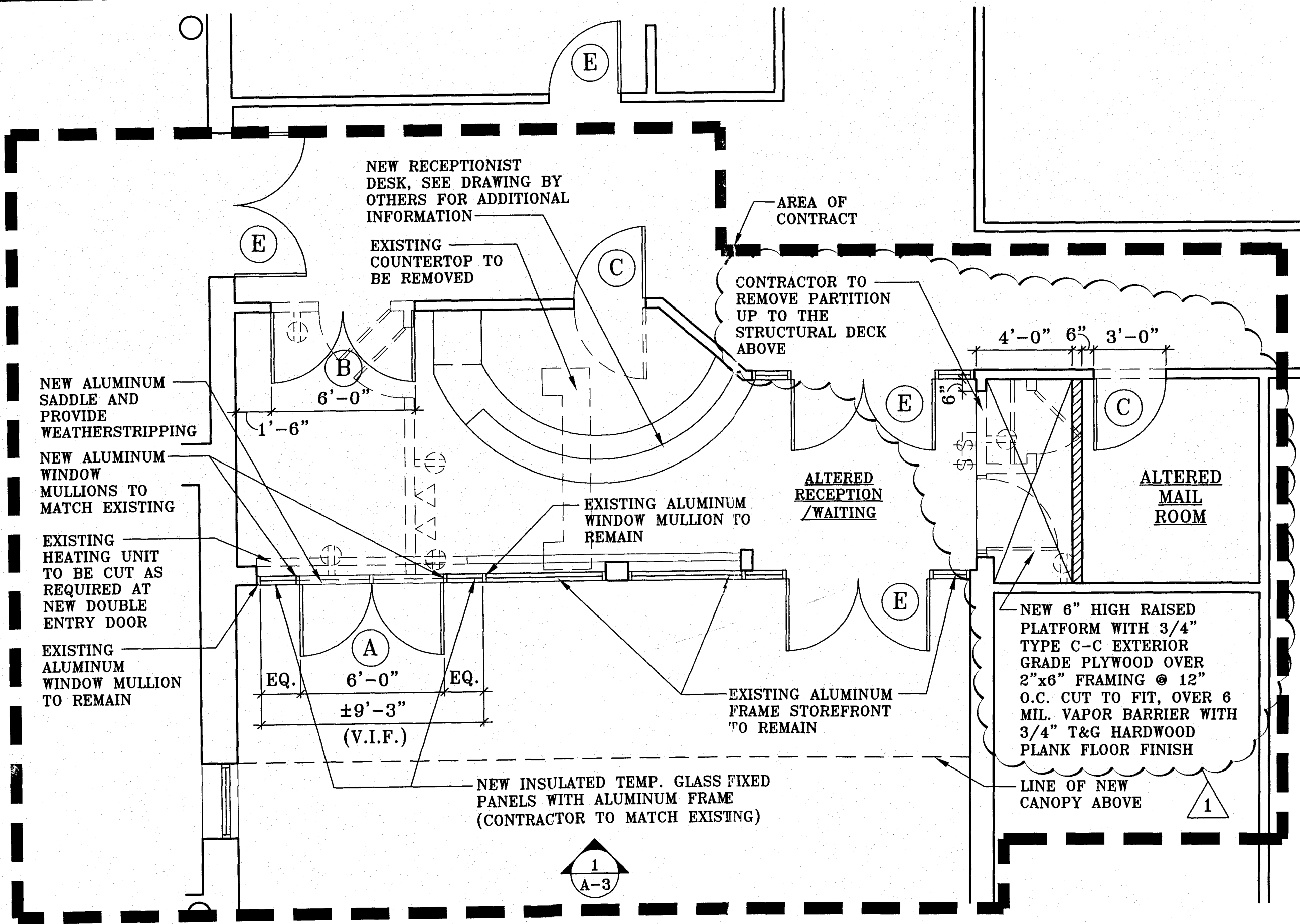




1 PROPOSED PARTIAL FIRST FLOOR PARTITION & DEMOLITION PLAN
SCALE: 1/4"=1'-0"

OWNER/APPLICANT:

L'OREAL USA
81 NEW ENGLAND AVENUE
PISCATAWAY, N.J., 08854

PROJECT SCOPE OF WORK:

L'OREAL USA INTENDS TO RENOVATE A PORTION OF AN EXISTING BUSINESS OFFICE SECTION OF THE BUILDING AS FOLLOWS:

1. A PORTION OF THE EXISTING OFFICE SPACE WILL BE RENOVATED TO ACCOMMODATE THE EXPANSION OF THE EXISTING RECEPTION/WAITING ROOM.

BUILDING HEIGHT AND AREA CALCULATIONS:

BUILDING HEIGHT:
EXISTING HEIGHT = ONE STORY
PROPOSED HEIGHT = ONE STORY (NO CHANGE)

EXISTING BUILDING AREA:
EXIST. BUILDING GROUND FLOOR AREA = 251,500 SF
PROPOSED BUILDING GROUND FLOOR AREA = NO CHANGE

SCOPE OF WORK AREA AND VOLUME INFORMATION:

TOTAL SCOPE OF WORK AREAS = 443 SF
TOTAL SCOPE OF WORK VOLUME = 4,036 CF

INTERIOR FINISHES:

ALL INTERIOR FINISHES SHALL COMPLY WITH REQUIREMENTS OF NJIBC 2009 CHAPTER 8 "INTERIOR FINISHES" AND TABLE 803.9.

BUILDING DEPARTMENT NOTES:

LOT NO.: 3B
BLOCK NO.: 480C
USE GROUP: B BUSINESS
F-1 FACTORY INDUSTRIAL MODERATE
S-1 STORAGE MODERATE
CONSTRUCTION TYPE: 1B, UNPROTECTED, NON-COMBUSTIBLE

THIS EXISTING ONE STORY BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM (SPRINKLER) AND MEETS THE REQUIREMENTS OF NFPA 13

THIS APPLICATION (AREA OF CONTRACT) IS FOR NO BUILDING EXPANSION AND (B) BUSINESS USE.

BARRIER FREE REQUIREMENTS:

ALL DOOR HARDWARE SHALL COMPLY WITH SECTIONS 404.2.6, 404.2.7, 404.2.8, 404.2.9 & 404.2.10 OF THE ICC/ANSI A117.1-2003 BARRIER FREE REQUIREMENTS OF THE "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" CODE.

PLUMBING FIXTURE COUNT:

THE EXISTING SHARED COMMON TOILET FACILITIES AND PLUMBING FIXTURE COUNTS SHALL REMAIN UNCHANGED.

PARTITION LEGEND:

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN (U.O.N.)
- NEW NON-RATED PARTITION:
ONE(1) LAYER 5/8" G.W.B. EACH SIDE OF 3-5/8" METAL STUDS @ 16" O.C. (MAX) FROM EXISTING FLOOR SLAB EXTENDING 6" ABOVE S.A.T. CEILING.

