



TOWNSHIP OF HOPEWELL, MERCER COUNTY

OPEN PUBLIC RECORDS ACT REQUEST FORM

201 Washington Crossing-Pennington Rd., Titusville, NJ 08560

Phone: 609-737-0605; Fax: 609-737-1022

lgompf@hopewelltp.org

Laurie E. Gompf, Municipal Clerk



Important Notice

The last page of this form contains important information related to your rights concerning government records. Please read it carefully.

Requestor Information - Please Print

First Name	John		MI	Last Name	Gough	
E-mail Address	john@ecologye-testing.com					
Mailing Address	PO Box 1024					
City	Sparta	State	NJ	Zip	07871	
Telephone	973-810-2854		FAX			
Preferred Delivery:	Pick Up	☒	US Mail	On-Site Inspect	Fax	E-mail
If you are requesting records containing personal information, please circle one: Under penalty of N.J.S.A. 2C:28-3, I certify that I <u>HAVE</u> HAVE NOT been convicted of any indictable offense under the laws of New Jersey, any other state, or the United States.						
Signature				Date	1-12-2018	

Payment Information

Maximum Authorization Cost \$		
Select Payment Method		
Cash	Check	Money Order
Fees:	Letter size pages - \$0.05 per page	
	Legal size pages - \$0.07 per page	
	Other materials (CD, DVD, etc) - actual cost of material	
Delivery:	Delivery / postage fees additional depending upon delivery type.	
Extras:	Special service charge dependent upon request.	

Record Request Information: Please be as specific as possible in describing the records being requested. Also, please note that your preferred method of delivery will only be accommodated if the custodian has the technological means and the integrity of the records will not be jeopardized by such method of delivery.

Septic System and Well Documentation for the property located at:

Block 93.01 Lot 22

Street Address 33 Todd Ridge Rd. Hopewell Twp., NJ
Titusville, NJ 08560

AGENCY USE ONLY AGENCY USE ONLY AGENCY USE ONLY



TOWNSHIP of HOPEWELL

MERCER COUNTY

DEPARTMENT OF HEALTH

201 Washington Crossing Pennington Road Titusville, New Jersey 08560-1410

Phone: 609.737.0120 Fax: 609-737-6836

Date : March 7, 2014

COPY

Alison & Graham Merfield
33 Todd Ridge
Titusville, NJ 08560

Temporary Letter of Review Septic & Public water

RE: Block 93.01 Lot 22 (33 Todd Ridge Road)

Dear Property owner

This office has received the applications for letter of review for both well water and septic system inspection for the sale of the above referenced property. These have been issued as noted.

1. The water is from a public system please advise the public utility for billing purposes.
2. The septic system was found to be Un-satisfactory or satisfactory with concern by the inspection company. (See Report for comments if any)
Repairs or replacement required will be completed by purchaser after closing per P. Backes 3-5-2014

Based on the information provided to this office, a temporary letter of review for this property is released and a copy is hereby provided. Additional permits and inspections are required for final LOR. Please complete within 60 days of closing.

You may contact this office at (609) 737-0120 with any questions you may have regarding this matter. Our office hours are Monday through Friday, 8:30 - 4:30

Sincerely,
Gary A. Guarino
Health Officer

Email: Ann Worthington
Heidi Glickstein
Sandy Brown
Pierce Backes



TOWNSHIP OF HOPEWELL

MERCER COUNTY

DEPARTMENT OF HEALTH

201 Washington Crossing Pennington Road Titusville,

New Jersey 08560-1410

Phone: 609.737.0120 Fax: 609-737-6836 www.hopewelltp.org

APPLICATION FOR LETTERS OF REVIEW

Block 4301 Lot 22 Street Address 33 Todd Ridge Road

Check One: ☒ Sale of Property ☐ Rental of Property ☐ Change in Use Settlement Date March 28, 2014

Property Owner Information:

Name Alison + Graham Werfeld Phone: from 6 Washington 609.647.6710

Address: 33 Todd Ridge Rd Fax: _____

City Titusville State NY Zip 08560 Email: _____

Attorney Weid Shustein Shegolski Phone 609.279.0599

Fax 609.385.0142 E-mail ng12kslein@wittlausus.com

Purchaser/Tenant Information

Name Philip H + Wendy J Robbins Phone: _____ 609.466.8545

Address: 17 Independence Way Fax: _____

City Titusville State NY Zip 08560 Email: _____

Attorney Pierce Backes / Sandy Braun-EHR Phone 609.730.3838

Fax 609.730.4224 E-mail nl@backesfirm.com

Applying for: ☒ Septic System Review \$75.00 ☐ Well Water Quality Review \$75.00 Total Fee \$175.00

To be completed by Health Department

FEB 24 2014

Date 2-24-14

Septic System Review	Date	Health Department Well Water Quality Review	Date
Report Received	<u>3-5-14</u>	Report Received	
Rejected	<u>X</u>	Rejected	
Temporary Approval Granted	<u>3-7-14</u>	Temporary Approval Granted	
Final Approval Granted		Final Approval Granted	

Comments:



TOWNSHIP of HOPEWELL

MERCER COUNTY

DEPARTMENT OF HEALTH

201 Washington Crossing Pennington Road Titusville, New Jersey 08560-1410

Phone: 609.737.0120 Fax: 609-737-6836

REQUEST FOR INFORMATION

Requestor's Information

Date of Request: 2-24-2014

Name: PICARE TO POST

Address: _____

Telephone No: _____

Fax No: _____

E-Mail: _____

Property Information

Block _____

Lot _____

Location _____

Document/Information Requested: _____

SEE THE DEATH RECORDS

Please note there often are charges for the production of information requests. Those who make a request for information must pay the charge for the copies, reproduction, retrieval costs and materials before any copies of information will be released.

The Applicant hereby acknowledges receipt of a copy of this form with the date on which the information is expected to be available and the estimated cost, which the applicant will pay. The applicant hereby certifies that he or she has not been convicted of any indictable offense under the laws of this State, any other state or the United States and is not seeking government records containing personal information pertaining to the victim or the victim's family as provided by N.J.S.A. 47:1A-1 et seq..

For Office Use

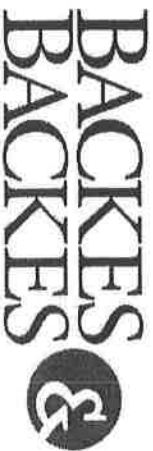
Fee Paid: _____

Rec'd by: _____

Date given: _____

Given by: _____

Notes: _____



Pierson W. Backes
pb@backesfirm.com
www.backesfirm.com

12 West Delaware Avenue ♦ Pennington, New Jersey 08534 ♦ (609) 730-3838 ♦ Fax (609) 730-4224

March 5, 2014

Via e-mail to gguarino@hopewelltwp.org

Gary Guarino
Hopewell Township
201 Washington Crossing-Pennington Road
Titusville, NJ 08560

Re: 33 Todd Ridge Road, Titusville, New Jersey
Robbins from Merfield

Dear Mr. Guarino:

Please be advised that this firm represents Philip and Wendy Robbins with regard to their purchase of 33 Todd Ridge Road, Titusville, New Jersey.

It is our understanding that the rings and lids on the septic and pump tanks are in need of replacement. Please be advised that the purchasers will be completing this work after the closing of title on the property.

In the meantime, kindly issue a temporary letter of review.

Very truly yours,

A handwritten signature in dark ink, appearing to read "P. W. Backes", with a large, stylized flourish at the end.

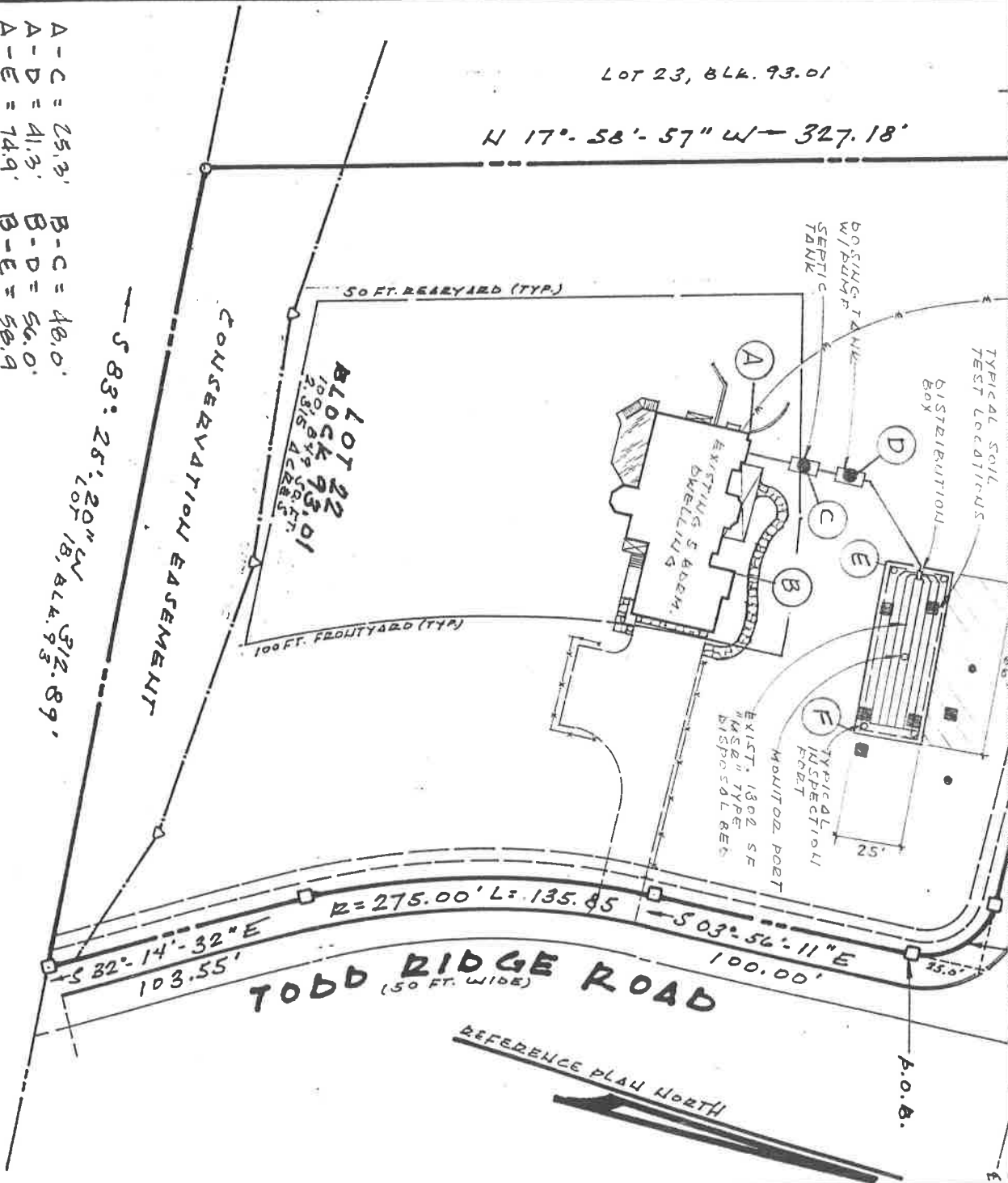
Pierson W. Backes

PW/rgnl
cc: Phil and Wendy Robbins
Heidi Shogoshi, Esq.
Sandy Brown
Amy Worthington

A-C = 25.3' B-C = 40.0'
 A-D = 41.3' B-D = 56.0'
 A-E = 14.9' B-E = 50.9'
 A-F = 121.0' B-F = 77.5'

Being known as Lot 22, Block 93.01 as shown on its plan entitled "Final Plat-Cubbery Hill - Phase - 1, Township of Hopewell, Mercer County, New Jersey," Prepared by St. Louis & Company, Professional Land Surveyors, 56 Greenbrook Road, Greenbrook, N.J., 08812, last revised to March 14, 1995. Said Plan was filed in the Mercer County Clerk's Office on May 3, 1995 as Map No. 3186.

NOTE: THIS PLAN IS FOR
 MUNICIPAL HEALTH DEPT.
 APPROVAL ONLY.



FRANK J. FALCONE
PRINCETON JCT. ENGINEERING P.C.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 P.O. BOX 610 NORTH POST RD.
 PRINCETON JUNCTION, NEW JERSEY 08550
 (609) 799 1906
 (609) 799 1963

BRUCE M. RITTENHOUSE
 ARNOLD RYDER, JR.
 D. GEOFFREY BROWN
 WESLEY LANE
 FRANK J. FALCONE

P.E. & P.L.S.
 P.E. P.L.S.
 P.L.S.
 NO. 13453
 NO. 21223
 NO. 24327
 NO. 30747
 NO. 32112

DRAWN
 J.M.

DATE
 6/20/97
 SCALE
 1" = 60'

D. GEOFFREY BROWN
 PROFESSIONAL ENGINEER &
 LAND SURVEYOR # 24327

HOPWELL TWP., SITUATED IN: MERCER CO., NEW JERSEY

SHEET	BLOCK	LOT
22	93.01	22

FRANK J. FALCONE: NJPLS #32112 PPS 3760

DATE

REV.

