

CITY OF VINELAND
Vineland, New Jersey 08360
Phone: 609-794-4114
Fax: 609-794-4328



CONSTRUCTION PERMIT APPLICATION

Applicant Complete: Sections I, II, III, IV, V(a), V(b) - (Optional VI)

BLOCK 1119 LOT 13 ADDRESS (SITE) 18 Buick Lane PERMIT NO. 098-1119/13 02/14/18

I. IDENTIFICATION
1. Proposed Work-Site at: 18 Buick Ave
2. Name of Owner in Fee: Joffe's Lumber Supply Co Inc
Address 18 NE Cor Buick Ave & S.W. Blvd Vineland NJ 08360
PO. Box 300
street municipality zip code
3. Ownership in Fee: Public
Principal Contractor: Riggin's Inc
Address 8938 S. MAIN RD Vineland NJ 08360
Telephone No. 609 825-9550
4. Principal Contractor: Riggin's Inc
Address 8938 S. MAIN RD Vineland NJ 08360
Telephone No. 609 825 7600
License No. or, if new home, Builder's Reg. No. 0009869
Exp. Date 10/31/01
Federal Emp. No. [REDACTED]
Social Security No. [REDACTED]
5. Architect or Engineer: [REDACTED]
Address [REDACTED]
Telephone No. [REDACTED]
6. Responsible Person in Charge of Work: Richard E. Cummings Jr
Address 8938 S. MAIN RD Vineland NJ 08360
Telephone No. 609 825 7600
Fax No. 609 825 2270

II. PROPOSED WORK
1. ☐ Small Job (\$5,000 and no prior approvals)
2. ☐ New Building
3. ☐ Addition
4. ☐ Alteration
5. ☐ Electrical
6. ☐ Plumbing
7. ☐ Fire Protection
8. ☐ Elevator Devices
9. ☐ Asbestos Abatement
10. ☐ Lead Hazard Abatement
11. ☒ Demolition
TOTAL COSTS
Est. Cost 11,600
11,600

VI. DESCRIPTION OF BUILDING USE
A. RESIDENTIAL
1. ☐ Hotels (R-1)
2. ☐ Multi-Family (R-2)
3. ☐ Two-Family (R-3) BOCA
4. ☐ Two-Family (R-4) CABO
5. ☐ One-Family (R-3) BOCA
6. ☐ One-Family (R-4) CABO
Housing Units Gained
Housing Units Lost
Sale Rent
Sale Rent

III. DO YOU WANT: (optional)
1. ☐ Partial Releases
2. ☐ Prototype Processing
VII. NON-RESIDENTIAL
☐ Theatres with Stage (A-1-A)
☐ Movie Theatres (A-1-B)
☐ Night Clubs (A-2)
☐ Restaurants, Libraries, Museums (A-3)
☐ Religious Assembly (A-4)
☐ Outdoor Assembly (A-5)
☐ Business (B)
☐ Educational (E)
☐ Moderate-Hazard Factory (F-1)
☐ Low-Hazard Factory (F-2)
☐ High-Hazard (H)
☐ Institutional Detention Center (I-1)
☐ Hospitals, Infirmarys (I-2)
☒ Temporary, Misc. (U)
☐ Other

State Specific Use:
Change in Use Group, Indicate Former:
☐ Group Homes (I-3)
☐ Mercantile (M)
☐ Moderate-Hazard Warehouse (S-1)
☐ Low-Hazard Warehouse (S-2)
☒ Temporary, Misc. (U)
☐ Other

VI. BUILDING/SITE CHARACTERISTICS
Office Use Only
1. Number of Stories
2. Height of Structure sq. ft.
3. Area — Largest Floor sq. ft.
4. Building Area — All Floors sq. ft.
5. Volume of Structure cu. ft.
6. Construction Classification
7. Total Land Area Disturbed sq. ft.
8. Flood Hazard Zone sq. ft.
9. Base Flood Elevation ft.
10. Wetlands — Yes sq. ft.
No
11. Fire Grading
12. Maximum Live Load
13. Maximum Occupancy Load

V(a). TYPE OF SEWAGE DISPOSAL
☐ Public or Private Company
☐ Private (Septic Tank, Etc.)
V(b). TYPE OF WATER SUPPLY
☐ Public or Private Company
☐ Private (Well, Etc.)