PARTITION NOTES:

1. WHEREVER A FIRE RESISTANCE CLASSIFICATION IS SHOWN INVOLVING G.W.B., PROVIDE MATERIALS, ACCESSORIES AND APPLICATION PROCEDURES WHICH HAVE BEEN LISTED BY U.L. (OR TESTED) TO ACHIEVE THE RATING REQUIRED.
2. PROVIDE CONSTRUCTION OF GYPSUM BOARD PARTITIONS; TAPED AND SPACKLED AND READY FOR INSTALLATION OF DESIRED FINISHES.
3. INSTALL METAL STUDS AND COMPONENTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE ADDITIONAL FRAMING AND BLOCKING AS REQUIRED TO SUPPORT WALLBOARD AT OPENING (DOORS) AND PROVIDE ADDITIONAL SUPPORT FOR ALL BUILT-IN ANCHORAGE AND ATTACHMENT DEVICES FOR OTHER WORK. THE G.C. IS TO COORDINATE FOR THE LOCATIONS OF ALL WORK REQUIRING ADDITIONAL SUPPORT.
4. WHERE APPLICABLE AT CONDITIONS LABELED "ALIGN" COVER FACE OF EXISTING COLUMNS OR WALLS WITH G.W.B. LAMINATED TO (OR ON FURRING) COVER DISSIMILAR SURFACES AND PROVIDE A SMOOTH CRACK FREE SURFACE.

DOOR NOTES:

1. THE G.C. IS TO COORDINATE, SUPPLY AND INSTALL ALL DOORS AND DOOR HARDWARE IN ACCORDANCE WITH THE I.B.C. 2009, A.D.A., A.N.S.I. AND ALL APPLICABLE CODES.
2. PROVIDE 1-3/4" SOLID CORE WOOD ARCHITECTURAL GRADE PARTICLE CORE) FLUSH WOOD DOORS. ALL WOOD DOORS TO IE STAIN GRADE VENEER SUITABLE FOR STAIN & FINISHING (U.O.N.) UNDERCUT FOR PROPOSED FINISHES AND NSTALLATION. SEE DOOR SCHEDULE SHEET A-2 AND ARTITION PLAN THIS SHEET.

DOOR HARDWARE NOTES:

1. OMPLY WITH THE APPLICABLE REQUIREMENTS FOR ALL DOOR HARDWARE TO CONFORM WITH THE I.B.C. 2009, N.J. EDITION, D.A., A.N.S.I. AND LABELED FIRE RATINGS (WHERE APPLICABLE) OR FIRE RATED DOORS COMPLIANCE WITH N.F.P.A. 80.
2. PROVIDE ALL HARDWARE AND INSTALLATION IN COMPLIANCE WITH B.C. 2009, A.D.A. AND A.N.S.I. CODE REQUIREMENTS FOR COMPLETE DOOR OPERATION, INCLUDING BUT NOT NECESSARILY IMITED TO: LOCKSETS, LATCHSETS, HINGES, DOOR STOPS, KICK PLATES, SILENCERS AND CLOSERS, ETC.
3. ONTRACTOR SHALL VERIFY ALL DOOR HARDWARE WITH LOREAL USA PRIOR TO PURCHASE AND INSTALLATION. VERIFY EXISTING HARDWARE ON SITE TO BE MATCHED.
4. LL LOCKING HARDWARE TO BE KEYED TO COORDINATE WITH THE XISTING BUILDING SYSTEM.

DEMOLITION NOTES:

1. PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE DRAWINGS.
2. THE CONTRACTOR SHALL EXECUTE ALL WORK WITHIN IN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING, OVERTIME FOR WORK REQUIRED.
3. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED, RETURNED TO OWNER OR AS OTHERWISE INDICATED.
4. THE CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER ELECTRICAL, WIRING AND EQUIPMENT.
5. IN ALL AREAS WHERE DEMOLITION (REMOVAL OF PARTITIONS, ETC.) CAUSE AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISHED FLOORING.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXITS ACCESSIBLE TO OTHER BUILDING OCCUPANTS DURING THE FULL EXTENT OF DEMOLITION.
7. THE BUILDING WILL REMAIN OPEN DURING DEMOLITION. PROVIDE PROTECTIVE MEASURES TO ASSURE THE SAFE PASSAGE TO ALL ACTIVE AREAS OF THE BUILDING.
8. DURING AND AFTER THE DEMOLITION PHASE, THE CONTRACTOR AND ALL TRADE SUBCONTRACTORS SHALL PROTECT ALL AREAS OF EXISTING ADJACENT STRUCTURES AND PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE DURING DEMOLITION. THE CONTRACTOR SHALL PROMPTLY RESTORE DAMAGED ITEMS TO THEIR ORIGINAL CONDITION AT NO COST TO THE OWNER.
9. ALL DEMOLITION AREAS SHALL BE ISOLATED FROM REMAINING PORTIONS OF THE BUILDING WITH TEMPORARY DUSTPROOF AND/OR WEATHER PROOF PARTITIONS AND SHALL BE EXHAUSTED TO OBTAIN A NEGATIVE PRESSURE (.05 INCH/WC) WITHIN THE SPACE TO PREVENT THE ACCUMULATION OF DUST AND POLLUTION INSIDE THE BUILDING.
10. THE CONTRACTOR AND ALL TRADE SUBCONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO PERFORM A COMPLETE JOB. THE CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. THE PLAN SHALL INCLUDE A SCHEDULE OF DEMOLITION ACTIVITIES, DETAILED COORDINATION OF UTILITIES SHUTOFFS (IF REQUIRED), DRAWINGS OF PROPOSED DUST-PROOF AND/OR WEATHERPROOF PARTITIONS, LOCATION PLANS & DETAILS, AND MATERIAL STAGING AREAS.
11. THE CONTRACTOR SHALL CONSPICUOUSLY LOCATE SIGNAGE TO INDICATE THE LOCATION OF DEMOLITION AREAS. THE SIGNAGE WILL CONSIST OF 2' TALL BLACK LETTERING ON AN ORANGE BACKGROUND AND WILL READ AS FOLLOWS: "KEEP OUT-CONSTRUCTION AREA-CONTRACTOR EMPLOYEES ONLY"
12. THE CONTRACTOR AND EACH OF THEIR TRADE SUBCONTRACTORS SHALL DISPOSE OF ALL DEMOLITION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES. THE SITE SHALL BE SWEEPED AND LEFT CLEAN OF ALL DEBRIS AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND TRANSPORTATION ACTIVITIES OF DUMPSTERS AND CONTAINERS WITH THE OWNER'S REPRESENTATIVE.
13. PRIOR TO REMOVING ANY MASONRY WALLS OR BEARING PARTITIONS, THE CONTRACTOR AND EACH OF THEIR TRADE SUBCONTRACTORS SHALL PROVIDE TEMPORARY SHORING AS REQUIRED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY UNFORESEEN STRUCTURAL ELEMENTS.
14. ALL ELECTRICAL DEMOLITION SHALL BE COMPLETED BY A LICENSED ELECTRICIAN.
15. EXISTING CONDUITS RUNNING THROUGH RENOVATED AREA(S) AND SERVING EXISTING EQUIPMENT LOCATED OUTSIDE THE RENOVATED AREA SHALL REMAIN OR (IF IN CONFLICT WITH NEW INSTALLATION WORK) SHALL BE REROUTED WITH NECESSARY RECONNECTIONS TO MAINTAIN ELECTRICAL CONTINUITY OF THE CIRCUITRY AND GROUNDING WIRING FOR S&D EQUIPMENT.
16. ALL "EXISTING TO REMAIN" OR "EXISTING TO BE RELOCATED" ITEMS SHALL BE PROTECTED.