SCALE

D. GEOFFREY BROWN: P.E. & L.S. #24327

2. Material Tested: ☒ Fill _____ Test in Native Soil-Indicate Depth _____
3. Type of Sample: ☒ Undisturbed _____ Disturbed _____
4. Sample Dimensions: Inside Radius of Sample Tube R, in cm. 3.81
Length of Sample, L, in inches 3.25
5. Bulk Density Determination (disturbed samples only): **N/A**
Sample Weight (Wt. Tube Containing Sample-Wt. of Empty Tube), grams _____
Sample Volume = $(3.50 \times 2.54 \text{ cm/in} \times 3.14 \times 3.81^2) =$ _____
Bulk Density = $606.6 \div 405.21 =$ _____
6. Standpipe Used: ☒ No _____ Yes - Indicate Internal Radius, cm. _____
7. Height of Water Level above Rim of Test Basin, in inches:
At the beginning of each test interval, H₁ 5.00
At the end of each test interval, H₂ 4.50
8. Rate of Water Level Drop (Add additional lines if needed):

Time, Start of Test Interval, T1	Time, End of Test Interval, T2	Length of Test Interval, T, Minutes
<u>11:52:00</u>	<u>11:53:28</u>	<u>00:01:28</u>
<u>11:54:00</u>	<u>11:55:29</u>	<u>00:01:29</u>
<u>11:56:00</u>	<u>11:57:28</u>	<u>00:01:28</u>

Calculation of Permeability:

$$K, (\text{in/hr}) = 60 \text{ min/hr} \times r^2/R^2 \times L(\text{in})/T(\text{min}) \times 1n (H_1/H_2)$$

$$= 60 \text{ min/hr} \times \text{--} / \text{--} \times \underline{3.25} / \underline{1.467} \times 1n (\underline{5.0} / \underline{4.5}) = \underline{14.0}$$

10. Defects in the Sample (Check appropriate items):

☒ None ☐ Cracks ☐ Worm Channels ☐ Root Channels ☐ Soil/Tube Contact
☐ Large Gravel ☐ Large Roots ☐ Dry Soil ☐ Smearing ☐ Compaction ☐ Other - Specify _____

11. I hereby certify that the information furnished on Form 3b of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A. 58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator _____ Date 7/31/97
Frank J. Falcone

Signature of Professional Engineer _____ Date 7/31/97
D. Geoffrey Brown N.J.P.E. & L.S.#24327

3. Coarse Fragment Content:

Total Weight of Sample, W.T., grams 1014.4
Weight of Material Retained on 2 mm sieve, W.C.F., grams 169.1
Wt. % Coarse Fragment (W.C.F./W.T. x 100): 16.67

4. Oven Dry Weight (24 hrs, 105°C) of 40 Gram Air Dry Sample, Grams, Wt 39.8

5. Hydrometer Calibration, Rc 5.0

6. Hydrometer Reading - 40 seconds, grams, R1 7.5
Temperature of Suspension, °F 73.4

7. Corrected Hydrometer Reading, grams, R1' 3.58

8. Hydrometer Reading - 2 hours, grams, R2 7.5
Temperature of Suspension, °F 73.4

9. Corrected Hydrometer Reading, grams, R2' 3.58

10. % sand = (Wt. - R1)/Wt. x 100 = (39.8 - 3.58) / 39.8 x 100 = 91.0

11. % clay = R2'/Wt. x 100 = 3.58 / 39.8 x 100 = 9.0

12. Sieve Analysis:

- a. Oven Dry Wt. (2 hrs., 105°C) Total Sand Fraction (Soil Retained in 0.05 mm Sieve), grams 38.1
- b. Wt. of Fine Plus Very Fine Sand Fraction (Sand Passing 0.25 mm Sieve), grams 7.1
- c. % Fine Plus Very Fine Sand (b/a) 18.63

13. Soil Morphology (Natural Soil Samples Only): N/A
Structure of Soil Horizon Tested _____
Consistence of Soil Horizon Tested: Dry _____ Moist _____

14. Soil Permeability Class Rating (based upon average textural analysis of replicate and other replicate samples) _____ *

Passing Results For Select Fill Material as per NJAC 7:9A 10.1(f)

15. I hereby certify that the information furnished on Form 3c of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A. 58:10A-1 et seq.) and subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator _____ Date 7/16/97
Frank J. Falcone

Signature of Professional Engineer _____ Date 7/16/97
D. Geoffrey Brown N.J.P.E. & L.S. #24327

3. Coarse Fragment Content:

Total Weight of Sample, W.T., grams 1014.4

Weight of Material Retained on 2 mm sieve, W.C.F., grams 169.1

Wt. % Coarse Fragment (W.C.F./W.T. x 100): 16.67

4. Oven Dry Weight (24 hrs, 105°C) of 40 Gram Air Dry Sample, Grams, Wt 39.8

5. Hydrometer Calibration, Rc 5.0

6. Hydrometer Reading - 40 seconds, grams, R1 8.5
Temperature of Suspension, °F 73.4

7. Corrected Hydrometer Reading, grams, R1' 4.58

8. Hydrometer Reading - 2 hours, grams, R2 7.0
Temperature of Suspension, °F 73.4

9. Corrected Hydrometer Reading, grams, R2' 3.08

10. % sand = (Wt. - R1)/Wt. x 100 = (39.8 - 4.58) / 39.8 x 100 = 88.49

11. % clay = R2/Wt. x 100 = 3.08 / 39.8 x 100 = 7.74

12. Sieve Analysis:

a. Oven Dry Wt. (2 hrs., 105°C) Total Sand Fraction
(Soil Retained in 0.05 mm Sieve), grams 38.2

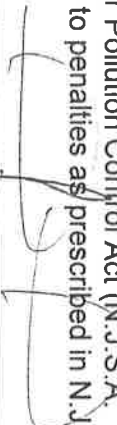
b. Wt. of Fine Plus Very Fine Sand Fraction
(Sand Passing 0.25 mm Sieve), grams 7.4
c. % Fine Plus Very Fine Sand (b/a) 19.37

13. Soil Morphology (Natural Soil Samples Only): N/A
Structure of Soil Horizon Tested ____
Consistence of Soil Horizon Tested: Dry ____ Moist ____

14. Soil Permeability Class Rating (based upon average textural analysis
of replicate and other replicate samples) ____ *

Passing Results For Select Fill Material as per NJAC 7:9A 10.1(f)

15. I hereby certify that the information furnished on Form 3c of this
application is true and accurate. I am aware that falsification of
data is a violation of the Water Pollution Control Act (N.J.S.A.
58:10A-1 et seq.) and subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator  Date 7/16/97
Frank J. Falcone

Signature of Professional Engineer  Date 7/16/97
D. Geoffrey Brown N.J.P.E. & L.S. #24327

R.R. TIE RETAINING WALL

N 17°. 58' - 57" W - 327.18'

6" Ø PVC FOOTING-
DRAIN DISCHARGE
LINE:
INV.= 145.82

53.64'

LOT 22
BLOCK 93.01
100' 0"
2.315
64

CONSEJO VATICANO ASAMBLEA
13,279 sq. ft./0.305 ac.

083: 26:20^NW 312.89'
Lot 18, B.L.E. 93

NOTE:
 Haiver of setting corner
 markers obtained from
 user, pursuant to the
 Professional Engineers
 and Land Surveyors
 regulation, N.J.A.C.
 13:40-5.1(d).

Being known as Lot . Block 93 as shown on a plan entitled "Final Plat-Cubberly Hill - Phase - 1, Township of Hopewell, Mercer County, New Jersey." Prepared by St. Louis & Company, Professional Land Surveyors, 5500 Greenbrook Road, Greenbrook, N.J., 08812, last revised to March 14, 1995. Said Plan was filed in the Mercer County Clerk's Office on May 3, 1995 as Map No. 3196.

FRANK J. FALCONHE
N.J. PROF. LABS SURVEYOR #33

SHEET	BLOCK	LOT
22	43.01	22

PRINCETON JCT. ENGINEERING P.C.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
 P.O. BOX 610 NORTH POST RD.
 PRINCETON JUNCTION, NEW JERSEY 08550
 (609) 799 1906 (609) 799 1963

BRYCE M. PITENHOUSE
ARNOLD RYDEN, JR.
D. GEOFFREY BROWN
WESLEY J. LANE
FRANK J. FALCONE

P.E. APIS.
P.L.S.
P.E.
P.L.S.
P.L.S.
P.L.S.

NO.	13453
NO.	21223
NO.	24327
NO.	30747
NO.	32112

DRAWN	J.H.
CHECK	

DATE : 7/31/97

FINAL AS BUILT PLAN
OF LOT 22, BLOCK 93.01, FOR:
HOPEWELL RIDGE
HOPEWELL RIDGE,
HOPEWELL, INC.,
SITUATED IN:

SITUATED IN:

I HEREBY CERTIFY THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND HEREBY DECLARE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND IN MY PROFESSIONAL OPINION THIS SURVEY TO BE CORRECT TO:

*NOTE: THIS PLD IS FOR MUNICIPAL ENGINEERING APPROVAL ONLY.

TODD RIDGE ROAD
(50 FT. WIDE)

REFERENCE PLAT NORTH

SIGLIT
TRIDNGLE
EASEMENT
-b.o.b.

December 8, 2010



Township of Hopewell
Construction Department
201 Washington Crossing Pennington Road
Titusville, NJ 08560

Attention: Construction Official

Reference: Control No. 29460
Renovations to Basement
33 Todd Ridge Road
Titusville, NJ

Dear Construction Official:

This letter will serve to notice that plumbing for the proposed bathroom as indicated on the plans will be deleted in its entirety due to the matter of suspended solids raised by the Health Office in their correspondence to the owners dated November 24, 2010. The outlined remedies are far too onerous, and a reasonable and affordable option was not made available, even though such a remedy is available within the industry. The only plumbing work to remain will be the bar sink as indicated in the Serving Room. There is no issue with suspended solids as this sink will only pump liquid waste to the septic field.

The bathroom space will be constructed and finished for use as a storage room. Electrical improvements will be installed as indicated on the drawings. It is understood that a future bathroom, by this owner or a subsequent owner, would have to be permitted through the review process and comply with the then current regulations relating to suspended solids.

By providing this letter under my signature and seal, I am requesting acceptance of this revision in letter form in lieu of a drawing resubmission to save expense and recoup lost time as outcome of this matter.

Presuming this proposal meets with your acceptance, I remain.

Very truly yours,


Thomas W. Kocubinski, AIA
Principal Architect

cc. Graham and Alison Merfield
William Hoagland, WRH Design Build
Robert English, R.E.H.S., Health Office

December 2, 2010

Township of Hopewell
201 Washington Crossing Pennington Road
Titusville, NJ 08560

Attention: Mr. Robert English, Health Department

Reference: Block 93.01, Lot 22 Control No. 29460
33 Todd Ridge Road
Titusville, NJ

Dear Mr. English:

This letter is sent in response to your letter dated November 24, 2010, sent to Graham and Alison Merfield, owners of the referenced property. As architect of record for the project, I am providing this response on behalf of the owners.

The content of your letter is self explanatory, and we understand the options. At this time, option 2 to remove the existing tank and install a new 2000 gallon tank is being considered in the event the existing tank shows signs of needing replacement now or in the near future.

However, we believe there is another option. This option is to delete the toilet from the project, but keep the two sinks as indicated on the plans. The ejector unit will be maintained to only vacate liquid waste. The bathroom will become a hobby room and the sink will be used in association with the pursuit of hobbies. As no suspended solids are involved, there should be no concern with impact on the existing septic system. If a new owner decides to install a bathroom, they will need to upgrade the system per your letter, which will be attached to the current owner's plans to be passed along.

Regarding the option to replace the existing tank, we have contacted a septic contractor who will review and evaluate the life expectancy of the existing tank. If the tank is nearing the end of its useful life, consideration will be given to replacing the tank with a new 2000 gallon/two compartment tank. However, based on the age of the system, the tank should be in good order. We just need to conduct due diligence in resolving the matter on our end.

At this juncture, I request that the building permit be issued on the condition that you will be advised within this month of the owner's decision in this matter. A contractor has been retained for the work and we need to keep him. A permit condition to refrain from installing a toilet and associated plumbing is acceptable to protect the interests of the Township.

Hopewell Township/Control No. 29460
December 2, 2010
Page 2

Thank you in advance for your interest and actions in this matter. Kindly contact me if you need any additional information in order to issue the permits.

Sincerely,

Thomas W. Kocubinski, ALA

cc: Graham and Alison Merfield
William Hoagland
Hopewell Twp Plumbing Subcode Official

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO	3942
RECIPIENT ADDRESS	7378436
DESTINATION ID	
ST. TIME	11/24 11:59
TIME USE	03'53
PAGES SENT	3
RESULT	OK



TOWNSHIP of HOPEWELL

MERCER COUNTY

DEPARTMENT OF HEALTH

Serving Hopewell Borough & Pennington Borough

201 Washington Crossing Pennington Road Titusville, New Jersey 08560-1410

Phone: 609.737.0120 Fax: 609-737-6836

November 24, 2010

Graham & Alison Marfield
33 Todd Ridge Road
Titusville, NJ 08560

RE: Block 93.01, Lot 22 (33 Todd Ridge Road)

Dear Mr. & Mrs. Marfield,

This office has received a permit application for a finished basement at the above referenced property. At this time the permit must be rejected. An upgrade to the individual subsurface sewage disposal system serving this residence is needed in order to permit the bathroom using ejector pump.

Hopewell Township requires 50% greater septic tank capacity and two compartments when an ejector pump is proposed to convey wastes into the septic system. The current design fails to provide that capacity.

The reason behind this requirement is to prevent suspended solids from entering and subsequently damaging septic drain field. Septic tanks are not designed to separate the high concentration of suspended solids generated by running effluent through a pump. Solids that bypass the tank's baffles get dumped into the septic field and plug up the soils, causing malfunction. In the state code, garbage disposals trigger a requirement for 50% tank upgrade and 25% septic field size upgrade for the same reason. Here in Hopewell, with septic replacement costs soaring to \$30,000 to \$40,000, we have added the tank requirement for ejector installations without the field upgrade to protect the systems, owners and environment.

The septic tank serving the dwelling is a 1250 gallon single compartment tank. The current minimum size for a septic tank serving a four (4) bedroom dwelling is 1250 gallons. In order to comply with the tank requirement a minimum of 1875 gallons of tank with 7 compartments must be installed. This upgrade can be



TOWNSHIP of HOPEWELL

MERCER COUNTY

DEPARTMENT OF HEALTH

Serving Hopewell Borough & Pennington Borough

201 Washington Crossing Pennington Road Titusville, New Jersey 08560-1410

Phone: 609.737.0120 Fax: 609-737-6836

November 24, 2010

Graham & Alison Marfield
33 Todd Ridge Road
Titusville, NJ 08560

RE: Block 93.01, Lot 22 (33 Todd Ridge Road)

Dear Mr. & Mrs. Marfield,

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Hopewell Township requires 50% greater septic tank capacity and two compartments when an ejector pump is proposed to convey wastes into the septic system. The current design fails to provide that capacity.

The reason behind this requirement is to prevent suspended solids from entering and subsequently damaging septic drain field. Septic tanks are not designed to separate the high concentration of suspended solids generated by running effluent through a pump. Solids that bypass the tank's baffles get dumped into the septic field and plug up the soils, causing malfunction. In the state code, garbage disposals trigger a requirement for 50% tank upgrade and 25% septic field size upgrade for the same reason. Here in Hopewell, with septic replacement costs soaring to \$30,000 to \$40,000, we have added the tank requirement for ejector installations without the field upgrade to protect the systems, owners and environment.

The septic tank serving the dwelling is a 1250 gallon single compartment tank. The current minimum size for a septic tank serving a four (4) bedroom dwelling is 1250 gallons. In order to comply with the tank requirement, a minimum of 1875 gallons of tank with 2 compartments must be present. This upgrade can be achieved in several ways. Some of the options are as follows:

1. Install a second 1000 gallon single in series either before or after the existing tank. This will give you 2000 gallons & 2 compartments.
2. Remove the existing tank and install a 2000 gallon 2 compartment tank. I don't believe an 1875 gallon capacity tank is readily commercially available.
3. Install a 1000 gallon, 2 compartment tank to solely the ejector discharge and tie into existing delivery line downstream.

I cannot determine what will be the best course of action to resolve the tank requirement, as I am not familiar with topography, elevation of discharge pipes, landscape and related costs. You will need to work with a contractor to determine the most appropriate course of action for your situation. **We do not require**

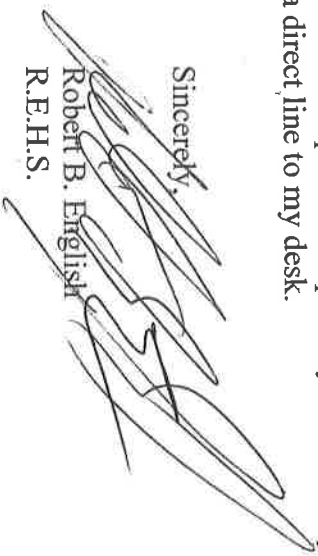
engineering designs for this upgrade, but a \$25.00 permit is required. I have enclosed an application, contractor list and copy of the system as-built design for your use. Another alternative to this requirement would be to remove the proposed bathroom and eliminate the need for a pump.