V. HEATING FUEL
Principal Secondary
Type:
☐ Gas
☐ Oil
☐ Electric
☐ Solid (Wood, Coal, Etc.)
☐ Propane
☐ Solar
☐ Other

IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?
1. ☐ Elevators, Escalators, Lifts, Dumbwaiters, Moving Walks
2. ☐ High Pressure Boilers
3. ☐ Pressure Vessels
4. ☐ Refrigeration Systems
5. ☐ Cross-Connections, Backflow Preventers
6. ☐ Hazardous Uses, Places of Assembly
7. ☐ Sprinklers
8. ☐ Smoke Control Systems in Open Walls
9. ☐ Underground Storage Tanks

CITY OF VINELAND
Vineland, New Jersey 08360
Phone: 609-794-4114



**BUILDING
SUBCODE
TECHNICAL SECTION**

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 119 Lot 1
Work Site Location 1000 S. 1st St. Vineland, NJ 08360
Owner in Fee 1000 S. 1st St. Vineland, NJ 08360
Address 1000 S. 1st St. Vineland, NJ 08360
Contractor 1000 S. 1st St. Vineland, NJ 08360
Address 1000 S. 1st St. Vineland, NJ 08360
Tel. (609) 525-5550
Lic. No. or Bids. Reg. No. 0007867
Tel. (609) 525-5550
Fax (609) 525-2270
Federal Emp. No. 0007867

JOB SUMMARY (Office Use Only)

PLAN REVIEW [] No Plans Required [] All [] Footing [] Foundation [] Frame [] Other []
Joint Plan Review Required: [] Elec. [] Plumb. [] Fire [] Elevator []
SUBCODE APPROVAL [] CO [] CC [] CA []
Date: 10/7/98
Approved by: [Signature]

INSPECTIONS	Date	Initial	Type:
Foundation			Failure
Slab			Failure
Frame			Failure
Barrier-Free			Failure
Insulation			Failure
Finishes			Failure
Energy			Failure
Mechanical			Failure
TCO			Failure
Other			Failure
Final			Failure
Barrier-Free			Failure

B. BUILDING CHARACTERISTICS

Use Group Present Proposed
Constr. Class Present Proposed
No. of Stories 1
Height of Structure 11.600 Ft.
Area — Largest Floor 11.600 Sq. Ft.
New Bldg. Area/All Floors 11.600 Sq. Ft.
Volume of New Structure 11.600 Cu. Ft.
Total Land Area Disturbed 11.600 Sq. Ft.

Est. Cost of Bldg. Work:

1. New Bldg. \$ 11,600
2. Alteration \$ 11,600
3. Total (1+2) \$ 23,200



Date Received 9-28-98
Date Issued 9-28-98
Control # 98-1418
Permit # 98-1418

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and/am authorized to make this application.

Signature [Signature]

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK
2- 10,000 GAL DIESEL TANKS
1- 500 GAL PAINT TANK
1- 1,000 GAL GASOLINE TANK

TYPE OF WORK:

[] New Building
[] Addition
[] Alteration

[] Roofing
[] Siding
[] Fence
[] Sign
[] Pool
[] Asbestos Abatement Subchapter 8
[] Lead Haz. Abatement NJAC 5:17
[] Other
[] Demolition

Height (exceeds 6')
Sq. Ft.

Administrative Surcharge \$
Minimum Fee \$
DCA Training Fee \$
TOTAL FEE \$

1 White = Inspector Copy
2 Canary = Office Copy
3 Pink = Office Copy
4 Gold = Applicant Copy

Vineland Fire Departmen

(L & I) Incidents by Street Address

Street Name = "BURNS" and
Address Number = "18" and Street Type = "AVE "
and Street Prefix = " "