APPLICABLE CODES:

ALL WORK SHALL BE IN ACCORDANCE WITH NJAC-NJUCC AND ALL REFERENCED SUB CODES AND AMENDMENTS AS FOLLOWS:

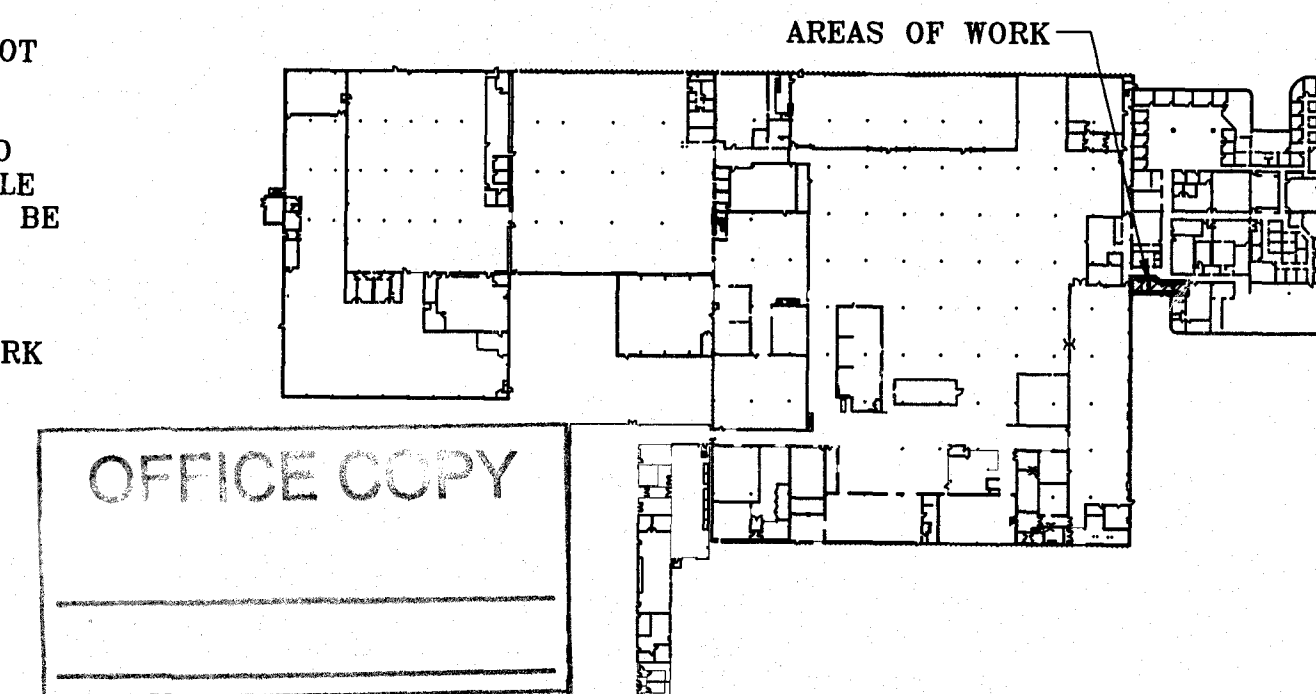
- INTERNATIONAL BUILDING CODE 2009 - NJ EDITION
- INTERNATIONAL FIRE CODE 2009
- INTERNATIONAL MECHANICAL CODE 2009
- NATIONAL ELECTRICAL CODE 2011
- NATIONAL STANDARD PLUMBING CODE 2009
- ASHRAE 90.1-2007 (COMMERCIAL)
- NJAC - NEW JERSEY ADMINISTRATIVE CODE
- NJAC 5:23 - NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC)
- NJAC 5:23.6 - NJUCC REHABILITATION SUBCODE (RENOVATIONS/ALTERATIONS)
- NJAC 5:23.7 - NJUCC BARRIER FREE SUBCODE
- ICC/ANSI A117.1-2003 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES CODE

GENERAL NOTES:

1. THE GENERAL CONTRACTOR WILL COMPLETE AND SUBMIT THE REQUIRED APPLICATION FORMS ALONG WITH CONSTRUCTION DOCUMENTS TO THE PISCATAWAY BUILDING DEPARTMENT FOR APPROVAL AND OBTAIN ALL REQUIRED PERMITS AND PAY THE APPLICABLE FEES PRIOR TO THE START OF WORK.
2. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK. SHOULD ANY ERROR OR OMISSION EXIST ON DRAWINGS WHICH THE CONTRACTOR MIGHT REASONABLY BE EXPECTED TO DETECT, THE SAME SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS CORRECTION PRIOR TO PROCEEDING WITH THE WORK INVOLVED. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
3. G.C. SHALL MAINTAIN COMPLETE UP-TO-DATE DRAWINGS AT THE JOB SITE.
4. G.C. SHALL RESTORE TO VALUES SPECIFIED IN APPLICABLE CODES THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS AND THE FIRE PROTECTION OF STRUCTURAL MEMBERS THAT ARE DAMAGED DURING CONSTRUCTION.
5. ALL DIMENSIONS SHALL BE FINISH SURFACE TO FINISH SURFACE UNLESS OTHERWISE INDICATED.
6. ALL MATERIALS AND METHODS SHALL COMPLY WITH THE I.B.C. 2009, N.J. EDITION REQUIREMENTS AND ALL LOCAL AGENCIES HAVING JURISDICTION.
7. ALL PERTINENT NATIONAL, STATE, LOCAL AND MUNICIPAL CODES AND APPLICABLE OSHA LAWS AND REGULATIONS SHALL BE ADHERED TO AT ALL TIMES BY THE CONTRACTOR.
8. ALL CONTRACTORS SHALL MAINTAIN CONTRACTOR'S LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE. ALL OPERATIONS SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY CODE REGULATIONS.
9. THE G.C. SHALL PROVIDE ALL NECESSARY CUTTING AND CHOPPING FOR ALL TRADES AND ALL PATCHING, REFINISHING, ETC. ARISING FROM WORK IN THE CONTRACT AREAS.
10. THE GENERAL CONTRACTOR IS TO PROVIDE BARRICADES, COVERINGS OR OTHER TYPES OF PROTECTION NECESSARY TO PREVENT DAMAGE TO THE EXISTING SPACE AND AREAS BEYOND THE CONTRACT LIMITS.
11. PROVIDE ALL REMOVALS NECESSARY (FOR ALL TRADES) WHICH ARE REQUIRED FOR THE DESIGN INTENT INDICATED.
12. THE OWNER RESERVES THE RIGHT TO DESIGNATE THE ORDER IN WHICH THE CONTRACTOR SHALL PROCEED WITH ANY AND ALL PORTIONS OF THE WORK. WORK SHALL BE COORDINATED SO AS NOT TO INTERFERE WITH THE BUILDING OCCUPANTS AND ACTIVITIES. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE SHOWING HOW THE WORK WILL PROCEED DURING THE CONSTRUCTION PERIOD. THE CONSTRUCTION SCHEDULE SHALL INCLUDE ANY WORK REQUIRED TO BE PHASED. THIS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE OWNER AND THE OWNER'S REPRESENTATIVE.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK UNDER THIS CONTRACT TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT. THE CONTRACTOR SHALL COORDINATE ALL AREAS OF WORK WITH OTHER TRADES INVOLVED WITH THE PROJECT.
14. THE CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE ADJACENT PROPERTY AS JOB CONDITIONS REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ISOLATE ALL WORK AREAS AND CLEARLY DEFINE PATHS OF ACCESS TO THE WORK FOR THE WORKMEN IN ORDER TO INSURE MINIMIZATION OF DUST INFILTRATION TO OTHER AREAS OF THE BUILDING AND TO PREVENT DAMAGE TO FLOORS, WALLS AND CEILINGS OF PUBLIC AND/OR FREIGHT ACCESS AREAS. IF SUCH DAMAGE SHOULD OCCUR, CONTRACTOR SHALL CORRECT THE DAMAGE IMMEDIATELY AT THEIR OWN COST.
15. ALL PRECAUTIONS ARE TO BE TAKEN TO PREVENT DIRT NOISE, WATER AND DUST FROM ENTERING OTHER PARTS OF THE BUILDING DURING THE PROGRESS OF THE WORK.
16. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM WORK AREA AND ADJACENT SPACES TO THE OUTSIDE OF THE BUILDING AT ALL TIMES. IF THE PATHS OF EGRESS CANNOT BE MAINTAINED DURING CONSTRUCTION, THE CONTRACTOR MUST PROVIDE ALTERNATE MEANS OF EGRESS INCLUDING ERECTING BARRICADES, TEMPORARY SIGNS, ALTERNATE PATHS OF TRAVEL, ETC. IN ORDER TO MAINTAIN A SAFE WORK ENVIRONMENT FOR THE BUILDING OCCUPANTS AND VISITORS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODE AND STANDARDS OF GOOD PRACTICE.
18. DETAILS NOT SHOWN OR SPECIFIED HERE, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
19. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITH A DEDUCT CHANGE ORDER FOR APPROVAL.
20. ALL PLUMBING, ELECTRICAL AND OTHER TRADE CONTRACT WORK REQUIRING THE USE OF LICENSED PERSONNEL SHALL BE PERFORMED BY LICENSED CONTRACTORS.
21. WHERE CONTRACTOR'S WORK REQUIRES ROOF OPENINGS, THE CONTRACTOR SHALL MAINTAIN THE ROOF OF THE BUILDING IN A WATERTIGHT CONDITION THROUGHOUT THE COURSE OF THE PROJECT. AT THE END OF EACH DAYS OPERATION THE CONTRACTOR SHALL INSPECT CURRENT CONDITIONS TO ASSURE THAT NO WATER DAMAGE WILL RESULT FROM THEIR WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM ALL ROOF WORK IN ACCORDANCE WITH ROOFING MANUFACTURERS INSTALLATION GUIDELINES TO ENSURE OWNER'S ROOFING WARRANTY REMAINS VALID AND IS NOT VOIDED OR COMPROMISED. SEE NOTE #23.

GENERAL NOTES: (CONT'D)

22. WHERE CONTRACTOR'S WORK REQUIRES ROOF PENETRATIONS, THE CONTRACTOR AND THEIR ROOFING TRADE SUBCONTRACTOR SHALL INSTALL A TEMPORARY WATER STOP BETWEEN NEW AND EXISTING ROOFING AREAS AT THE END OF EACH DAYS WORK. ALL DAMAGES RESULTING FROM THE WORK SHALL BE REPAIRED AND PAID FOR BY THE CONTRACTOR. SEE NOTE #23.
23. WHERE CONTRACTOR'S WORK REQUIRES DISTURBING OF THE EXISTING ROOF THE CONTRACTOR SHALL, PRIOR TO BEGINNING ANY WORK, CONFIRM WITH THE OWNER'S REPRESENTATIVE IF THE EXISTING ROOF IS UNDER MANUFACTURER WARRANTY.
 - A. IF THE EXISTING ROOF SYSTEM IS PRESENTLY UNDER A MANUFACTURER'S WARRANTY, THEN ALL WORK SHALL BE PERFORMED BY AN INSTALLER CERTIFIED BY THE EXISTING ROOFING MANUFACTURER. ANY MODIFICATIONS TO THE EXISTING ROOFING SYSTEM SHALL BE PERFORMED AS PER THE ROOFING MANUFACTURER'S REQUIREMENTS AND MUST MEET THE NECESSARY MANUFACTURER'S CRITERIA IN ORDER TO MAINTAIN THE PRESENT WARRANTY. CONTRACTOR SHALL PROVIDE ALL PROVISIONS NECESSARY FOR THE PROTECTION OF EXISTING EXPOSED SURFACES FROM PERIODS OF RAINFALL TO AVOID DAMAGE TO EXISTING STRUCTURE AND EXISTING/NEW ROOFING SURFACES IF RAINFALL SHALL OCCUR.
 - B. IF THE EXISTING ROOF IS NOT UNDER MANUFACTURER'S WARRANTY, THEN ALL NEW ROOF WORK, INCLUDING ALL NEW ROOF PENETRATIONS, CURBS, ROOF MOUNTED EQUIPMENT, WALKING PADS AND CRICKETS, MUST BE PERFORMED TO PROTECT AND LIMIT DAMAGE TO THE EXISTING STRUCTURE AND ROOF. CONTRACTOR SHALL MAKE PROVISIONS (PROTECTION OF EXISTING EXPOSED SURFACES) FOR PERIODS OF RAINFALL DURING THE ROOFTOP INSTALLATION TO AVOID DAMAGES TO EXISTING STRUCTURE AND ROOFING SURFACES IF RAINFALL SHALL OCCUR.
24. WEISS DESIGN GROUP, INC. SHALL NOT BE RESPONSIBLE FOR AND SHALL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. WEISS DESIGN GROUP, INC. SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DESIGN DOCUMENTS OR FOR THE CONTRACTOR'S FAILURE TO PROVIDE SERVICES IN A PROFESSIONAL MANNER IN ACCORDANCE WITH STANDARDS OF GOOD PRACTICE. WEISS DESIGN GROUP, INC. SHALL NOT BE RESPONSIBLE FOR OR HAVE CHARGE OVER THE ACTS AND/OR OMISSIONS OF THE CONTRACTORS, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES OR ANY PERSON PERFORMING THE WORK.