Finally, I don't want to delay your project any longer than needed. If you determine you will proceed with upgrade, you can write a letter to me stating your intention to upgrade the tank. I will allow you to proceed on your word, with the following understanding:

1. You will need to install the tank upgrade no later than 6 month after the issuance of a building permit for the project. That is more than enough time to accommodate weather & contractor delays.
2. No Certificate of Approval shall be granted until completion of the tank upgrade.
3. Should you fail to follow through with upgrade as agreed, a summons to municipal court will be issued and you will have an opportunity to face the charges.

I hope this letter helps to explain the requirements of the Township and the options you have. If you have any questions, please call me at (609-537-0239. That is a direct line to my desk.

Sincerely,



Robert B. English
R.E.H.S.



TOWNSHIP of HOPEWELL

DEPARTMENT of HEALTH

Serving Hopewell Borough and Pennington Borough

201 WASHINGTON CROSSING - PENNINGTON ROAD

TITUSVILLE, NEW JERSEY 08560-1410

Telephone 609-737-0120 / Fax 609-737-6836

COPIED

September 25, 2008

Bill & Sonya Sappington
308 Bedens Brook Road
Skilman NJ 08558

Letter of Review

RE: Block 93.01, Lot 22 (33 Todd Ridge Road)

Dear Resident

This office has received and reviewed the application for letter of review for the septic system for the sale of the above referenced property. The results are as follows:

1. **The water is from a public system and meets federal, state and local safe drinking water regulations.**
2. **The septic system was inspected and found in satisfactory condition by the inspection company.**

Based on the information provided to this office, the septic letter of review for this property is released and a copy is herby provided. No further inspections are required in for this sale.

You may contact this office at (609) 737-0120 with any questions you may have regarding this matter. Our office hours are Monday through Friday, 8:30 - 4:30

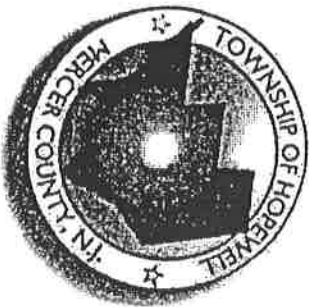
Sincerely,



Gary A. Guarino
Health Officer

FAX: Ann Motola
Christopher Costa

TOWNSHIP OF HOPEWELL



MERCER COUNTY

201 WASHINGTON CROSSING - PENNINGTON ROAD
TITUSVILLE, NEW JERSEY 08560-1410

PHONE: 609-737-0605

Upper Level Fax: 609-737-1022 Lower Level Fax: 609-737-2770
Public Works Fax: 609-737-2813

Jon R. Edwards
Mayor
Robert R. Higgins
Deputy Mayor
Francesca A. Bartlett
Committee Member
Marylou Ferrara
Committee Member
Vanessa Sandom
Committee Member
Christine Smeltzer
Administrator

REQUEST FOR INFORMATION

1. Received from: PLMRA TO POS. Date of Request: 9-12-08
(Name)

(Address)

2. Telephone No: _____ (optional)

3. Document/Information Requested: _____

SEPTIC DRAWINGS

Michael A. Kelly

Please note there often are charges for the production of information requests. Those who make a request for information must pay the charge for the copies, reproduction, retrieval costs and materials before any copies of information will be released.

For Office Use

Fee Paid: _____

Rec'd by: _____

Date given: _____

Given by: _____

Notes: _____

Alteration/Malfunctioning System
Deviation from Standards
Repairs to Existing System

2. Location of Project:

Municipality HOPEWELL TOWNSHIP
Block 93.01
Lot 22
Street Address: 46 TANGLEWOOD BLVD
TITUSVILLE, NJ 08560

3. Names(s) of Applicant(s):

HOPEWELL RIDGE PROPERTIES, INC.

4. Applicant(s) Present Address:

23 ROUTE #31 NORTH
SUITE 4-20
PENNINGTON, NJ 08534

5. Applicant(s) Phone Number: 737-0053

6. Type of Facility:

☒ Residential Swimming Pool ☐ Yes ☒ No
☐ Commercial/Institutional
Specify Type of Establishment: _____

7. Type of Wastes Discharged:

☒ Sanitary Sewage Garbage Disposal ☐ Yes ☒ No
☐ Industrial Wastes
Other - Specify Type _____

8. Other Approval/Certifications/Valuers/Exemptions
(Attach to Application):

_____ Pinelands Commission
_____ U.S. Army Corps of Engineers
_____ N.J.D.E.P. & E. - Bureau of Flood Plain Management
Other - Specify: _____

9. I hereby certify that the information furnished on Form 1 of this application is true. I am aware that false swearing is a crime in this state and is subject to prosecution.

Signature of Applicant


HOPEWELL RIDGE PROPERTIES, INC.

Date 10/25/96

FOR AGENCY USE ONLY

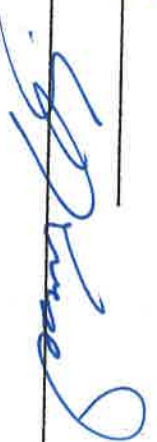
_____ Application Denied - Reason for Denial/Citation of Rules Violated:

☒ Application Approved
_____ Application Approved Subject to Approval by N.J.D.E.P. & E.

Date of Action 10/28/96

Signature of Authorized Agent

Name and Title



3. Business Phone Number of Site Evaluator: SEE ABOVE

4. Special Site Limitations Identified (Check Appropriate Categories)

☐ Flood Plains	☐ Disturbed Ground
☐ Bedrock Outcrops	☐ Sink Holes
☐ Wetlands	☐ Sand Dunes
☐ Excessively Stony	☐ Steep Slopes
Other - Specify: _____	

5. Soil Logs - Enter on Form 2B (use 1 sheet for each soil log)
* See Attached Forms

6. Consideration Relating to Disturbed Ground:

a. Type of Disturbance (check appropriate categories):

☐ Filled Area	☐ Re-graded Area
☐ Excavated Area	☐ Subsurface Drains
Other - Specify: _____	

b. Pre-existing Natural Ground Surface:
Elevation Relative to Existing Ground Surface _____
Method of Identification _____

c. Suitability of Disturbed Ground:
_____ Unsuitable: Objects subject to disintegration or change in volume.
_____ Excessively Coarse
_____ Proctor Test Performed - % Standard Proctor Density = _____

7. Hydraulic Head Test:

a. Hydraulically Restrictive Horizon: Depth Top to Bottom _____

b. Piezometer
A: Depth to Bottom _____
Depth of Water Level (24 hrs.) _____

c. Piezometer
B: Depth to Bottom _____
Depth of Water Level (24 hrs.) _____

d. Witnessed by: _____

Signature: _____ Date _____

8. Attachments:

☒ Site Plan
☒ Key Map Showing Location of Site on U.S.G.S. Quadrangle of Other
Accurate Map.
☒ Key Map Showing Location of Site on U.S.G.S. Soils Survey Map.
Other - Specify _____

9. I hereby certify that the information furnished on Form 2A of this application (and attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Soil Evaluator

FRANK J. FALCONE Date 10/22/90

Signature of Prof. Engineer

D. G. OFFICER License # 24321
D. G. OFFICER License # 24327

AFFIX SEAL

2. **Boil Log:** *PE2F02MED: 10/24/94*

WITNESSED: *GEORGE KIESEL*

Depth (Inches)
Top-Bottom

Munsell Color Name and Symbol; Estimated Textural Class;
Estimated Volume & Coarse Fragment (If present);
Structure; Moist or Dry Consistency; Mottling-Abundance,
size & Contrast (If present)

DEPTH	MUNSELL COLOR	DESCRIPTION
0-8" 10yr 4/3		BROWN SILT LOAM: 10% FINE MIXED GRAVEL; SUBANGULAR, BLOCKY, WEAK, MEDIUM; MOIST, FRIABLE; MANY FINE ROOTS; CLEAR, SMOOTH BOUNDBARY.
8"-40" 7.5yr 5/6		STRONG BROWN SILTY CLAY: 2% FINE MIXED GRAVEL; ANGLAR, BLOCKY, MEDIUM, BISTINCT; 7.5yr 8/2; 30"-40" (MOTTLES: COMMON, MEDIUM, BISTINCT; 7.5yr 8/2; 30"-40")
40"-75" 5yr 4/3		RED-BROWN SILTY CLAY LOAM - CLAY LOAM: 50% GRAVEL; SUBANGULAR, BLOCKY, MEDIUM, BISTINCT; 7.5yr 8/2; 2.5yr 8/3; (MOTTLES: COMMON, MEDIUM, BISTINCT; 7.5yr 8/2; 2.5yr 8/3; 40"-75"); MOIST, FIRM-FRIABLE; GRAVIAL, WAVY BOUNDBARY,
75"-108" 5yr 4/3		RED-BROWN SILTY CLAY LOAM - CLAY LOAM: 70% COBBLES-STONE; NO STRUCTURE; (MOTTLES: COMMON, FINE BISTINCT; 7.5yr 8/2, 2.5yr 8/3; 75"-108"); MOIST; VERY FIRM.
NO WATER ENCOUNTERED		

3. **Ground Water Observation:**

* Seepage - Indicate Depth None Encountered.
Pit / Boring Flooded - Depth After _____

Hours: _____

4. **Boil Limiting Zones (Check Appropriate Categories)**

☐ Fractured Rock Substratum	- Depth to Top	<u>108"</u>
☒ Massive Rock Substratum	- Depth to Top	<u>40'-108"</u>
☒ Excessively Coarse Horizon	- Depth to Top	<u>Bottom</u>
☒ Excessively Coarse Substratum	- Depth to Top	<u>Bottom</u>
☒ Hydraulically Restrictive Horizon	- Depth to Top	<u>8"-40"</u>
☒ Hydraulically Restrictive Substratum	- Depth to Top	<u>Bottom</u>
☒ Perched Zone of Saturation	- Depth to Top	<u>Bottom</u>
☒ Regional Zone of Saturation	- Depth to Top	<u>30"</u>

5. **Soil Suitability Classification:** III Hr (II Hr, Sr, Hc)

6. I hereby certify that the information furnished on Form 2B of this application is true and accurate. I am aware of falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator

FRANK J. FALLONE

Date 10/22/96

Signature of Prof. Engineer

b. GEOFFREY BROWN: PE 415 # 24327

License # 24321

AFFIX SEAL



Depth (Inches) **Munsell Color Name and Symbol; Estimated Textural Class;**
Top-Bottom **Estimated Volume % Coarse Fragment (If present);**
Structure; Moist or Dry Consistency; Mottling-Abundance,
Size & Contrast (If present)

DEPTH	MUNSELL COLOR	DESCRIPTION
0" 8"	10YR 4/3	BROWN SILT LOAM; 1% FINE GRAVEL; SUBANGULAR, BLOCKY, WEAK, MEDIUM; MOIST, FEASIBLE; MANY FINE ROOTS; CLEAR, SMOOTH BOUNDARY.
8" 40"	7.5YR 5/6	STRONG BROWN SILTY CLAY; 2% FINE GRAVEL; ANGULAR, BLOCKY, NOBBEATE, MEDIUM; MOIST, FIEM; (MOTTLES: COMMON, MEDIUM, BISTINCT; 7.5YR 8/2; 30"-40") COMMON, FINE ROOTS TO 20"; GRAVIAL, WAVY BOUNDARY.
40" 87"	5YR 4/3	BED: BROWN SILTY CLAY LOAM. CLAY LOAM; 50% GRAVEL? MOIST, FIEM-FEASIBLE; SUBANGULAR, BLOCKY, NOBBEATE, FINE; (MOTTLES: COMMON, MEDIUM, BISTINCT; 7.5YR 8/2, 2.5Y 8/3; 40"-87"); GRAVIAL, WAVY BOUNDARY.
87"-126"	5YR 4/3	BED: BROWN SILTY CLAY LOAM-CLAY LOAM; 70% COBBLES, STONES? NO STRUCTURE; MOIST, VELDY FIEM; (MOTTLES: COMMON, FINE, FAINT; 7.5YR 2/2, 2.5Y 8/3; 87"-126")
NO WATER ENCOUNTERED.		

3. **Ground Water Observation:**

4 Seepage - Indicate Depth None Encountered.
Pit / Boring Flooded - Depth After _____

Hours: _____

4. **Boil Limiting Zones (Check Appropriate Categories)**

☒ Fractured Rock Substratum	- Depth to Top <u>126"</u>
☒ Massive Rock Substratum	- Depth to Top to Bottom <u>40"-126"</u>
☒ Excessively Coarse Horizon	- Depth to Top to Bottom <u>8"-40"</u>
☒ Excessively Coarse Substratum	- Depth to Top to Bottom _____
☒ Hydraulically Restrictive Horizon	- Depth to Top to Bottom _____
☒ Hydraulically Restrictive Substratum	- Depth to Top to Bottom _____
☒ Perched Zone of Saturation	- Depth to Top to Bottom <u>40"</u>
☒ Regional Zone of Saturation	- Depth to Top to Bottom _____

5. **Boil Suitability Classification:** III Hr (IIcLr, Hc)

6. I hereby certify that the information furnished on Form 2B of this application is true and accurate. I am aware of falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator

FRANK J. FALCONE

Date 10/22/96

Signature of Prof. Engineer

DAVID GEORGE LIESSEL

License # 24327

AFFIX SEAL



for separate tests or test replicates.

1. Summary of Data - Enter data for each test replicate on a separate line.

Type of Test	Test #	Replicate #	Depth (in.)	* Result
<u>BASIN FLOOD</u>	<u># 30</u>	<u>-</u>	<u>58"</u>	<u>BASIN G</u>
<u>BASIN FLOOD</u>	<u># 32</u>	<u>-</u>	<u>70"</u>	<u>BASIN G</u>
<u>BASIN FLOOD</u>	<u># 34</u>	<u>-</u>	<u>84 1/2"</u>	<u>BASIN G</u>
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

* For Tube Permeameter, Pit-Bailing and Piezometer Tests, report results in inches per hour.

For Soil Permeability Class Rating, give soil permeability class number.

For Percolation Tests, report results in minutes per inch.

For Basin Flooding Test, report results as positive if basins drains completely within twenty-four (24) hours after second filling, negative if otherwise.