Incident-Exp#	Alm Date	Alm Time	Lot/Apt,Suite Etc.	Incident Type
00-00001151-000	07/31/2000	14:02:00	715	Local alarm system, malicious false alarm
00-00001161-000	08/02/2000	08:08:00	131	Passenger vehicle fire
02-0000422-000	03/16/2002	04:31:00	731	Sprinkler activation due to malfunction
02-0000782-000	05/14/2002	07:26:00	735	Alarm system sounded due to malfunction
02-00001552-000	09/13/2002	14:07:00	745	Alarm system activation, no fire - uninte
03-00000081-000	01/16/2003	08:04:00	745	Alarm system activation, no fire - uninte
03-0000296-000	02/24/2003	10:16:00	735	Alarm system sounded due to malfunction
03-0000368-000	03/08/2003	11:05:00	741	Sprinkler activation, no fire - unintenti
03-0000369-000	03/08/2003	12:32:00	741	Sprinkler activation, no fire - unintenti
03-0000533-000	04/07/2003	14:08:00	745	Alarm system activation, no fire - uninte
03-00001413-000	09/11/2003	14:19:00	735	Alarm system sounded due to malfunction
03-00001443-000	09/17/2003	08:59:00	735	Alarm system sounded due to malfunction
03-00001738-000	10/27/2003	09:53:00	741C	Sprinkler activation, no fire - CONTRACT
04-00000144-000	01/27/2004	11:14:00	741	Sprinkler activation, no fire - unintenti
04-00001551-000	10/26/2004	14:23:00	735	Alarm system sounded due to malfunction
04-00001703-000	11/21/2004	12:56:00	444	Power line down
04-00001768-000	12/02/2004	07:27:00	651	Smoke scare, odor of smoke
05-0000066-000	01/17/2005	09:19:00	735	Alarm system sounded due to malfunction
05-00000158-000	01/30/2005	17:29:00	735	Alarm system sounded due to malfunction
05-00000875-000	06/22/2005	15:15:35	745C	Alarm system sounded, NO FIRE CONTRACTOR
05-00000965-000	07/05/2005	14:47:00	735	Alarm system sounded due to malfunction
05-00001562-000	10/18/2005	13:59:18	745	Alarm system activation, no fire - uninte
06-00000169-000	02/07/2006	15:24:50	745	Alarm system activation, no fire - uninte
06-00000480-000	04/15/2006	14:55:00	745C	Alarm system sounded, NO FIRE CONTRACTOR
06-00001132-000	08/22/2006	23:48:00	735	Alarm system sounded due to malfunction
06-00001304-000	09/19/2006	12:49:00	745C	Alarm system sounded, NO FIRE CONTRACTOR
07-00001790-000	12/19/2007	18:11:17	111	Building fire
08-00000583-000	05/07/2008	10:59:45	Joffe Lumber	745 Alarm system activation, no fire - uninte
08-00001088-000	08/25/2008	10:49:31		744 Detector activation, no fire - unintention
09-0000325-000	03/06/2009	08:13:16	Tool Room	731 Sprinkler activation due to malfunction
09-00001490-000	10/17/2009	10:06:35		741 Sprinkler activation, no fire - unintenti
10-00000804-000	06/08/2010	08:55:11		741 Sprinkler activation, no fire - unintenti
10-00001816-000	12/08/2010	14:24:03		735 Alarm system sounded due to malfunction
11-00000198-000	02/12/2011	13:23:52		142 Brush or brush-and-grass mixture fire
11-00000536-000	04/22/2011	10:05:37		731 Sprinkler activation due to malfunction
12-00000219-000	02/20/2012	14:08:10		732 Extinguishing system activation due to ma
12-00000492-000	04/13/2012	20:36:43		622 No Incident found on arrival at dispatch
14-00000084-000	01/10/2014	23:12:57	Bin #2	732 Extinguishing system activation due to ma
14-00000305-000	02/28/2014	18:12:10		732 Extinguishing system activation due to ma
14-00001085-000	08/10/2014	09:48:14		735 Alarm system sounded due to malfunction

Vineland Fire Departmen

(L & I) Incidents by Street Address

Street Name = "BURNS" and
Address Number = "18" and Street Type = "AVE "
and Street Prefix = " "

Incident-Exp#	Alm Date	Alm Time	Lot/Apt,Suite Etc.	Incident Type
15-0000059-000	01/12/2015	18:58:47	731 Sprinkler activation due to malfunction	
19-0000669-000	05/15/2019	14:15:34	FINISH BUILDING 741 Sprinkler activation, no fire - unintentional	
19-0001403-000	09/25/2019	14:02:29	735 Alarm system sounded due to malfunction	
19-0001475-000	10/09/2019	20:18:29	FINISH BUILDING 731 Sprinkler activation due to malfunction	

Total Incident Count 44

Vineland Fire Departmen

(L & I) Incidents by Street Address

Block = "7110" and Lot = 39

Incident-Exp#	Alm Date	Alm Time	Lot/Apt,Suite Etc.	Incident Type
07-0001790-000	12/19/2007	18:11:17		111 Building fire
08-0000583-000	05/07/2008	10:59:45	Joffe Lumber	745 Alarm system activation, no fire - uninte
08-0001088-000	08/25/2008	10:49:31		744 Detector activation, no fire - unintention
09-0001490-000	10/17/2009	10:06:35		741 Sprinkler activation, no fire - unintenti
10-0000804-000	06/08/2010	08:55:11		741 Sprinkler activation, no fire - unintenti
10-0001816-000	12/08/2010	14:24:03		735 Alarm system sounded due to malfunction
11-0000536-000	04/22/2011	10:05:37		731 Sprinkler activation due to malfunction
12-0000219-000	02/20/2012	14:08:10		732 Extinguishing system activation due to ma
14-0000084-000	01/10/2014	23:12:57	Bin #2	732 Extinguishing system activation due to ma
14-0000305-000	02/28/2014	18:12:10		732 Extinguishing system activation due to ma
14-0001085-000	08/10/2014	09:48:14		735 Alarm system sounded due to malfunction
19-0000669-000	05/15/2019	14:15:34	FINISH BUILDING	741 Sprinkler activation, no fire - unintenti
19-0001403-000	09/25/2019	14:02:29		735 Alarm system sounded due to malfunction
19-0001475-000	10/09/2019	20:18:29	FINISH BUILDING	731 Sprinkler activation due to malfunction