FIRST FLOOR KEY PLAN
SCALE: N.T.S.

WEISS DESIGN GROUP
ARCHITECTURE

629 West Mount Pleasant Avenue Livingston, NJ 07039-1609
973.994.9490 Facsimile 973. 994.9889
RONALD WEISS, AIA NJ Lic. #10001 NY Lic. #021367

SCOPE DOCUMENT

This preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract Documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work. Decisions of the architect as to the items of work included within the scope of this document shall be final and binding on the contractor and owner.

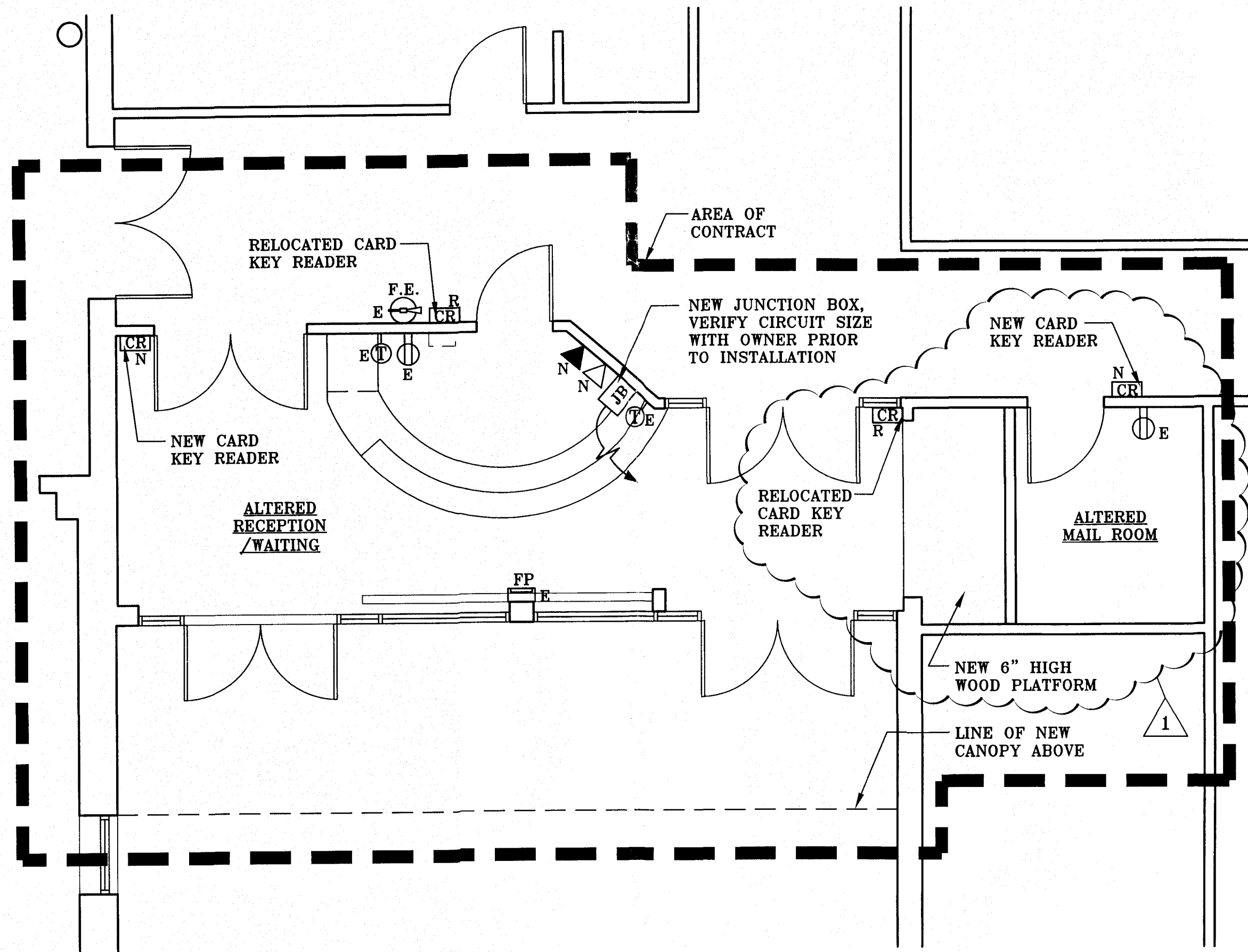
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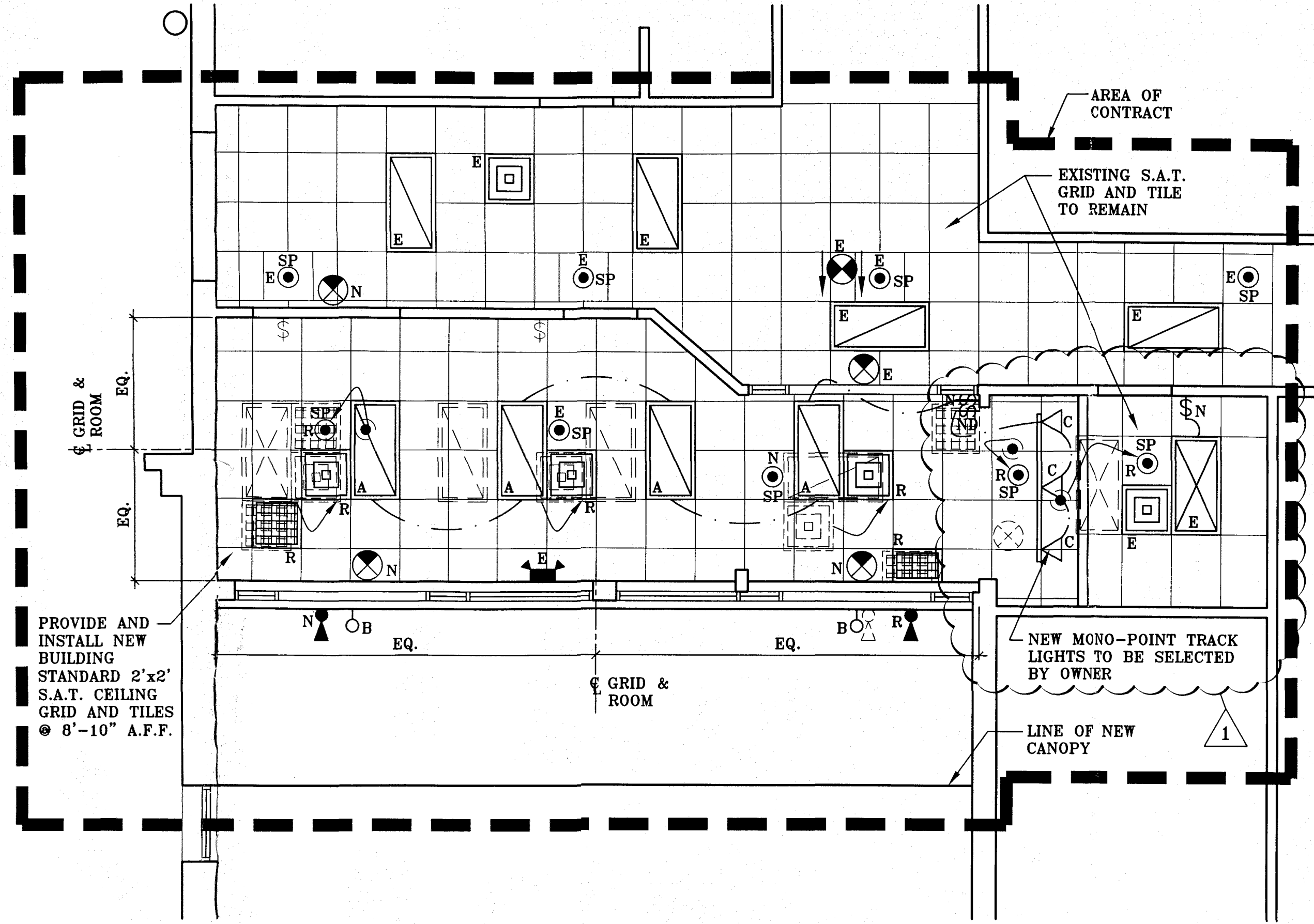
L'OREAL U.S.A. (Piscataway Mfg. Facility)
81 NEW ENGLAND AVENUE
PISCATAWAY, NEW JERSEY 08854