2. Design Permeability / Percolation Rate:

Specify Test Number

_____ Average of Test Replicates
_____ Single Replicate
_____ Slowest of Replicates

☒ ASSUMES IN-PLACE SELECT FILL

3. Type of Limiting Zone Identified

Test Number

8"-10" HYD. RESTRICTIVE

N/A

4. Attachments:

(Check Items Included)

Number of
Sheets

_____ Form 3B - Tube Permeameter Test Data
_____ Form 3C - Soil Permeability Class Rating Test Data
_____ Form 3D - Percolation Test Data
_____ Form 3E - Piezometer Test Data
_____ Form 3F - Pit-Bailing Test Data
☒ Form 3G - Basin Flooding Test Data
3

5. I hereby certify that the information furnished on Form 3A of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.A.C.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator

Date 10/22/90

Signature of Prof. Engineer

License # 24727

AFFIX SEAL

FRANK J. FALCONE

b. GABRIELE BY PROWEN: PE 416 # 24327

2. Depth of Pit, ft. 4.83' (58")

3. Area of Pit, ft.² 50

4. Description of Rock Substratum Within Test Zone:

Type of Rock: EXTRACTED SHALE

Name of Formation: BEUNSWICK TRIASSIC

Average Fracture Spacing: 1/2"

Type of Fractures (Check Appropriate Category):

☒ Open (Wide), Clean - Width of Opening, mm

☐ Open (Wide), Infilled with Fines - Width of Openings, mm 20 ±

☐ Tight (Closed)

Orientation of Fractures:

☒ Horizontal (Parallel to Pit Bottom) or Nearly So

☐ Inclined

☐ Vertical (Parallel to Side of Pit) or Nearly So

Hardness of Rock:

☒ Riprable with Hand Tools

☐ Not Riprable with Hand Tools, Riprable by Machine

☐ Not Riprable by Machine, Explosive Used

5. Time of First Basin Flooding 1:12 PM 10/24/94
Volume of Water Added, Gal. 375

6. Result of First Flooding:
☒ Basin Drained within 24 Hrs. - Indicate Time 3:03 PM 10/24/94
☐ Basin Not Drained within 24 Hrs.

7. Time of Second Basin Flooding 3:05 PM 10/24/94
Volume of Water Added, Gal. 375

8. Result of Second Basin Flooding:
☒ Basin Drained within 24 Hrs. - Indicate Time 8:36 AM 10/25/94
☐ Basin Not Drained within 24 Hrs.

9. I hereby certify that the information furnished on Form 3G of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator

FRANK J. FALZONE

Date 10/22/96

Signature of Prof. Engineer

B. GEDOFFERMAN

License # 24921
BELOW: PLS # 24927

AFFIX SEAL

2. Depth of Pit, ft. 5.83' (70")

3. Area of Pit, ft.² 50

4. Description of Rock Substratum Within Test Zone:

Type of Rock: Fractured SLATE
Name of Formation: BEUNSWICK TELLASSIC
Average Fracture Spacing: 1/2"

Type of Fractures (Check Appropriate Category):

☒ Open (Wide), Clean - Width of Opening, mm _____
☒ Open (Wide), Infilled with Fines - Width of Openings, mm 20 +
☐ Tight (Closed)

Orientation of Fractures:

☒ Horizontal (Parallel to Pit Bottom) or Nearly So
☐ Inclined
☐ Vertical (Parallel to Side of Pit) or Nearly So

Hardness of Rock:

☒ Riprable with Hand Tools
☐ Not Riprable with Hand Tools, Riprable by Machine
☐ Not Riprable by Machine, Explosive Used

5. Time of First Basin Flooding 1:16 PM 10/24/94
Volume of Water Added, gal. 375

6. Result of First Flooding:
☒ Basin Drained within 24 Hrs. - Indicate Time 8:35 AM 10/25/94
☐ Basin Not Drained within 24 Hrs.

7. Time of Second Basin Flooding 1:12 PM 10/26/94
Volume of Water Added, gal. 375

8. Result of Second Basin Flooding:
☒ Basin Drained within 24 Hrs. - Indicate Time 8:35 AM 10/26/94
☐ Basin Not Drained within 24 Hrs.

9. I hereby certify that the information furnished on Form 3G of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator

LEAH J. FALCONE

Date 10/22/96

Signature of Prof. Engineer

B. CAHOFF

License # 24327

AFFIX SEAL

2. Depth of Pit, ft. 7.04' (84 1/2")

3. Area of Pit, ft.² 50

4. Description of Rock Substratum Within Test Zone:

Type of Rock: FRACTURED SHALE
Name of Formation: BRUNSWICK TRIASSIC
Average Fracture Spacing: 1/2"

Type of Fractures (Check Appropriate Category):
☒ Open (Wide), Clean - Width of Opening, mm _____
☐ Open (Wide), Infilled with Fines - Width of Openings, mm 20+
☐ Tight (Closed)

Orientation of Fractures:
☒ Horizontal (Parallel to Pit Bottom) or Nearly So
☐ Inclined
☐ Vertical (Parallel to Side of Pit) or Nearly So

Hardness of Rock:
☒ Riprable with Hand Tools
☐ Not Riprable with Hand Tools, Riprable by Machine
☐ Not Riprable by Machine, Explosive Used

5. Time of First Basin Flooding 1:19 PM 10/24/94
Volume of Water Added, gal. 375

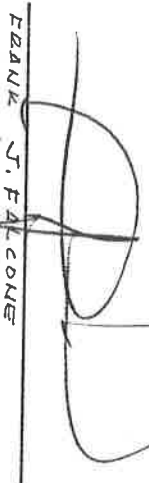
6. Result of First Flooding:
☒ Basin Drained within 24 Hrs. - Indicate Time 12:47 PM 10/25/94
☐ Basin Not Drained within 24 Hrs.

7. Time of Second Basin Flooding N/A *
Volume of Water Added, gal. _____
* WATER ENTERING PIT FROM OTHER TESTS.

8. Result of Second Basin Flooding:
_____ Basin Drained within 24 Hrs. - Indicate Time _____
_____ Basin Not Drained within 24 Hrs.

9. I hereby certify that the information furnished on Form 3G of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Site Evaluator


FRANK J. FALCONE

Date 10/22/94

Signature of Prof. Engineer


FRANK J. FALCONE

License # 24327

AFFIX SEAL

of Data, Frequency of Readings, Average Daily Flow and
Maximum Recorded Daily Reading:

2. Alterations of Repairs

- A. Reason for Alteration or Repair (Check Appropriate Categories):

Expansion or Change in Use

Upgrade Existing Facilities

Correct Malfunctioning System

Other - Specify: _____
- B. Describe Nature of Alteration or Repairs: _____

3. System Components

- A. Grease Trap Capacity _____ gallons
- B. Septic Tank Capacities:
First Compartment 1250 gallons (Single)
Second Compartment _____ gallons
Third Compartment _____ gallons
- C. Effluent Distribution Method:

☒ Gravity Flow

☐ Gravity Dosing

☐ Pressure Dosing Dosing Device: ☒ Pump _____ Siphon _____
- D. Dosing Tank Capacities:
Total Capacity 1500 gallons
Dose Volume 200 gallons
Reserve Capacity 800 gallons
- E. Laterals: Number 6 Length 54' est. Pipe Size 1 1/2" Ø Spacing 36" o.c.
- F. Connecting Pipe: Size 2" Ø Length 72'
- G. Manifold: N/A Size _____ Length _____
- H. Disposal Field:
Type of Installation: "MSL"
Design Permeability (Percolation Rate) 3-15 MPT
Trenches: Width _____ Total Length _____
Bed: Area 1302 ft₂
- I. Seepage Pits:
Design Permeability (Percolation Rate) _____
Number of Pits _____
Total Percolation Area Provided _____
4. Attachments (Check Items Included):

General Plan Showing Location of All System Components.

X-Section of Each System Component, Including Grease Trap,
Septic Tank, Dosing Tank, Disposal Field, Seepage Pits and
Interceptor Drain.

☒ Pump Performance Curve.

Other - Specify: _____
5. I hereby certify that the information furnished on Form 4 of this application (and attachments thereto) is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A.58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.A.C. 7:14-8.

Signature of Prof. Engineer



License # 24327

AFFIX SEAL

FRANK J. FALCONE: PLS # 32112

10/22/94
DATE

REV. 10/22/94
CHECK P/F/G/E
DATE 10/22/94

10/22/94
DATE

FRANK J. FALCONE
BRYCE M. RITTENHOUSE
ARNOLD HYDEN, JR.
D. GEOFFREY BROWN
WESLEY J. LANE

PE & PLS.
PE PLS.
PLS.

NO. 13453
NO. 21223
NO. 24227
NO. 30747
NO. 32112

PRINCETON JCT. ENGINEERING P.C.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
P.O. BOX 610 NORTH POST RD.
PRINCETON JUNCTION, NEW JERSEY 08550
(609) 799 1906
(609) 799 1963

DISPOSAL BED SECTION
VIEW DETAIL
FOR LOT 22, BLOCK 93.01, FOR:
HOPEWELL RIDGE
OPERATIVES, INC.
SITUATED IN:
HOPEWELL TWP., MERCER CO., NEW JERSEY.

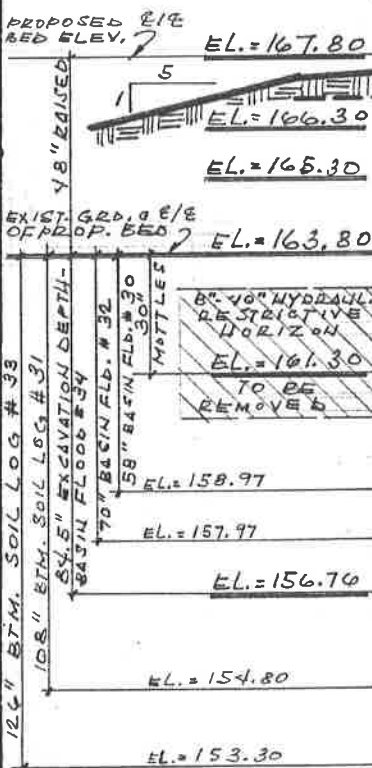
D. GEOFFREY BROWN
PROFESSIONAL ENGINEER &
LAND SURVEYOR # 21827

FRANK J. FALCONE
PROFESSIONAL LAND SURVEYOR # 32112 PER PLANER # 3760

SHEET 22
BLOCK 93.01
LOT 22

PROP. TYPICAL
INSPECTION PORT:
(SEE DETAILS
SHEET.)

CONTINUOUS
LAYER OF
APPROVED FILTER
FABRIC: (SEE
DETAILS SHEET
FOR SPEC.)



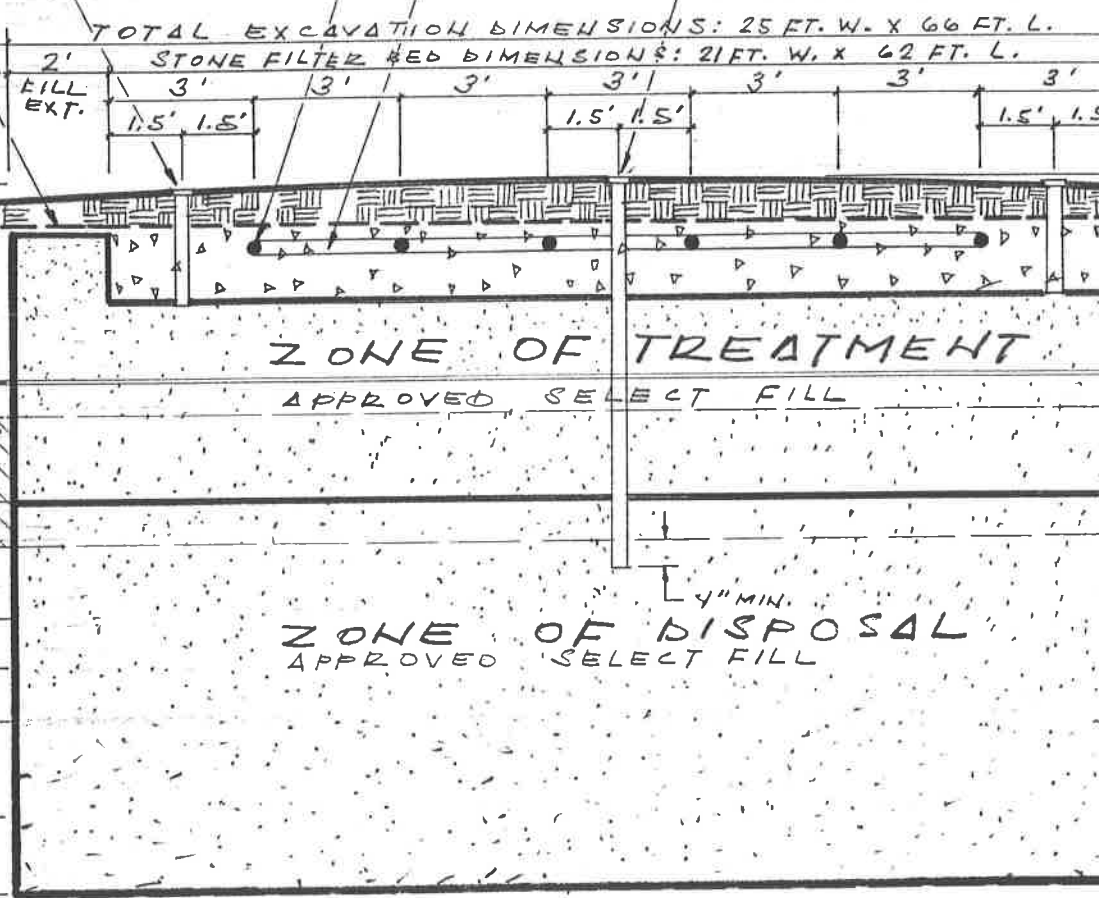
MOUNDED SOIL REPLACEMENT DISPOSAL
SCALE: 1" = 4'

- NOTE:** The HOPEWELL TOWNSHIP Health Dept. requires a Soil Permeability Class Rating Test on the Stockpiled Select Fill. The contractor shall notify the design engineer 24 hrs. in advance of the said stockpiling in order to obtain samples of the fill for testing.
- The select fill shall not be emplaced until a passing soil analysis has been obtained.
 - The distribution network shall not be constructed until a passing percolation test has been performed on the emplaced select fill, to insure proper compaction. The contractor shall notify the design engineer 24 hrs. in advance in order to perform said test.

PROPOSED TYPICAL DISTRIBUTION LATERAL
PERFORATED ASTM B-2729 PVC PIPE

PROPOSED DISTRIBUTION NETWORK
ASTM B-2729 PVC PIPE SET LEVEL

PROPOSED MONITOR PIPE
PVC PIPE W/ SCREW CAP



PROPOSED 5 BEDROOM DWLG. = 800
ASSUME IN-PLACE SELECT FILL @
800 GPD x 1.01 SF/GPD = 1288 SF
1288 SF ÷ 21' (PROP. BED WIDTH) = 61
* 2 FT. FILL EXTENSION REQ'D.
EXCAVATE DISPOSAL BED RTM.:
CONSTRUCT STONE FILTER BED:

LOCKING OR BOLTING TYPE
MANHOLE FRAME & COVER
SER TO —————
ABE

PLAN VIEW

24" DIA. HOLE

INSPECTION HOLE

$$\underline{\underline{EL = 158.12}}$$
$$\text{INV. OUT} = 156.87$$

OUTLET

114

F14. GRb. =	161.5 ±
-------------	---------

INLET	HV. IN =	157.12
-------	----------	--------

5-

48

3

3

ELEV. =	152.87
---------	--------

CROSS SECTION VIEW

SPECIFICATIONS

- **Concrete Minimum Strength** — 3,500 P.S.I. @ 28 Days
 - **Steel Reinforcement** — #4 Rebar in lid, #3 Rebar in sides
 - 6 x 6 x 10 gauge wire mesh in bottom
 - **Joint** — Sealed with a synthetic resin sealant or equivalent
 - **Design** — Septic Tank shall be as manufactured by
- MODERN CONCRETE SEPTIC TANK COMPANY**

*NOTE: THE VERTIC TABLE BE PLACED ON A FIRM & TABLE FOUNDATION OF 31/4" SIZE CLEAR STONE, 6" THICK.