Total Incident Count 14



State of New Jersey
Department of Environmental Protection and Energy
Division of Responsible Party Site Remediation

CN 028
Trenton, NJ 08625-0028
Tel. # 609-633-7141
Fax. # 609-777-4285

Date 2/21/95

BUREAU OF APPLICABILITY AND COMPLIANCE

NON-NOTIFIERS' REPORTING FORM

Facility Name

Joffe Lumber

Facility Address

13 Burns Ave.

(Number and Street)

Vineland, NJ 08360

Block 1119 Lot 13

County

Cumberland

(City, State, Zip)

Owner

Joffe Lumber and Supply Co., Inc.

(Name)

P.O. Box #13 Burns Ave.

(Number and Street)

Vineland, NJ 08360

Date Mailed

(City, State, Zip)

Contact Person

Jeannie Garbarino

Vineland Health Dept.

(Affiliation)

Telephone

(609) 794-4131

Comments:

Facility has an U.G.S.T. that was used
for gasoline at one time. The tank was
not removed to our knowledge.

Submitted by J. Barbano

Please mail or FAX to the attention of
CINDI SCHROEDER, BAC

CHECKLIST FOR COMPLIANCE WITH UST MANAGEMENT REQUIREMENTS

INSPECTOR Jeanne Garbarino DATE 6-16-92
 AGENCY Vineyard Health Dept. PHONE # 794-4131

Many of the items on this checklist are not required to be at the facility at this time. However, if any of the items are available at the facility, it should be noted on the checklist and they should be examined as required by the checklist. Use the attached guidelines to determine what is required at UST facilities.

FACILITY NAME Soffe Lumber UST# 0041465

STREET ADDRESS 18 Burns Ave.

Vineyard, NJ 08360

FACILITY CONTACT Joe Morgan / Asst. Plant Manager

(Y or N)

Required Present

A. Recordkeeping

1. Facility has inventory records. Y
2. Facility has registered its tanks. Y
3. Registration Certificate is displayed or available for inspection. Y
4. Verify number of tanks. * N
5. Facility has release response plan. Y
6. Facility has financial responsibility assurance. Y

B. Release Detection Monitoring System

1. Facility has monitoring system for tanks and piping. Verify that monitoring system, if present, is working and that no release is indicated. * N
2. Monitoring points are properly marked and secured. Y
3. Facility has a written monitoring procedure. Y

C. Corrosion Protection

1. Tank and/or piping is bare or coated steel only * not protected. Y
2. Tank and/or piping is made of non-corrodible materials. N
3. Tank and/or piping is cathodically protected. Verify that impressed current type systems are operating. Sacrificial anode systems should be checked if testing equipment and access is available. * N
4. Tank is made of steel coated with fiberglass. N

D. Spill and Overflow Protection

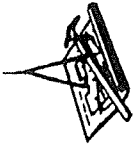
1. Facility has spill catchment basins around each fill pipe. Y
2. Facility has overflow protection devices on each tank. N

COMMENTS

2 - 5,000 gal U.C.S.T. used for diesel fuel
1 - 1,000 gal U.C.S.T. used for paints thinner
* 1 - 1,000 gal U.C.S.T. used regular gas

*Explain in Comments section

USTMGT-1. 1/89



IRICK ENGINEERING

Civil - Planner - Consultant

856-794-2800

1068 E. Landis Avenue, Vineland NJ 08360

Fax 856-794-8855

David P. Stewart, Principal Environmental Specialist
State of New Jersey Department of Environmental Protection
Water Compliance & Enforcement
Southern Regional Office
2 Riverside Drive, Suite 201
Camden, NJ 08103-0137

July 15, 2004

Re: Compliance Evaluation & Assistance Inspection
Joffe Lumber & Supply Company - Stormwater Discharge
NJPDES No. NJG0143901/PI ID#195353
Vineland, Cumberland County

1118 - 13

Dear Mr. Stewart,

This letter will confirm that your June 30, 2004 letter to Mr. Joe Morgan of Joffe Lumber has been given to me for response with regard to your questions concerning the septic system.