Scale AS SHOWN
Date JULY 1, 2015
Proposed Partial First Floor Partition and Demolition Plan,
GENERAL NOTES, BUILDING DEPARTMENT NOTES & NOTES

FIRST FLOOR - ENTRY LOBBY
Drawing Number
A-1



1 PROPOSED PARTIAL FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND:

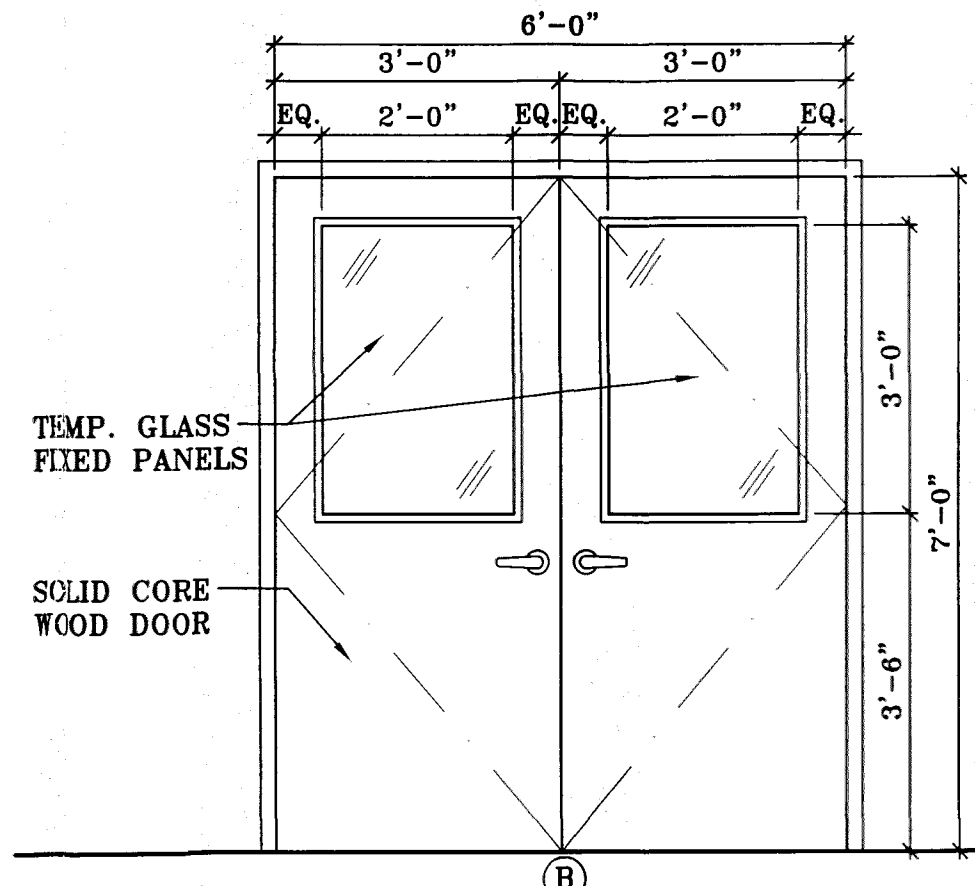
- ⊕ BUILDING STANDARD DUPLEX ELECTRICAL WALL OUTLET (#A.F.F. INDICATES HEIGHT ABOVE FLOOR FINISH)
- ⊕ BUILDING STANDARD ELECTRICAL QUADRUPLUX WALL OUTLET (#A.F.F. INDICATES HEIGHT ABOVE FLOOR FINISH)
- ⊕ BUILDING STANDARD DUPLEX DEDICATED ELECTRICAL WALL OUTLET (#A.F.F. INDICATES HEIGHT ABOVE FINISH FLOOR)
- ⊕ BUILDING STANDARD TELEPHONE WALL OUTLET (#A.F.F. INDICATES HEIGHT ABOVE FINISHED FLOOR)
- ⊕ BUILDING STANDARD DATA WALL OUTLET (#A.F.F. INDICATES HEIGHT ABOVE FINISHED FLOOR)
- F.E. BUILDING STANDARD FIRE EXTINGUISHER
- ⊕ BUILDING STANDARD THERMOSTAT (#A.F.F. INDICATES HEIGHT ABOVE FINISHED FLOOR)
- F.P. BUILDING STANDARD FIRE PULL STATION
- E = DENOTES EXISTING TO REMAIN
- N = DENOTES NEW
- R = DENOTES RELOCATED