FRANK J. FALCONE A.B. # 3760
NEW JERSEY LICENSED LAND SURVEYOR # 32112

SHEET

BLOCK

LOT

PRINCETON JCT. ENGINEERING P.C.

P.O. BOX 610 NORTH POST RD.
PRINCETON JUNCTION, NEW JERSEY 08550
(609) 799 1906 (609) 799 1963

1250 GALLON SEPTIC
TANK DETAIL

FOR LOT 22, BLOCK 93.01,
HOPEWELL RIDGE
PROPERTIES, INC.

UNITED IN:
HOPKINELL TWP., MERCER CO., NEW JERSEY.

**BRYCE M. RITTENHOUSE
ARNOLD RYDEN, JR.
D. GEOFFREY BROWN
WESLEY J. LANE
FRANK J. FALCONE**

PE & PLS.
PE
PLS.

NO.	13453
NO.	21223
NO.	24327
NO.	30747
NO.	32112

CLAIMING

J. M.

CHECK

DATE _____

10/21/01

SCALE

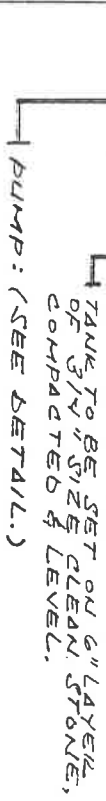
D. GEOFFREY BROWN
PROFESSIONAL ENGINEER &
LAND SURVEYOR # 24327

FRANK J. FALCONE: N.Y.C.C.S. # 32112 DATE

b. GEOFFREY BROWN: P.E. & L.V. # 24327

$$WV. OUT = 156.58$$

INLET		$\text{IN V. IN} = 156.83$
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96.61 GAL.
96.61 GAL.

THE PROPOSED DOSING TANK PROVIDES ADEQUATE RESERVE AREA IN THE EVENT OF A PUMP MALFUNCTION.

THE PROPOSER, SPECIFIED PUMP OR AN APPROVED EQUAL SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN. IF THE CONTRACTOR SELECTS A PUMP THAT IS DIFFERENT THAN THE APPROVED SHOWN IN THE APPROVED DESIGN, THE PUMP MODEL AND ITS SPECIFICATIONS SHALL BE GIVEN TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO ITS INSTALLATION.

THE PUMP ON AND OFF SETTINGS SHALL PROVIDE TEN MINIMUM ROSE VOLUME. THE HIGH WATER ALARM SHALL BE INSTALLED 4 INCHES ABOVE THE "PUMP ON" SWITCH AND SHALL ACTIVATE BOTH A VISIBLE AND AUDIBLE ALARM.

THE DOSING TANK SHALL BE CONSTRUCTED OF THE SAME MATERIAL AS THOSE ALLOWED FOR SEPTIC TANK CONSTRUCTION.

ALL ELECTRICAL LINES FROM THE BUILDING TO THE PUMP CONTROL PANEL SHALL BE PROTECTED BY A CONDUIT.

WHEN THE DELIVERY PIPE IS SUBJECT TO FROST PENETRATION, THE DELIVERY PIPE WILL DRAIN BACK TO THE DOSING TANK AFTER EACH DOSE CYCLE.

THERE IS NO CHECK VALVE AT THE PUMP AND THE DELIVERY PIPE DRAINS BACK TO THE DOSING TANK.

A 1/8" HEEP HOLE SHALL BE PROVIDED IN THE DELIVERY PIPE AT THE HIGHEST POINT IN THE DOSING TANK WHERE THE LOW WATER LEVEL IS HIGHER THAN THE DISTRIBUTION BOX OR DISTRIBUTION LATERAL.

SPECIFICATIONS

- FRANK J. FALCONER
N. J. LIC. LAND SURVEYOR #3211241

PRINCETON JCT. ENGINEERING CO.
PROFESSIONAL ENGINEERS & LAND SURVEYORS

P.O. BOX 223 NORTH POST RD.
PRINCETON JUNCTION, NEW JERSEY 08550
(609) 799 1906 (609) 799 1963

(609) 799 1963

P.E. & P.L.S.
P.L.S.
P.E.
P.L.S.
P.L.S.

NO.	13453
NO.	21223
NO.	24327
NO.	30747
NO.	32112

DRAWN
J. H.

DATE _____

CHECK

12/9/96

D. GEOFFREY BROWN
PROFESSORIAL ENGINEER &
LAND SURVEYOR #24327

LEAH J. FALCONE: JUL 6 # 32112

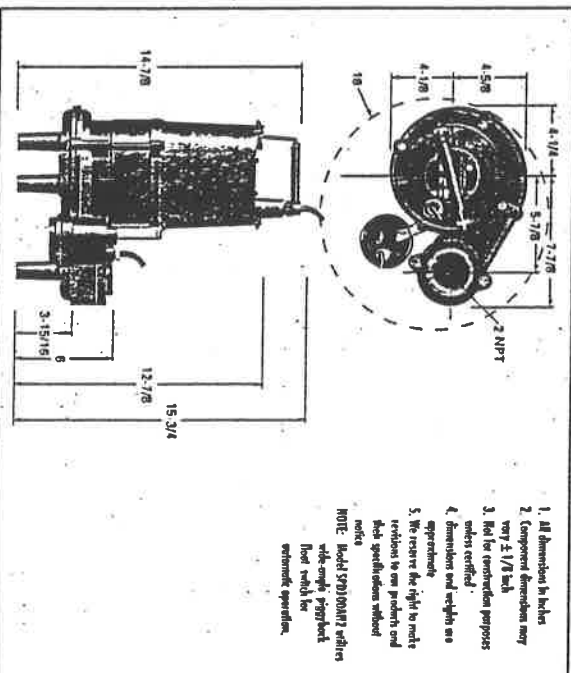
DATE 10/22/92

b. c. 1050-1100: 17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-

CAPACITY-U.S. G.P.M.

Total Head (feet)	10	20	30	40	50	60
1/2 HP	105	77	50	23	0	-

Dimensional Data



Materials of Construction

Handle	Steel
Lubricating Oil	Dilutetric Oil
Motor Housing	Cast Iron
Seal Housing	Cast Iron
Pump Casting	Cast Iron
Shaft	Stainless Steel
Mechanical Shaft Seal	Seal Faces: Carbon/Ceramic Seal Body: Brass Springs: Stainless Steel Bellows: Buna-N
Impeller	Cast Iron
Upper Bearing	Single Row Ball Bearing
Lower Bearing	Single Row Ball Bearing
Base	Cast Iron
Fasteners	Stainless Steel

AURORA/HYDROMATIC Pumps, Inc.
 1840 Baney Road, Ashland, Ohio 44805
 (419) 289-3042

• ON DESIGN ENGINEER APPROVED EQUAL.

25M 1-90-KCC PRINTED IN USA

FRANK J. FALCONE
 PROFESSIONAL LAND SURVEYOR #32112 PROF. PLANNER #3760

SHEET BLOCK LOT
 22 93.01 22

PRINCETON JCT. ENGINEERING P.C.
 PROFESSIONAL ENGINEERS & LAND SURVEYORS
 P.O. BOX 610 NORTH POST RD.
 PRINCETON JUNCTION, NEW JERSEY 08550
 (609) 799 1906

(609) 799 1963

BRUCE M. RITTENHOUSE
 ARNOLD RYDEN, JR.
 D. GEOFFREY BROWN
 WESLEY J. LANE
 FRANK J. FALCONE

P.E. & P.L.S.
 P.E. P.L.S.
 P.L.S.

NO. 13453
 NO. 21223
 NO. 24327
 NO. 20747
 NO. 32112

DRAWN

DATE

7/11
 10/12/96

B. GEOFFREY BROWN
 PROFESSIONAL ENGINEER &
 LAND SURVEYOR #24327

SITUATED IN:
 WOPWELL TWP., MERCER CO., NEW JERSEY

PUMP DETAIL
 FOR LOT 22, BLOCK 93.01, FOR:
WOPWELL RIDGE
PROPERTIES, INC.

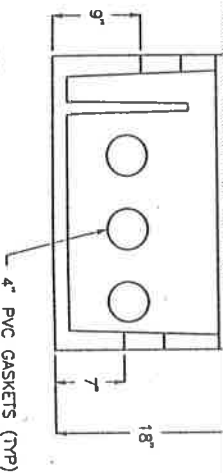
FRANK J. FALCONE: PLS # 32112

DATE

B. GEOFFREY BROWN: PLS # 24327

10-22-96

Level of Infiltration

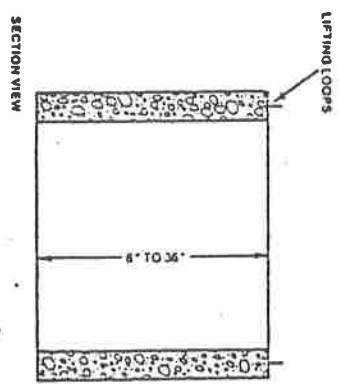
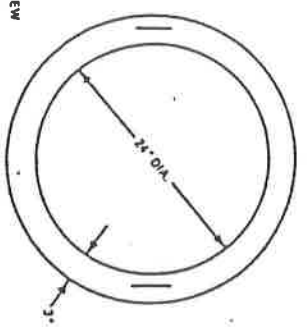
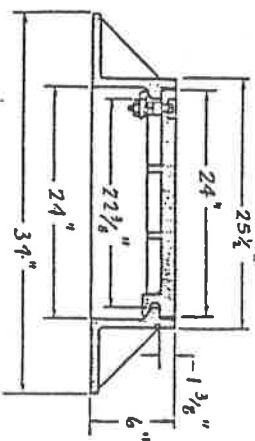
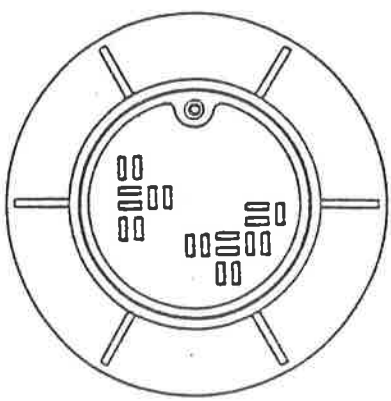


Manufactured by
MODERN CONCRETE SEPTIC TANK CO.
or other NPCA certified plant

FILTER FABRIC SPECIFICATIONS

- TERRATEX SD OR EQUIV.
 - GRAB TENSILE STRENGTH
 - MULLEN BURST STRENGTH
 - ELONGATION
 - WATER PERMEABILITY COEFFICIENT
- 125 LBS.
275 LBS./SQ.IN.
BOX
-2 CM/SEC.
- THE FABRIC IS TO BE LAPPED OVER THE TOP OF STONE A MIN. OF 6"

STANDARD TYPE FRAME
CAMPBELL No. 1452C



SPECIFICATIONS

- Concrete Minimum Strength — 3,500 P.S.I. @ 28 Days
- Steel Reinforcement — 0" x 6" x 10 ga. wire mesh in sides

MANHOLE DETAIL

N.T.S.

CONCRETE EXTENSION DETAIL

N.T.S.

FRANK J. FALCONE
NEW JERSEY LICENSED LAND SURVEYOR # 32112

SHEET	BLOCK	LOT
22	93.01	22

PRINCETON JCT. ENGINEERING P.C.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
P.O. BOX
NORTH POST RD.
PRINCETON JUNCTION, NEW JERSEY 08550
(609) 799 1906

GENERAL DISPOVAL
SYSTEM DETAILS
FOR LOT 22, BLOCK 93.01, FOR
HOPWELL, RIBGE
PROPERTIES, INC.
SITUATED IN:
HOPWELL TWP, MERCER CO., NEW JERSEY.

BRUCE M. RITTENHOUSE
ARNOLD RYDEN, JR.
D. GEOFFREY BROWN
WESTLEY J. LANE
FRANK J. FALCONE

P.E. & P.L.S.
P.L.S.
P.L.S.
P.L.S.

NO. 13453
NO. 21223
NO. 84027
NO. 30747
NO. 32112

DESIGN
J.M.
CHECK
H/

DATE
10/23/94
SCALE
NONE

D. GEOFFREY BROWN
PROFESSIONAL ENGINEER &
LAND SURVEYOR # 24327

FRANK J. FALCONE: N.J.L.L.S. # 32112 DATE

D. GEOFFREY BROWN: P.E. & L.S. # 24327

- * The design engineer shall be notified prior to the commencement of the following construction:
 1. Excavation of the disposal field.
 2. Placement of the fill material.
 3. Installation of distribution network.
 4. Final grading.
- * The design engineer shall perform soil testing in the zone of treatment to insure proper compaction prior to installation of the crushed stone and piping network.
- * All trees within 10 feet of the disposal system shall be removed.
- * There are no existing or proposed wells within 100 feet of the proposed disposal system.
- * Soil testing has been performed by B.S. BROWN: PE and witnessed by GEORGE KIESEL of the HOPEWELL TWP. Health Department.
- * The disposal field shall be excavated to a depth of 84 1/2" from existing grade and replace with an approved specified fill material.
- * All fill installed in the disposal system shall be placed in maximum 12" lifts and compacted to 95% to 95% modified proctor density.
- * Backfill around the septic tank shall be installed in maximum 6" layers.
- * Connecting and delivery pipes are to be installed on a firm foundation satisfactory to the Administrative Authority.
- * If necessary to walk on the disposal field bottom, a suitable board shall be laid over the soil.
- * Seamed or compacted soil surfaces produced on bottom or sidewall of the excavation shall be removed to expose a fresh soil surface which is rough and uneven.
- * Work should be scheduled so that the bottom and sidewalls of the excavation will not be exposed to rainfall or windblown silt between time of excavation and time of final inspection and backfilling.
- * Any loose soil or debris which is washed into or deposited within the excavation shall be removed prior to the construction of the distribution network.
- * Perforations shall evenly spaced along rows running the length of the pipe, on each side, midway between the lower and the center-line which separates the upper and lower halves of the pipe. Perforations shall be no smaller than three eighth inch and no longer than three quarter inch in diameter.
- * A minimum of nine inches and no more than 10 inches of backfill shall be placed over the top of the disposal field filter material.
- * Backfill material shall be of earth similar to that found at the site and free of large stones, tree stumps, broken masonry or other waste construction material.
- * In no case shall the backfill material be more permeable than the surrounding material.
- * Compaction will be accomplished manually or mechanically by tamping, rolling or driving over fill material in a controlled pattern.
- * Heavy equipment will not be driven directly on exposed area of the excavation. A minimum of one foot of fill below must be maintained at all times.
- * Construction of the disposal field and distribution network are as prescribed for conventional installations, 719A-10.31(d).