I am the Design Engineer of the septic system and I inspected the system at the Joffe Lumber site.

I observed that some soil erosion had occurred in the area of septic breakout placing the pressure lines closer to the surface than desired. I have instructed Mr. Joe Morgan to place topsoil over the bed in the area of concern. I view this to be a maintenance problem, not a failure, and therefore did not notice the local Department of Health

Further, the installer and myself will be reviewing the entire septic system operation to determine if additional action is required.

Because you have specifically requested the Department of Health to be noticed, I am sending them a copy of this letter for information, not because I believe the system is in failure. Thank you for your cooperation.

Very truly yours,


Jerome H. Irick
P.E., P.P., C.M.E.

cc Joe Morgan
Nick Marino
Henry Cresitelli
Gary Lugiano



IRICK ENGINEERING

Civil - Planner - Consultant

609-794-2800

1068 E. Landis Avenue, Vineland, NJ 08360
July 28, 1998

Fax 609-794-8855

Gary Lugiano
City of Vineland
Department of Health
640 E. Wood Street
Vineland, NJ 08360

Re: Joffe Lumber
18 Burns Avenue
Vineland
Block 1119, Lots 13 and 14
Block 1074, Lot 3
Our Job #97078



Dear Mr. Lugiano,

This letter is written to advise you that I inspected the pumps, alarms, pump tank alarm system and float settings on July 17, 1998 for the above referenced parcel. I observed the pumps, float settings and alarm system to be properly installed.

Further, I observed the existing systems to be abandoned and filled as described on my approved plans.

I observed the grades of the main sewer distribution and tie points of these new 6" sanitary lines to be generally as shown on our plans.

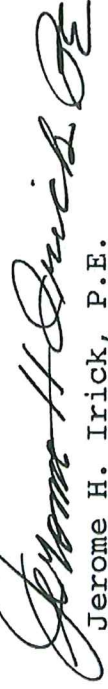
In order to locate the pump tank in an area more protected from traffic, the contractor relocated the pump tank to a new location as described on my attached sketch.

Prior to July 17, 1998, I inspected the compacted replacement fill and observed this fill to be clean, durable and properly compacted. Attached find tube permeameter test results which indicate this select fill to be K-4 material. Further, a percolation test was completed in the fill material and observed at 10 minutes per inch.

The lines in the field bed and finish grades of the field bed are proper.

Please accept this letter as my inspection and certification of the pressure dosing field bed installed at the above site.

Very truly yours,


Jerome H. Irick, P.E.

cc Joffe Lumber

TUBE PERMEAMETER TEST DATA

- Test Number 1 Replicate (Letter) — Date Collected 6-4-98
- Material Tested: Fill X
Native Soil-indicate depth SELECT FILL
- Type of Sample Undisturbed X Disturbed
- Sample Dimensions: Inside Radius of Sample Tube, R, in cm 3.65 cm
Length of Sample, L, in inches 4.5 in
- Bulk Density Determination (Disturbed Samples Only):
Sample Weight (Wt Tube Containing Sample-Wt of Empty Tube) grams
1326.5 gms - 470.0 gms = 856.5 gms
Sample Volume (L x 2.54 cm/inch x 3.14 R²), cc
4.5 in x 2.54 cm/in x 3.14 x 3.65² cm = 478.14 cc
Bulk Density (Sample Wt/Sample Vol.), grams/cc
856.5 gms ÷ 478.14 cc = 1.79 gms/cc x 62.43 = 111.83 lbs/ft³
- Standpipe Used: NO X YES
X Indicate Internal Radius, cm .625 cm
- Height of Water Level Above Rim of Basin, In inches:
At beginning of Each Test Interval, H₁ 41.5 in
At the End of Each Test Interval, H₂ 29.5 in
- Rate of Water Level Drop:
Time, Start of Test Interval, T₁
0
0
0
0
Time, End of Test Interval T₂
15 66 sec.
15 78 sec.
15 44 sec.
16 12 sec.
16 28 sec.
Length of Test Interval T, Minutes
.26 min.
.26 min.
.26 min.
.26 min.
.27 min.

