DEVELOPMENT & LAND USE/DIVISION OF ENGINEERING

APPLICATION FOR BULKHEADS/DOCKS/PIERS PERMITDate of Application: _____ Permit No.: REV-17-00134Date received by Engineer's office: _____
(to be assigned by Engineer's office) 003001#3092 0001
CHECK 1 \$150.00

Application is hereby made by:

Name of company or individual Larry Robin FOR DEPOSIT ONLY
Address of company or individual 40 Halsey Drive, Brick, NJ 08723
Phone number(s) 646-357-0601Name of contractor SS Bulkheading
Address of contractor 714 Chesapeake Drive, Brick, NJ 08723
Phone number(s) 732-370-1254 000001
NJ 08723
MARINE CONST
CHECK 1 \$150.00Address of location of work to take place: 40 Halsey Drive, Brick, NJ 08728
Block / Lot number(s) of location of work: Block 253.15 Lot(s) 6

Please check the corresponding box for type of work:

☐ Bulkhead ☒ Dock/Pier ☐ OtherRequirements: ☐ 1) Plans per Section 168-4 of the Ordinance☒ 2) Written explanation of purpose of work:
Construct 20ft x 4ft Dock

- ☐ 3) Plan items per checklist
- ☐ 4) Start of work date: 4-27-17
- ☐ 5) Approximate completion of work date: 5-8-17
- ☐ 6) Home Improvement Contractors Registration: 13VH02561300
- ☐ 7) Permits obtained (where applicable)

☒ NJDEP 1506-17-0020.1
(type of permit, permit number and date)☐ Army Corps of Engineers
(permit number and date)☐ Other _____

Signature of Applicant

Date

Signature of Contractor

Date

(To be filled out by receiving office)

Application Fee: \$150.00
(non-refundable)

Paid on: _____

Check No. _____ Received by _____ (date)

This application does NOT grant permission to export or import soil at the subject location.

To fill or remove soil from a site, application form per Chapter 383 must be used.

Approved _____

Signature of Twp. Engineer or Agent

Print Name

Date

Conditions _____

Form G&C2007 1/07

\\Jobs\\Brick\\205234000209\\Correspondence\\Letters\\CIV-Bulkheads Docks Peirs Permit App.doc

THIS DOCUMENT IS PRINTED ON WATERMARKED PAPER WITH A MULTICOLORED BACKGROUND AND MULTIPLE SECURITY FEATURES. PLEASE VERIFY AUTHENTICITY.

NOT AN
ELECTRICIAN'S
OR PLUMBER'S
LICENSE

State Of New Jersey
New Jersey Office of the Attorney General
Division of Consumer Affairs

THIS IS TO CERTIFY THAT THE
Division of Consumer Affairs

HAS REGISTERED

SS BULKHEADING LLC
Steven Alfano
714 Chesapeake Drive
Forked River NJ 08731

FOR PRACTICE IN NEW JERSEY AS A(N): Home Improvement Contractor

02/07/2017 TO 03/31/2018

VALID


Signature of Licensee/Registrant/Certificate Holder

13VH02561300
LICENSE/REGISTRATION/CERTIFICATION #


DIRECTOR

NOT AN
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OR PLUMBER'S
LICENSE

New Jersey Office of the Attorney General
Division of Consumer Affairs
THIS IS TO CERTIFY THAT THE
Division of Consumer Affairs
HAS REGISTERED
SS BULKHEADING LLC
Home Improvement Contractor

VALID
02/07/2017 TO 03/31/2018

SIGNATURE
DIRECTOR

13VH02561300
Licensee/Registration/Certificate #

PLEASE DETACH HERE
IF YOUR LICENSE/REGISTRATION/
CERTIFICATE ID CARD IS LOST
PLEASE NOTIFY:
Division of Consumer Affairs
P.O. Box 46016
Newark, NJ 07101

PLEASE DETACH HERE