- * The disposal system contractor shall obtain a septic tank certification from the manufacturer for conformance with N.J.A.C. 7:9A-8.2. "Septic tanks" et seq."
- * The septic tank, pump tank and distribution boxes shall be placed on a minimum of 6" of 3/4" clean stone.
- * All manhole covers and inspection port caps in the septic pump tank shall have water tight, bolted or locked covers.
- * All interior concrete surfaces shall be sealed with 2 coatings of an "approved inert coating" to minimize evaporation. Coating of precast tanks shall be applied by the manufacturer prior to delivery.
- * Inside tank dimension length shall be at least twice the inside tank dimension width.
- * The disposal system contractor is responsible for confirmation that all materials utilized in the construction of the disposal system are in accordance with the N.J.A.C. 7:9A et seq.
- * Filter material is to be covered with drainage fabric, untreated building paper or 4" to 6" of salt hay or straw.
- * Drainage fabric or untreated paper shall be overlaid a minimum of 6".
- * Drainage fabric is specified in the engineering design to have requisite qualities.
- * Backwash from water softeners or other drainage other than sanitary sewage shall not enter the disposal system.
- * The building sewer shall be designed and constructed in accordance with the provisions of the State Uniform Construction Code, N.J.A.C. 5:23, adopted pursuant to the Uniform Construction Code Act, N.J.S.A. 52:27D-119 et seq.
- * Concrete used in the construction of septic tanks shall conform to the American Concrete Institute (ACI) standards for frost resistance (ACI 318-16-4.9.2). In case of built-in-place tanks, certification that these standards have been met shall be sign, sealed and attached to the approved engineering design. In the case of precast tanks, the certification shall be provided by the manufacturer and the certification shall be displayed on the tank.
- * Adequate measures shall be used to insure bottom of disposal bed or each individual branch is level.
- * In soil textures other than sands or loamy sands, excavation which exposes the infiltrative surface of the disposal field is not carried out when the soil moisture content is above the lower plastic limit.
- * The excavation will be carried out in a manner that will avoid unnecessary compaction of the disposal field. Heavy equipment (bulldozers/front end loaders) will not be driven over the exposed infiltrative surface of the disposal field. Excavation should be carried out with a backhoe operating from between the disposal trenches or outside the perimeter of previously excavated portions of the disposal bed.

SEPTIC TANK NOTES

FRANK J. FALCONE
NEW JERSEY LICENSED LAND SURVEYOR # 32112

A.P. # 3760

SHEET BLOCK LOT
22 93.01 22

PRINCETON JCT. ENGINEERING P.C.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
P.O. BOX
PRINCETON JUNCTION, NEW JERSEY 08550
(609) 799 1966

HOPEWELL TWP., MERIDEE CO., NEW JERSEY.

BRUCE M. RITTENHOUSE
ARNOLD RYDEN, JR.
D. GEORFREY BROWN
WESLEY J. LANE
FRANK J. FALCONE

P.E. A.P.L.S. NO. 12453
P.E. P.L.S. NO. 21223
P.E. P.L.S. NO. 24321
P.L.S. NO. 30747
NO. 32112

ISSUED

DATE

D. GEORFREY BROWN
PROFESSIONAL ENGINEER &
LAND SURVEYOR # 24321

FRANK J. FALCONE: N.J.L.S. # 32112 DATE

D. GEORFREY BROWN: P.E. A.L.S. # 24321



U.S.G.S. QUADRANGLE MAP:
PENNINGTON QUAD.; 1"=2000'



LEAH J. FALCON
N.J. Lic. LAHB SUEVEYOR #32112 & P

SHEET	BLOCK	LOT
22	93.01	29

PRINCETON JCT. ENGINEERING P.C.
PROFESSIONAL ENGINEERS & LAND SURVEYORS
 P.O. BOX 610 NORTH POST RD.
 PRINCETON JUNCTION, NEW JERSEY 08550
 (609) 799 1906 (609) 799 1963

KEY MAPS
OF LOT: 22, Block: 93.01, FOR:
HOPEWELL RIDGE
PROPERTIES, INC.
SITUATED IN:
HOPEWELL TWP., MERCER CO., NEW JERSEY

BRYCE M. ATTENHOUSE
ARNOLD RYDEN, JR.
D. GEOFFREY BROWN
WESLEY J. LANE

P.E.	P.L.S.	P.L.S.	P.L.S.	NO.
				13453
				21223
				22327
				30747
				32112

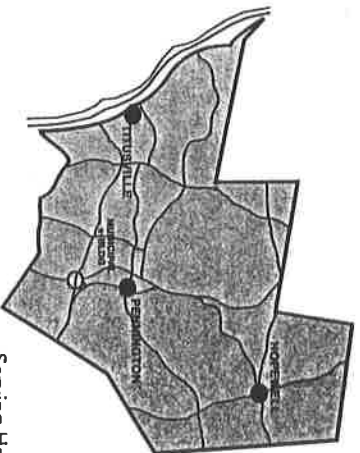
DRAWN
J.M.

DATE 1/22/90

D. GOFFREY BROWN
PROFESSIONAL ENGINEER &
LAND SURVEYOR #24327

FRANK J. FOLGOWE: NJLS# 32112 PP# 3760 DATE

0/22/9
b. 60FFREY BLOWN: PE. 4LS. #2Y827



Serving Hopewell Borough
and Pennington Borough

TOWNSHIP of HOPEWELL

DEPARTMENT of HEALTH

201 WASHINGTON CROSSING PENNINGTON RD. TINSBORO, N.J. 08560 MERCER COUNTY
TELEPHONE 609 737-0120/737-0132 / TELEFAX NO. 737-1022

October 28, 1996

Hopewell Ridge
23 Route 31 North
Suite A-20
Pennington, NJ 08534

Re: Block 93.01 Lot 22

To whom it may concern:

Your application for an onsite subsurface sewage disposal system has been approved with the following conditions:

SEWAGE DISPOSAL PERMITS ARE VALID FOR TWO YEARS FROM DATE OF ISSUE.

1. A copy of this letter must be forwarded to your construction contractor and sewage disposal installer prior to installation of said system.
2. The house location must be staked by a licensed surveyor or professional engineer to assure proper location and elevation as represented on the attached plan.
3. The sewage disposal system must be located and staked prior to installation by a licensed surveyor or professional engineer to guarantee the proper alignment of the system in the area of the soil tests, and to insure it will conform to all site restrictions as represented on the attached design.
4. The required elevation of the sewage disposal system should be verified by the licensed professional engineer or surveyor, the builder and the plumbing contractor as it relates to the foundation height, the point where the sewer line exits the dwelling and the height of the septic tank. If this is a gravity system and the minimum height of the sewer line is not maintained, an ejector system will be required after the septic tank.
5. An onsite conference is required with your installer and a representative from this office prior to installation of any part of this system. This should avoid any problem during the installation which can be costly to all parties concerned.
6. The design engineer must be notified at the beginning of the installation. Field measures must be made for the required as-built design, and grading plan certifications. The as-built must show soil test location,

distances to the tank and D-box as measured from two fixed points, also, any changes caused by site conditions, construction changes and installation problems. If this is a raised system, the as-built grading plan must be certified by the engineer that it is as designed, showing all inverts and contour lines. The as-built will provide a detailed location of the installed system so it can be located once it is covered.

7. No excavating machinery shall be permitted in the excavation during construction. A track-hoe or back-hoe must be used to dig the excavation. Sand must be available at the start of construction to cover the bottom and to protect open fractures etc.

8. All trees within 10 feet of a conventional disposal system or within the area of the extended clay fill and sloped area of a raised disposal/mound system must be removed.

9. All phases of construction of the disposal system must be inspected by the Health Department. It is your responsibility (or your contractors) to notify the Health Department by no later than 9:00 a.m. on every day that construction is underway so inspections can be scheduled. Systems will be dug up if not inspected by this office!

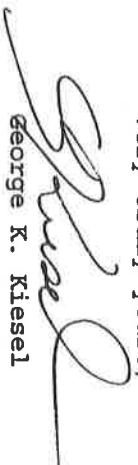
10. A certificate of occupancy will not be issued if the system is not completed and the grades certified. Raised systems must be stabilized. All systems must be seeded or sodded and have established vegetative growth.

11. All septic tanks must comply with new tank requirements and also be provided with locking manhole access lids to final grade as required by NJDEP 7:9A.

12. All sand and clay fill must be stock piled on site and certified by a licensed laboratory or by the design engineer once in place using a perc test.

Effective January 1, 1990 the New Jersey Department of Environmental Protection enacted a law requiring the certification and licensing of sewage disposal systems.

Very truly yours,


George K. Kiesel
Senior Sanitarian

cc: Frank Falcone

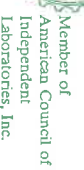


267 Wall Street, Princeton, NJ 08540

LABORATORY ANALYSIS REPORT

Client: Hopewell Ridge Inc.
Address: 23 Rt. 31 N
Suite A20
Pennington, NJ 08534
Attention: Mr. Joseph Dacruz

Test Number:	L971695B
Date Received:	November 7, 1997
Date Sampled:	November 7, 1997
Job Number:	127370-5B

[illegible][illegible]

Sampled by Chyun Associates
from Hopewell Ridge

Laboratory ID No. 11198

November 10, 1997

Michael Wright
Michael Wright, Technical Director

M E M O R A N D U M

RECEIVED

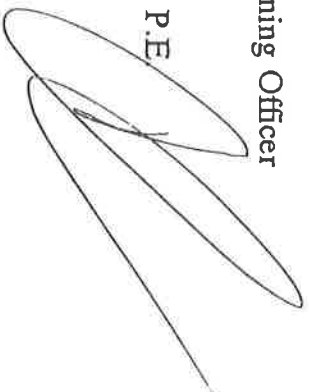
APR 24 1997

Hopewell Township Health Dept.

TO: Patricia O'Hara, Zoning Officer
Hopewell Township

FROM: Paul E. Pogorzelski, P.E.
Township Engineer

DATE: April 21, 1997



RE: Sales Facility Relocation
→ Cubberly Hill Major Subdivision
Block 93, Lot 7.01
VC EA File No. 7811-87-9

I have received a request from the developer to relocate the sales facilities from the approved temporary trailer location on Lot 7.01, to the model home on Lot 22 in Block 93.01. Sales facilities within a model home are a permitted use per Ordinance section 17-159.b.7, and the applicant received site plan approval from the Planning Board for the provision of sales facilities within this development. I have no objection to approval of this relocation, subject to Township Health Department approval.

PEP:FG:lan
cc: Gary Guarino, Health Officer ✓
Hopewell Ridge Properties, Inc.

4-24-97
need + water
occupant
for
see plan


PENNINGTON PROPERTIES DEV CORP.
PENNINGTON REALTY
PENNINGTON CONTRACTORS
RARITAN POINTE INC
PENNINGTON POINTE G.P.
HOPEWELL WOODS
PENNINGTON MANAGEMENT
H.V. PROPERTIES INC.
OFFICES AT PENN. PROP. INC.
HOPEWELL RIDGE PROP INC.
MOUNTAINSIDE PROPERITES INC.
OTHER: _____

CHECK DATE:	CHECK NO:	VENDOR NO:
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INVOICE #	CODE	LOT	DESCRIPTION	AMOUNT
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[illegible]

TOTAL.....\$ 200.00

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February 24, 2014

Mr. Phil Robbins

RE: 33 Todd Ridge Road
Hopewell, NJ 08560

Dear Mr. Robbins

The on lot wastewater treatment system for the above referenced property was inspected on February 24, 2014. Attached is the report of that inspection which will document our findings. Based on the inspection, the septic system is satisfactory condition except for the rings and lids on the septic tank and pump tank needing to be replaced.

Background Information.

The existing 5 bedroom house was built 17 years ago. Drawings of the septic system were available from the Hopewell Township Health department. The system was designed to include a 1,250 gallon septic tank and a 1,250 pump tank. The absorption area is a mound located at the front of the house.

Visual Observations.

The attached onsite inspection form contains a site sketch that we generated presents the location of the septic system components.

The septic tank manhole lid and pump tank lid were removed to inspect the integrity of the tanks. We did not observe any sludge surfacing above the top of the tank or within the soil surrounding the top of the tank. The inlet and outlet baffles were found to be in satisfactory condition.

The septic tank and pump tank were both pumped and found to be in satisfactory condition at the time of the inspection.

The floats, dosing pump and high liquid level alarm in the pump tank were tested and found to be in operating condition.

Observed holes were placed in the absorption area and no liquid was observed in the absorption area.

The ring and lid on the septic tank and the ring and lid on the pump tank need to be replaced. The lids were rusted to the rings and were unable to be opened at the time of the inspection. Had to remove the rings to inspect both tanks.

Do to the property being vacant the system was not loaded under normal hydraulic loading prior to the inspection. Our inspection is performance based. Without normal hydraulic loading we cannot

Inspection Overview

INTERNAL USE ONLY:

- Preliminary system information
- Inspection of treatment tanks
- Absorption system inspection
- Disposal/conveyance system assessment
- Identification of any alternative technology approved components

Requires additional inspection

Client Information						System Location					
Client Name:	<u>Phil Robbins</u>					Inspector Name:	<u>Mike Gallagher</u>				
Different from owner?	(x) yes					Date:	<u>2/24/2014</u>				
Client Address:	_____					ISSDS Address (including municipality):	_____				
	_____						<u>33 Todd Ridge Road</u>				
	_____						<u>Hopewell, NJ 08560</u>				
	_____						_____				
Contact Method:						New Jersey Coordinate:	Block:	<u>93.01</u>		Lot	<u>22</u>
home tel.	_____										
work tel.	_____					Was GPS used? () yes (X) no					
e-mail	_____										

Preliminary Information:	
Weather: <u>Sunny</u>	
Last Precipitation: <u>unknown</u>	
Age of system: <u>17</u>	
Type of dwelling?	
() Residential <u>Number of Bedrooms: 5</u>	
() Non-residential <u>Describe: _____</u>	
How many systems are being inspected? <u>1</u>	
List any commercial activities or high impact hobbies:	

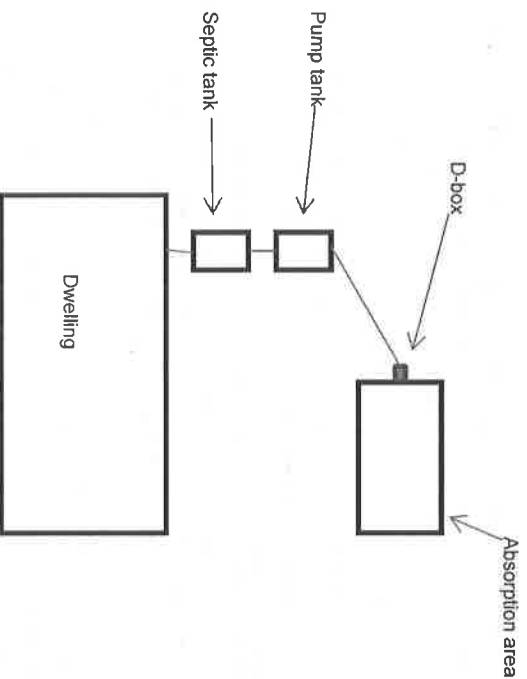
Describe prior problems and/or repair history including soil fracturing or use of chemical additives. Include dates and explain why the remedial measures have been applied to the system (if available): _____	

Date file review requested with administrative authority: <u>2/24/2014</u>	

	Yes	No
Is there a site plan or septic map available?	(x)	()
Is the dwelling currently being occupied?	()	(x)
If so, how many occupants?		
If no, date last occupied?	unknown	
If there is a washing machine, is it connected to a separate gray water disposal system?	()	(x)
Is the dwelling free of additional gray water systems?	(x)	()
Is the dwelling free of garbage disposal system?	(x)	()
Is the dwelling free of sump pump discharges to the system?	(x)	()
Is the dwelling free of any historical sewage back ups into the structure?	(x)	()
Does all sewage enter the septic system and no type of sewage bypass exists?	(x)	()
Septic Tank Pumping:		
Is the septic tank pumped regularly?	()	()
Frequency: <u>unknown</u>		
Date of last pumping: <u>unknown</u>		
Was a file review completed prior to inspection?	(x)	()
If no, explain why below		

Comments:
Onlot wastewater treatment systems are designed for a useful life of 20-30 years. The system is reported to be 17 years old.