- Calculation of permeability:
K, (in/hr) = $60 \text{ min/hr} \times r^2/R^2 \times L \text{ (in)}/T \text{ (min)} \times \ln(H_1/H_2)$
= $60 \text{ min/hr} \times .625^2 / 3.65^2 \times 4.5 / .26 \times \ln(41.5 / 29.5) = 10.39 \text{ in/hr}$
Material = 10.39 in/hr = K-4

- Defects in the Sample (✓ appropriate items)

☒ None ☐ Cracks ☐ Worn Channels
☐ Root Channels ☐ Soil/Tube Contact
☐ Large Gravel ☐ Large Roots
☐ Dry Soil ☐ Smearing ☐ Compaction
☐ Other Specify _____

- I HEREBY CERTIFY THAT THE INFORMATION FURNISHED ON FORM 3-B OF THIS APPLICATION IS TRUE AND ACCURATE. I AM AWARE THAT FALSIFICATION OF DATA IS A VIOLATION OF THE WATER POLLUTION CONTROL ACT (NJSA 58:10 A-1 et seq.) AND IS SUBJECT TO PENALTIES AS PRESCRIBED IN NJAC 7:14-8.

SIGNATURE OF SOIL EVALUATOR _____ DATE 6-5-98

SIGNATURE OF PROFESSIONAL ENGINEER James H. Buck, P.E. LICENSE # 26399

Re: Client Jo Fite / Crescentelli Block 1119 Lot 13 x 14
 Municipality CITY OF VINELAND County COMBESLAND 1074 3

97078

TUBE PERMEAMETER TEST DATA

- Test Number 1 Replicate (Letter) A Date Collected 6-4-98
- Material Tested: Fill X
Native Soil-indicate depth SELECT FILL
- Type of Sample Undisturbed X Disturbed
- Sample Dimensions: Inside Radius of Sample Tube, R, in cm 3.65 cm
Length of Sample, L, in inches 4.5 in
- Bulk Density Determination (Disturbed Samples Only):
Sample Weight (Wt Tube Containing Sample-Wt of Empty Tube) grams
1337.4 gms - 470.0 gms = 867.4 gms
Sample Volume (L x 2.54 cm/inch x 3.14 R²), cc
4.5 in x 2.54 cm/in x 3.14 x 3.65² cm = 478.14 cc
Bulk Density (Sample Wt/Sample Vol.), grams/cc
867.4 gms ÷ 478.14 cc = 1.8 gms/cc x 62.43 = 113.25 lbs/ft³
- Standpipe Used: NO X YES
X Indicate Internal Radius, cm .625 cm
- Height of Water Level Above Rim of Basin, In inches:
At beginning of Each Test Interval, H₁ 41.25 in
At the End of Each Test Interval, H₂ 29.25 in
- Rate of Water Level Drop:
Time, Start of Test Time, End of Test
Interval, T₁ Interval T₂ Length of Test
Interval T, Minutes
0 16.12 sec. 16.15 sec. .268 min.
0 16.18 sec. .269 min.
0 16.22 sec. .270 min.
0 16.17 sec. .269 min.

- Calculation of permeability:

$$K, (\text{in/hr}) = 60 \text{ min/hr} \times r^2/R^2 \times L (\text{in})/T (\text{min}) \times \ln (H_1/H_2) = 60 \text{ min/hr} \times 3.65^2 / 3.65^2 \times 4.5 / .270 \times \ln (41.25 / 29.25) = 10.07 \text{ in/hr}$$

$$\text{Material} = 10.07 \text{ in/hr} = K'4'$$

- Defects in the Sample (✓ appropriate items)

☐ None ☐ Cracks ☐ Worn Channels
☐ Root Channels ☐ Soil/Tube Contact
☐ Large Gravel ☐ Large Roots
☐ Dry Soil ☐ Smearing ☐ Compaction
☐ Other Specify _____

- I HEREBY CERTIFY THAT THE INFORMATION FURNISHED ON FORM 3-B OF THIS APPLICATION IS TRUE AND ACCURATE. I AM AWARE THAT FALSIFICATION OF DATA IS A VIOLATION OF THE WATER POLLUTION CONTROL ACT (NJSA 58:10 A-1 et seq.) AND IS SUBJECT TO PENALTIES AS PRESCRIBED IN NJAC 7:14-8.

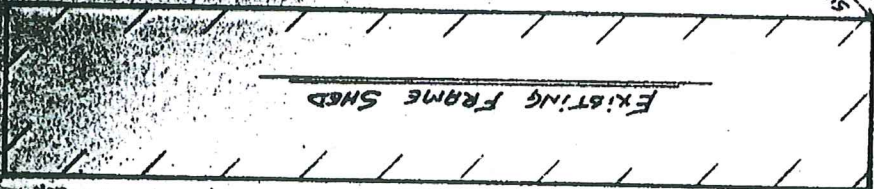
SIGNATURE OF SOIL EVALUATOR _____

DATE 6-5-98

SIGNATURE OF PROFESSIONAL ENGINEER Jerome H. Auch LICENSE # 16399

Re: Client JBFFZ / CRESCITELLI Block 1119 Lot 13 & 14
1074
 Municipality CITY OF UNDELAND County DUMBLELAND

99078



Deanne H. Bruch
7-17-98
26399

NEW 15' x 8' PUMP TANK G.W.