ELECTRICAL NOTES:

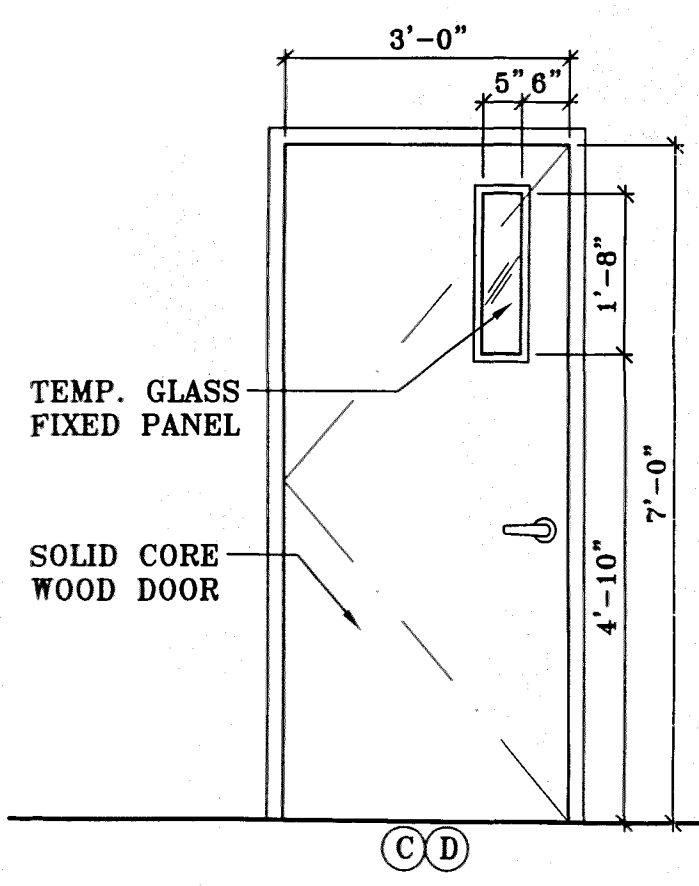
1. ALL ELECTRICAL WORK TO CONFORM TO N.J.U.C.C., I.B.C. 2009, AND N.E.C. REQUIREMENTS, LATEST EDITION.
2. ALL ELECTRICAL CIRCUITING, PANEL, TRANSFORMER AND BREAKER DESIGN AND WIRE SIZING AND TYPES SHALL BE FILED BY ELECTRICAL CONTRACTOR.
3. BLANK PLATES SHALL BE PRIMED AND PAINTED TO MATCH ADJACENT SURFACES.
4. ALL ELECTRICAL AND SIGNAL SERVICE SHALL BE CONCEALED AND RECESSED UNLESS OTHERWISE INDICATED.
5. ALL RECEPTACLES SHOWN SIDE BY SIDE SHALL BE TIGHTLY GROUPED ABOUT THE CENTERLINE SHOWN IN THE DRAWINGS.
6. LIGHTING FIXTURES AND RECEPTACLES SHALL NOT BE CONNECTED TO THE SAME BRANCH CIRCUIT.
7. ALL SWITCHES SHALL BE INSTALLED WITHIN 6" FROM CENTERLINE OF FIRST SWITCH TO THROAT OF ADJACENT DOOR OPENING UNLESS OTHERWISE NOTED. WHEN MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, SWITCHES SHALL BE INSTALLED IN GANG BOX UNDER ONE COVERPLATE. ALL COVERPLATES SHALL MATCH ADJACENT SURFACES. (COORDINATE WITH NEW FINISH SELECTIONS BY TENANT.)
8. WIRING FOR OUTLETS TO BE: BX, (2)#12, (1)#12 GROUND, 20 AMPS (MAX. U.O.N.) PER CIRCUIT.
9. G.C. SHALL COORDINATE ALL THERMOSTAT REMOVALS AND RELOCATION WITH HVAC CONTRACTOR & TENANT AS REQUIRED.

DOOR SCHEDULE:

TYPE	SIZE	MATERIAL	FRAME	REMARKS
A	(2)3'-0"x7'-10" (V.I.F.) (MATCH EXISTING)	ALUMINUM FRAMED WITH TEMP. GLASS PANELS (MATCH EXISTING)	ALUMINUM FRAME (MATCH EXISTING)	• PROVIDE FULL TIME PASSAGE IN THE DIRECTION OF EGRESS • DOOR CLOSER • PANIC HARDWARE • BUILDING STANDARD HARDWARE (MATCH EXISTING STOREFRONT DOORS)
B	(2)3'-0"x7'-0" (V.I.F.) (MATCH EXISTING)	SOLID CORE WOOD/STAINED WITH TEMP. GLASS VISION PANEL (MATCH EXISTING)	H.M. PAINTED (MATCH EXISTING)	• PROVIDE FULL TIME PASSAGE IN THE DIRECTION OF EGRESS • WALL/FLOOR MTD. STOPS • DOOR CLOSER • TEMP. GLASS FIXED VISION PANEL • MATCH EXISTING HARDWARE • CARD KEY ACCESS • SEE ELEVATION #3, THIS SHEET
C	3'-0"x7'-0" (V.I.F.) (MATCH EXISTING)	SOLID CORE WOOD/STAINED WITH TEMP. GLASS VISION PANEL (MATCH EXISTING)	H.M. PAINTED (MATCH EXISTING)	• OFFICE LOCK FUNCTION • WALL MTD. STOPS • DOOR CLOSER • TEMP. GLASS FIXED VISION PANEL • MATCH EXISTING HARDWARE • CARD KEY ACCESS • SEE ELEVATION #4, THIS SHEET
E	EXISTING	EXISTING	EXISTING	• EXISTING TO REMAIN



3 PROPOSED DOOR ELEVATION
SCALE: 1/2"=1'-0"



4 PROPOSED DOOR ELEVATION
SCALE: 1/2"=1'-0"

LIGHT FIXTURE SCHEDULE:

SYMBOL	LIGHT FIXTURE	REMARKS
⊕	2'x4' LAY-IN PARABOLIC LOUVER LED LIGHT FIXTURE - BUILDING STANDARD	
⊕	EXTERIOR WET LISTED SURFACE MOUNTED LIGHT FIXTURE	• OWNER TO SELECT
⊕	2'x4' LAY-IN PARABOLIC LOUVER FLUORESCENT LIGHT FIXTURE BUILDING STANDARD	• EXISTING TO REMAIN
⊕	2'x4' FLUORESCENT LIGHT FIXTURE WITH PRISMATIC LENS - BUILDING STANDARD	• EXISTING TO REMAIN
⊕	MONO-POINT TRACK LIGHTS	• OWNER TO SELECT
⊕	BUILDING STANDARD EXIT SIGN	• I.B.C. 2009 APPROVED EXIT SIGN, UNIVERSALLY MOUNTED WITH UNIVERSAL ARROWS AND BATTERY FOR EMERGENCY OPERATIONS. SINGLE FACE OR DOUBLE FACE COLOR: WHITE WITH DIRECTIONAL ARROWS (WHERE APPLICABLE) AS SHOWN ON PLANS
⊕	BUILDING STANDARD EMERGENCY LIGHT	• I.B.C. 2009 COMPLIANT EMERGENCY LIGHT FIXTURE WITH 2 LAMPS, PRIMARY A/C POWER AND BATTERY D/C POWER BACK-UP FOR EMERGENCY OPERATION.
⊕	BUILDING STANDARD EXTERIOR EMERGENCY LIGHT	• I.B.C. 2009 COMPLIANT EXTERIOR EMERGENCY EGRESS LIGHT FIXTURE, PRIMARY A/C POWER AND BATTERY D/C POWER BACK-UP FOR EMERGENCY OPERATIONS

REFLECTED CEILING LEGEND:

SYMBOL	DESCRIPTION
⊕	HVAC SUPPLY 2'x2' AIR CEILING GRILLE
⊕	HVAC RETURN AIR CEILING GRILLE
⊕SP	BUILDING STANDARD SPRINKLER HEAD
⊕	SINGLE POLE WALL SWITCH (COORDINATE WITH INTENDED LOAD)
N	DENOTES NEW
E	DENOTES EXISTING TO REMAIN
R	DENOTES RELOCATED

REFLECTED CEILING NOTES:

1. INSTALL NEW BUILDING STANDARD S.A.T. CEILING GRID AND TILES AS INDICATED ON REFLECTED CEILING PLANS.

WEISS DESIGN GROUP

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SCOPE DOCUMENT

This preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract Documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work. Decisions of the architect as to the items of work included within the scope of this document shall be final and binding on the contractor and owner.

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L'OREAL U.S.A. (Piscataway Mfg. Facility)

81 NEW ENGLAND AVENUE
PISCATAWAY, NEW JERSEY 08854

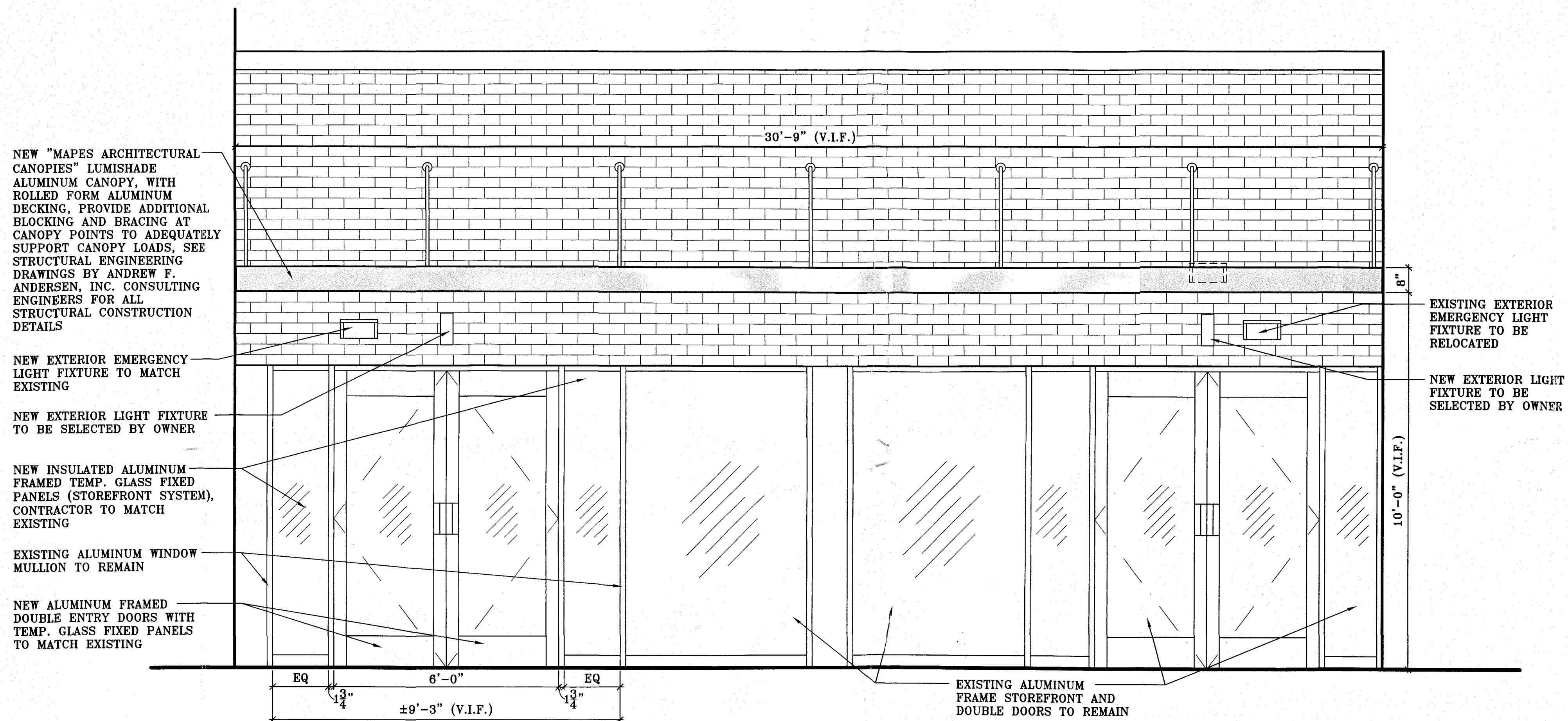
Scale AS SHOWN Drawn By CD

Date JULY 1, 2015 Revised

PROPOSED PARTIAL FIRST FLOOR ELECTRICAL PLAN, REFLECTED CEILING PLAN, LEGENDS AND NOTES

FIRST FLOOR - ENTRY LOBBY Drawing Number

A-2



1 PROPOSED PARTIAL SOUTH ELEVATION
SCALE: 1/2"=1'-0"

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Scale AS SHOWN
Date JULY 1, 2015
Drawn By CD
Revised

PROPOSED PARTIAL SOUTH ELEVATION

FIRST FLOOR - ENTRY LOBBY
Drawing Number A-3