Sketch the approximate system location in this space provided:



Dosing or Pump Tank:

- Does the system contain a pump tank?
- Is the pump operation?
- Do the alarm(s) on the pump work?
- Is the pump elevated above the tank floor?
- Is the lid in satisfactory condition?
- Is the tank in satisfactory condition?
- Is the tank free of accumulated solids?

Yes	No	N/A
(x)	0	0
(x)	0	0
(x)	0	0
(x)	0	0
(x)	0	0
(x)	0	0
(x)	0	0

	Satisfactory	Satisfactory with Concerns	Unsatisfactory	Requires Additional Investigation	N/A
Condition of the treatment tank(s)	0	0	(x)	0	0
Condition to the conveyance and pump system(s)	(x)	0	0	0	0
Condition of the absorption area(s)	(x)	0	0	0	0
Condition of any accessory components	0	0	0	0	(x)

Comments:

The septic system was in unsatisfactory condition at the time of the inspection, due to the rings and lids on the septic tank and pump tank needing to be replaced. The lids were rusted to the rings and were unable to be opened at the time of the inspection. Had to remove the rings to inspect both tanks.

Hopewell Township Health Department

201 Washington Crossing Pennington Road

Titusville, NJ 08560

609-737-0120

RECEIVED

SEP 25 2008

APPLICATION FOR LETTER OF REVIEW

HOPWELL TOWNSHIP HEALTH DEPT.

Onsite Sewage Disposal System

Block 93.01 Lot 22 Location 33 TODD RIDGE ROAD TITUSVILLE NJ 08558

Transfer/Tenancy/Change in Use (Circle one) Date 9.30.08 Fee \$25.00 received 9-25-08 94 925

Property Owner BILL & SONYA SAPINGTON Phone 609.610.6808

Owner's Address 308 BEDENS BROOK ROAD

City SKILLMAN State NJ Zip 08558 FAX _____

Legal Agent for owner ANN MOTOHA, ESQ (JOYTSCHINS) Phone 609.896.7663

Fax 609.896.1469 E-mail _____

Purchaser/Tenant

Name MR & MRS MERFIELD Phone _____

Purchaser/Tenant

Address RESIDENCE INN PRINCETON ?

City _____ State _____ Zip _____ FAX _____

Legal Agent for Applicant CHRISTOPHER K. COSTA Phone 609.844.0300

Fax 609.844.1181 E-mail _____

Ordinance BH 2003-1 There shall be no transfer of real property, change in the use or change in tenancy of a property which utilizes an onsite sewage disposal system until the Administrative Authority or its authorized representative shall have issued a Letter of Review stating that the sewage disposal system complies or does not comply with the requirements of this ordinance and are in addition to and not in lieu of any applicable federal and state laws and regulations. In the event that any present or future federal or state law or regulation imposes standards more stringent than the requirements of this ordinance, the more stringent standards shall govern. The requirements of this ordinance shall pertain to all onsite subsurface sewage disposal systems in Hopewell Township, whether the property served is used for residential, commercial, agricultural or industrial purposes. Effective October 1, 2003

This application must be completed and submitted 10 business days prior to transfer of properties, change in use or change in tenancy. Be sure to include the name and address of all persons owning, purchasing or leasing the property upon which the onsite sewage disposal system is located.

Make check for \$25 payable to Hopewell Township

Transfer of real property:

A report by an independent inspection company indicating that the septic system inspection was conducted meeting minimum standards for the inspection of subsurface sewage disposal systems as prescribed by the Administrative Authority and or the NJ DEP shall be submitted.

For the purposes of this ordinance, Appendix A "Minimum Requirements for the Inspection of Septic Systems, Needed for the Sale, Transfer or Lease of Properties in Hopewell Township" shall serve as a minimum guidance document for conducting septic inspections until such time as new rules or regulations are issued by NJDEP. This document is adopted by reference. Revisions to Appendix A maybe enacted by the Health Department as required.



September 17, 2008

Ms. Alison Merfield

Re: 33 Todd Ridge Road
Titusville, NJ 08560

Dear Ms. Merfield:

The onlot wastewater treatment system for the above referenced property was inspected on September 12, 2008. The system was found to be in satisfactory condition with concerns. The concern is the property is vacant so the absorption area was not tested under normal hydraulic loading. Following is a summary of the findings.

Background Information:

The existing 5 bedroom dwelling was reportedly constructed approximately 10 years ago. Drawings of the septic system were obtained from the Hopewell Township Health Department and reviewed. The system was designed to include a 1,250 gallon septic tank, 1,250 gallon dosing tank and a mounded absorption area.

Visual Observations:

The attached onsite inspection form contains a site sketch of the location of the septic system components. The findings on site roughly resemble the proposed drawings obtained from the Health Department. The tanks and absorption area are located in the rear yard. We verified that the septic system is consistent with the Hopewell Township Health Department drawings.

The septic tank manhole covers were removed to inspect the integrity of the tanks. Tank access is at grade. We did not observe any sludge surfacing above the top of the tank or within the soil surrounding the top of the tank. The inlet and outlet baffles were found to be in satisfactory condition.

The liquid level in the septic tank was found to be at the invert of the outlet pipe. This is the proper liquid level and indicates the tank is functioning properly.

The floats, dosing pump and high liquid level alarm in the dosing tank were tested and found to be operating properly.

The plumbing fixtures in the house were operated to insure all of the fixtures discharge into the septic system.



ONSITE SYSTEM INSPECTION FORM

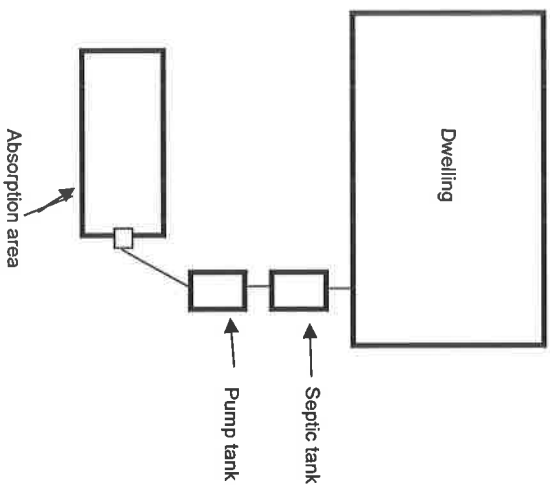
Inspection Overview

- Preliminary system information
 - Inspection of treatment tanks
 - Absorption system inspection
 - Disposal/conveyance system assessment
 - Identification of any alternative technology approved components
- Requires additional inspection

INTERNAL USE ONLY:

Client Name: <u>Alison Medfield</u>	Inspector Name: <u>Michael Gallagher</u>
Different from owner? (x) yes () no	Date: <u>September 12, 2008</u>
Client Address: _____ _____ _____	ISSDS Address (including municipality): <u>33 Todd Ridge</u> <u>Titusville, NJ 08560</u>
Contact Method: home tel. _____ work tel. _____ e-mail _____	New Jersey Coordinate: Block: <u>93.01</u> Lot <u>22</u>
Preliminary Information: Weather: <u>Sunny</u>	Was GPS used? () yes (X) no
Last Precipitation: <u>None in past 72 hours.</u>	Is there a site plan or septic map available? <u>Yes</u> (x) <u>No</u> ()
Age of system: <u>10</u>	Is the dwelling currently being occupied? () (x)
Type of dwelling? <u>(x) Residential</u> <u>5</u> Number of Bedrooms: () Non-residential Describe: _____ If no, date last occupied? <u>December 2007</u>	If there is a washing machine, is it connected to a separate gray water disposal system? () (x)
How many systems are being inspected? <u>1</u>	Is the dwelling free of additional gray water systems? (x) ()
List any commercial activities or high impact hobbies: <u>None reported.</u>	Is the dwelling free of garbage disposal system? (x) ()
Describe prior problems and/or repair history including soil fracturing or use of chemical additives. Include dates and explain why the remedial measures have been applied to the system (if available): <u>None reported.</u>	Is the dwelling free of sump pump discharges to the system? (x) ()
Date file review requested with administrative authority: <u>September 11, 2008</u>	Is the dwelling free of any historical sewage back ups into the structure? (x) ()
	Does all sewage enter the septic system and no type of sewage bypass exists? (x) ()
	Septic Tank Pumping: Is the septic tank pumped regularly? () () Frequency: <u>unknown</u>
	Date of last pumping: <u>unknown</u>
	Was a file review completed prior to inspection? (x) () If no, explain why:
Comments: <u>Onlot wastewater treatment systems are designed for a useful life of 20 to 30 years. This system is reported to be 10 years old.</u>	

Sketch the approximate system location in this space provided:



Todd Ridge

Dosing or Pump Tank:
 Does the system contain a pump tank?
 Is the pump operating?
 Do the alarm(s) on the pump work?
 Is the pump elevated above the tank floor?
 Is the lid in satisfactory condition?
 Is the tank in satisfactory condition?
 Is the tank free of accumulated solids?

Yes	No	N/A
(x)	()	()
(x)	()	()
(x)	()	()
(x)	()	()
(x)	()	()
(x)	()	()
(x)	()	()

Summary:	Satisfactory	Satisfactory with Concerns	Unsatisfactory	Requires Additional Investigation	N/A
Condition of the treatment tank(s)	(x)	()	()	()	()
Condition of the conveyance and pump system(s)	(x)	()	()	()	()
Condition of the absorption area(s)	(x)	()	()	()	()
Condition of any accessory components	(x)	()	()	()	()

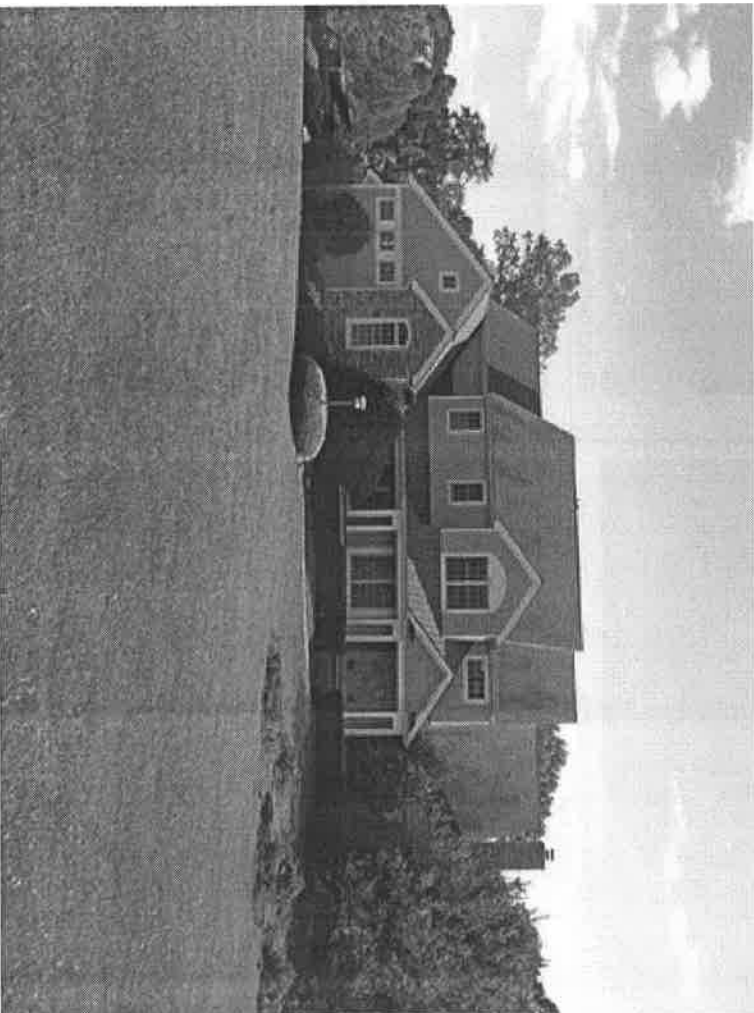
Comments: _____

Visual Home Inspection

33 Todd Ridge
Titusville, NJ 08560

Prepared for :

Alison Merfield



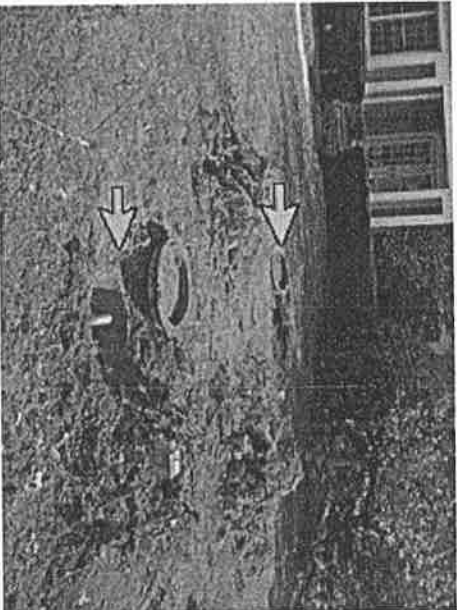
Inspected by :

Michael Gallagher
KJ Maci, Inc.

2883 East State Street Extension
Hamilton, New Jersey. 08619

Phone: (609) 890-9300 Fax: (609) 890-9388. Email: annhptp@yahoo.com

Property And Site



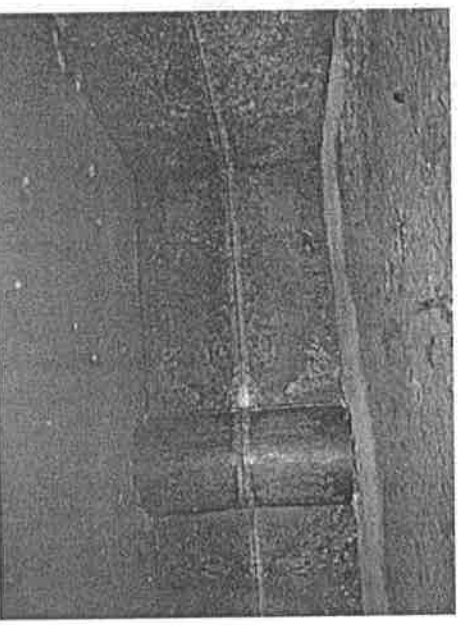
Septic tank and pump tank locations.