PROPOSED 40' x 54' DRAINAGE FIELD
w/ 5' PERIMETER FILL.
LATERAL IN. = (5511)

DWELL.

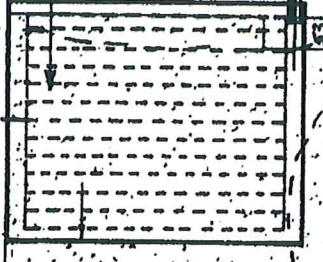
PROFILE
FIT #2
53.05

PROFILE
FIT #1
53.10

50' BUFFER

63'

12' BURE



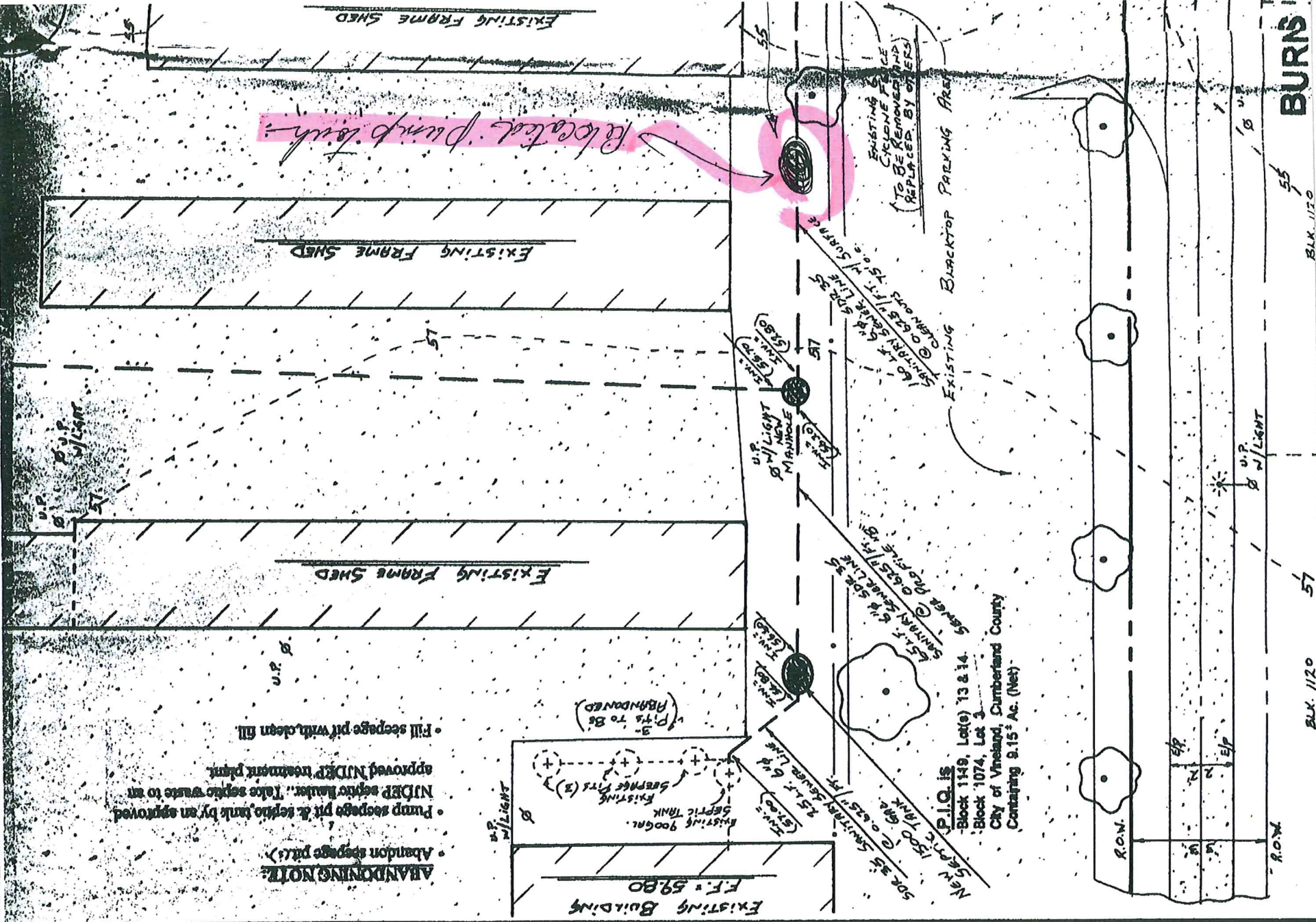
60' REMOVE EXISTING
BLACKTOP AREA

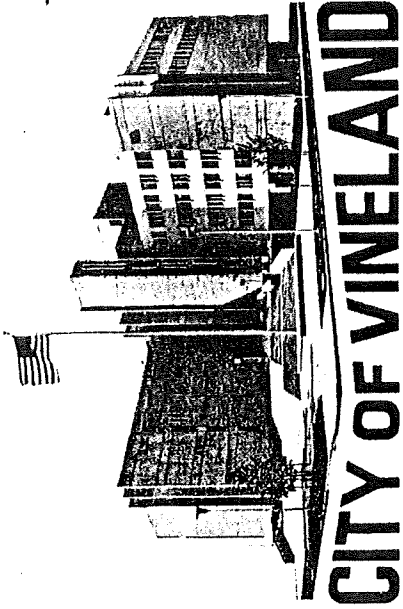
U.P.
& LIGHT

AVENUE

ABANDONING NOTE:

- Abandon seepage pits.
- Pump seepage pit & septic tank by an approved NJDEP septic hauler. Take septic waste to an approved NJDEP treatment plant.
- Fill seepage pit with clean fill.





DEPARTMENT OF HEALTH
EXT. 250 - 51

VINELAND, NEW JERSEY 08360 • TELEPHONE: (609) 691-3000

October 16, 1984

Joffe Lumber & Supply Co., Inc.
18 Burns Avenue
Vineland, NJ 08360

Attn: Sol Joffe

Re: 18 Burns Avenue
Block 1119 Lot 13

Dear Mr. Joffe:

As you are aware, this department conducted an inspection of the above mentioned premises on October 15, 1984 concerning the disposal of debris.

At this time, a large accumulation of lumber scraps, plastic and metal was observed on the surface of a filled area on the eastern side of the buildings. According to you, Joffe Lumber has been "filling in holes" along the side by pushing in the aforementioned materials and covering with dirt.

Please be advised that this act is in direct violation of N.J.A.C 7:26 - et seq. by operating a landfill without the required registration and permits. As we discussed, lumber scraps, plastic and metal are considered as solid waste and must be disposed of at an approved sanitary landfill only. According to our records, your company was informed of these regulations in April of this year by Patricia Simone of this department.