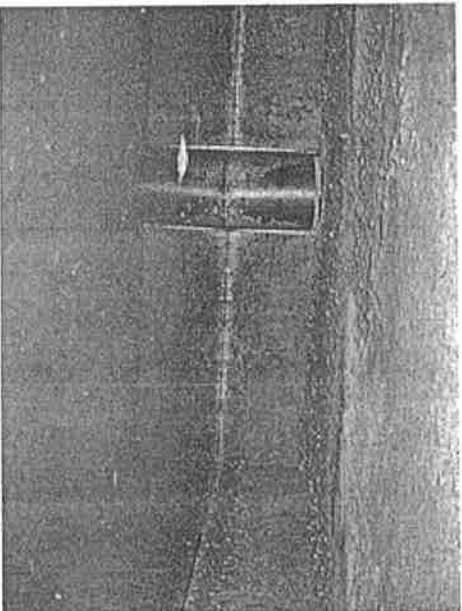
Pump tank access.



Septic tank access.



Outlet baffle.



Inlet baffle.



Absorption area.



Health Department Reporting:

Note if any of the following conditions were observed during the inspection:

- ☐ 1. Ponding or breakout of sewage or effluent onto the surface of the ground.
- ☐ 2. Seepage of sewage or effluent into portions of buildings below ground.
- ☐ 3. Backup of sewage into the building served which is not caused by a physical blockage of the internal plumbing.
- ☐ 4. Any manner of leakage observed from or into septic tanks, connecting pipes, distribution boxes and other components that are not designed to emit sewage or effluent.

Pursuant to N.J.A.C. 7:9A-3.4 notification of any observation that is consistent with a condition noted above should be reported to the local administrative authority within 24 hours of the observation. Regardless of observations made, a copy of this report should be provided to the local administrative authority within 10 days of the issuance of this report.

If encountered, describe all observed noncompliant conditions during this inspection:

Customer authorization:

I authorize "The Company" to enter the above listed property for the purpose of performing a sub-surface sewage disposal system inspection. I authorize "The Company" to expose parts of the system if required, to determine location and condition. I understand that "The Company" relies on information supplied by the owner(s) of the listed property of their agent and the local administrative authority in the evaluation of the sub-surface disposal system. I authorize "The Company" to provide this form to all parties as required.

Customer signature:

On File

Printed name: Alison Marfield

Inspector's signature:

Michael Gallagher

Printed name: Michael Gallagher

Disclaimer:

Based on today's observations and the information provided by the owner(s) of their agent, "The Company" submits this sub-surface sewage disposal system inspection form. The inspection is based on the current condition of the onsite sewage disposal system. "The Company" makes no representation that the system was designed, installed or meets N.J.A.C. 7:9A1.1 et seq.. "The Company" has not been retained to warrant, guarantee, or certify the proper functioning of the system for any period of time. Because of numerous factors inability of "The Company" to supervise or monitor the use and maintenance of the system, this form shall not be construed as a warranty expressed or implied, arising from the inspection of the septic system.

This form was developed as a cooperative effort of:

Pennsylvania/New Jersey Sewage Management Association;

Rutgers Cooperative Extension New Jersey Agricultural Experiment Station; and

The New Jersey Department of Environmental Protection Septic System Inspection Protocol Subcommittee



Treatment Tank:

Type of system being inspected?

(x) Septic tank () Cesspool () Other _____

() Gray water () Multi-compartment: # _____

Name the material of the system?

(x) Concrete () Block _____

() Steel () Other _____

Approximate Treatment Tank Volume: _____ gal.

Evaluate the conditions of tank below:

	Satisfactory	Unsatisfactory	N/A
Top and Lids	(x)	()	()
Inlet baffle	(x)	()	()
Outlet baffle	(x)	()	()
Cracks or Leaks	(x)	()	()
Sewage Flow from structure	(x)	()	()

Main tank lid opened for inspection?

Yes No

Liquid level below the tank's inlet invert?

(x) ()

Liquid level below the tank's outlet invert?

(x) ()

Treatment tank pumped for this inspection?

(x) ()

Are all portions of the tank(s) clear of structures like a deck or driveway?

Is the area clear of evidence that sewage has surfaces above the treatment tank?

(x) ()

Does water flow unimpeded from the treatment tank?

(x) ()

Is an effluent filter a part of the system?

() (x)

If yes, does it appear properly maintained?

() ()

Are there any other types of accessory units present?

() (x)

Depth to top of tank: 12 inches

Depth to top of tank access: Grade

Comments: _____

Absorption Area:

Name the type of the absorption system?

() disposal bed () disposal trench

() seepage pit (x) mounded

() cesspool () other _____

Was the absorption system located? (x) yes () no If no, explain below.

Are inspection ports present? () yes (x) no

If yes, how many? _____

Were the inspection ports checked? () yes* () no (x) N/A *All levels observed must be included in report.

Was a separate probe dug in the absorption area to confirm the observations in the inspection ports?

(x) yes () no () N/A

Is the area of the absorption system free of sewage odors?

(x) yes () no () N/A

Does sewage flow from the treatment tank to the absorption area without flowing back?

(x) yes () no () N/A

Is the area above or near any of the system components free from visible signs of effluent or sewage?

(x) yes () no () N/A

Are the areas at or near the inlet invert of any absorption area component free of visible signs of sewage or effluent?

(x) yes () no () N/A

Are areas above or near system components free of lush vegetation?

(x) yes () no () N/A

If exposed, is the distribution box in satisfactory condition?

() yes () no () N/A

If not exposed, explain why not: _____

Is the area directly over any part of the absorption system free of any evidence of, large objects (cars, pools, etc.)?

(x) yes () no

Comments:

The property has been vacant for 9 months. This limits the inspection findings as normal hydraulic loading of the system did not occur prior to the inspection. We cannot predict how the system will function when the property is occupied. Since, the system was not hydraulically loaded prior to the inspection it is important to review the history of any repairs or any past problems, if any, with the owner. Additionally, NJDEP recommends a two day hydraulic load test for all structures vacant more than 7 days; after the initial inspection is completed.

Re: 33 Todd Ridge Road
Titusville, NJ 08560

Observation holes were placed in the absorption area approximately 24" to 36" deep. No liquid was observed in the absorption area.

The tanks were pumped, inspected and found to be in satisfactory condition.

Onlot treatment systems are designed for a useful life of 20 to 30 years. This system is reported to be approximately 10 years old.

Discussion & Conclusion:

Based on the preliminary information provided and the field inspection, the onlot system was found to be in satisfactory condition.

The only concern is the system has been vacant for approximately 9 months. The system was not loaded under normal hydraulic loading prior to our inspection. Our inspection is performance based. Without normal hydraulic loading we cannot predict how the system will perform when the property is occupied. The NJDEP recommends two day hydraulic load testing for vacant properties or new systems.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Michael Gallagher
Pillar To Post

The report must describe in sufficient detail the basis for the decision that the septic system is in satisfactory condition, is not operating at its design capacity, is not satisfactory and or appears to be malfunctioning or is in need of repairs or alterations so as to be brought into conformance with the standards of N.J.A.C. 7:9A-3.4.

Additionally, the report must indicate or certify that the system as designed and or installed, complies with the provisions of N.J.A.C. 7:9A-3.3 "Existing Systems," with regards to use, expansion, or change in use.

If the application cites evidence of a malfunction, a plan to correct shall be provided to the Health Department.

Changes in Use or Tenancy:

Inspections shall be conducted and submitted each time a property is leased. Changes in use or of occupants must be noted in the report. Determination of wastewater generation for the proposed tenant must be provided and verified that it is within the design volume for the system. Inspection reports conducted within 6 months of the lease or sale may be used if more than one unit is included in the building and if all other design and occupancy conditions remain constant. Occupancy of units will not be allowed if malfunction system noted.

_____ To be completed by Health Department _____

Upon review of the information submitted to the Administrative Authority or its authorized representative, one of the following documents will be issued within five (5) business days of receipt of the completed application.

☒ Letter of review will be issued,

Septic system inspector certifies the satisfactory operation of the system per the ordinance.

_____ Notice issued that Additional information or data must be supplied

_____ Notice issued that the report, or its methods or conclusions, are rejected.

_____ Notice issued that the Letter of review will not be issued because, the System is not in compliance and that the system is in need of repair or replacement.

Application incomplete and returned _____ By _____

Temporary approval granted on _____ By _____
pending submittal of the following:

_____ A copy of the sales agreement to be provided. Specifically it should specify who is responsible for this work and when it is to be completed. Funding issues should be noted. Remediation does not need to occur before closing, as long as provided for in contract.

_____ Engineering certification for the alteration/repair provide

_____ Other _____

This must be completed within 30 days of temporary approval

Letter of Review issued on 9-25-08 To Murder / hegel

By [Signature] Title HE

Violation: Any person or persons, firm or corporation violating any of the provisions of this ordinance upon conviction thereof, pay penalty Of not less than \$200.00 for each offense and an additional penalty of \$25.00 for each day of continuance of the violation of the notice of the violation shall have been given to such person or persons, firm Or corporation by the Administrative Authority, to be collected and enforced by summary proceedings for the collection of penalties pursuant to the New Jersey Penalty Enforcement Law. Such notice shall be given by (1) serving a copy thereof on the property owner as shown on the current tax map OR his agent in charge of the property, a (2) mailing a copy thereof by certified mail to the property owner at his address as shown on the said tax map.

Health Department Reporting:

Note if any of the following conditions were observed during the inspection:

- ☐ 1. Ponding or breakout of sewage or effluent onto the surface of the ground.
- ☐ 2. Seepage of sewage or effluent into portions of buildings below ground.
- ☐ 3. Backup of sewage into the building served which is not caused by a physical blockage of the internal plumbing.
- ☐ 4. Any manner of leakage observed from or into septic tanks, connecting pipes, distribution boxes and other components that are not designed to emit sewage or effluent.

Pursuant to N.J.A.C. 7:9A-3.4 notification of any observation that is consistent with a condition noted above should be reported to the local administrative authority within 24 hours of the observation. Regardless of observations made, a copy of this report should be provided to the local administrative authority within 10 days of the issuance of this report.

If encountered, describe all observed noncompliant conditions during this inspection:

Customer authorization:

I authorize "The Company" to enter the above listed property for the purpose of performing a sub-surface sewage disposal system inspection. I authorize "The Company" to expose parts of the system if required, to determine location and condition. I understand that "The Company" relies on information supplied by the owner(s) of the listed property of their agent and the local administrative authority in the evaluation of the sub-surface disposal system. I authorize "The Company" to provide this form to all parties as required.

Customer signature: _____

Printed name: Phil Robbins

Inspector's signature: _____

Printed name: Michael Gallagher

Disclaimer:

Based on today's observations and the information provided by the owner(s) of their agent, "The Company" submits this sub-surface sewage disposal system inspection form. The inspection is based on the current condition of the onsite sewage disposal system. "The Company" makes no representation that the system was designed, installed or meets N.J.A.C. 7:9A.1, 1 et seq. "The Company" has not been retained to warrant, guarantee, or certify the proper functioning of the system for any period of time. Because of numerous factors inability of "The Company" to supervise or monitor the use and maintenance of the system, this form shall not be construed as a warranty expressed or implied, arising from the inspection of the septic system.

This form was developed as a cooperative effort of:

Pennsylvania/New Jersey Sewage Management Association,

Rutgers Cooperative Extension New Jersey Agricultural Experiment Station; and

The New Jersey Department of Environmental Protection Septic System Inspection Protocol Subcommittee

Treatment Tank:

Type of system being inspected?

(x) Septic tank ☐ Cesspool ☐ Other _____

☐ Gray water ☐ Multi-compartment # _____

Name the material of the system?

(x) Concrete ☐ Block _____

☐ Steel ☐ Other _____

Approximate Treatment Tank Volume: 1,250 gal.

Evaluate the conditions of tank below:

	Satisfactory	Unsatisfactory	N/A
Top and Lids	☐	☒	☐
Inlet baffle	☒	☐	☐
Outlet baffle	☒	☐	☐
Cracks or Leaks	☒	☐	☐
Sewage Flow from structure	☒	☐	☐

Main tank lid opened for inspection?

Yes (x) No 0

Liquid level below the tank's inlet invert?

(x) 0

Liquid level below the tank's outlet invert?

(x) 0

Treatment tank pumped for this inspection?

(x) 0

Are all portions of the tank(s) clear of

structures like a deck or driveway?

(x) 0

Is the area clear of evidence that sewage has

surfaces above the treatment tank?

(x) 0

Does water flow unimpeded from the

treatment tank?

(x) 0

Is an effluent filter a part of the system?

0 (x)

If yes, does it appear properly maintained?

0 0

Are there any other types of accessory units

present? 0 (x)

Depth to top of tank: 12 inches

Depth to top of tank access: Grade

Comments: _____

Absorption Area:

Name the type of the absorption system?

☐ disposal bed ☐ disposal trench

☐ seepage pit ☒ mounded _____

☐ cesspool ☐ other _____

Was the absorption system located? (x) yes 0 no If no, explain below.

Are inspection ports present? 0 yes (x) no

If yes, how many? _____

Were the inspection ports checked? 0 yes* 0 no (x) N/A *All levels observed must be included in report.

Was a separate probe dug in the absorption area to confirm the observations in the inspection ports? (x) yes 0 no 0 N/A

Is the area of the absorption system free of sewage odors?

(x) yes 0 no

Does sewage flow from the treatment tank to the absorption area without flowing back?

(x) yes 0 no 0 N/A

Is the area above or near any of the system components free from visible signs of effluent or sewage?

(x) yes 0 no

Are the areas at or near the inlet invert of any absorption area component free of visible signs of sewage or effluent?

(x) yes 0 no

Are areas above or near system components free of lush vegetation?

(x) yes 0 no

If exposed, is the distribution box in satisfactory condition?

(x) yes 0 no 0 N/A

If not exposed, explain why not: _____

Is the area directly over any part of the absorption system free of any evidence of, large objects (cars, pools, etc.)? (x) yes 0 no

Comments:

The property has been vacant. This limits the inspection findings as normal hydraulic loading was of the system did not occur prior to the inspection. We can predict how the system will function when the property is occupied. Since the system was not hydraulically loaded prior to the inspection it is important to review the history of any repairs or any problems, if any with the owner. Additionally, the NUDER recommends a two day hydraulic load test for all properties vacant for more than 7 days.

predict how the system will perform when the property is occupied. The NJDEP recommends two day hydraulic load test for vacant properties.

If you have any questions or comments, feel free to contact me at (609) 890-9300.

Regards,


Michael Gallagher