As a result of these findings, you are hereby directed to cease and desist the dumping and/or filling activities at Joffe Lumber Company. This means that no new lumber scraps, metal or plastic may be deposited on the ground surface nor may the existing debris be pushed in and covered in any manner. All debris existing on the ground surface must be removed from the premises to the approved sanitary landfill on South Mill Road by October 30, 1984. Please inform this department of the date and time the removal will take place before the operation begins.

Your prompt attention to this matter will be greatly appreciated. Please be forewarned that failure to comply with this directive will result in immediate legal action. The fines for such violations can be up to \$25,000 per day.

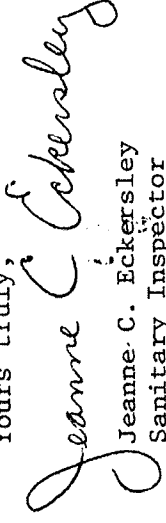
Should you have any questions regarding this matter, please contact this office.

CITY OF VINELAND

VINELAND, NEW JERSEY 08360

Joffe Lumber & Supply Co., Inc.
October 16, 1984
page 2

Yours truly,



Jeanne C. Eckersley
Sanitary Inspector

JCE/cr

cc: Charles Krauss, Supervisor
Southern Regional Office
Department of Environmental Protection
Division of Waste Management
RD #1, Rt. 70
Vincentown, NJ 08088

CITY OF VINELAND
Department of Health
Seventh & Wood Streets
Vineland, N. J. 08360
Phone: 691-3000 Ext. 252

Date 4/11/84

COMPLAINT: Illegal Land fill

LOCATION: Joffe Lumber, 18 Burns Ave., Block 1119 Lot 13 (75)
" " " 1074 " 3 (11)

OWNER OF PROPERTY _____ Address of Owner: _____

TENANT OF PROPERTY Craig Wolf 825-9550

COMPLAINT MADE BY: Al Miranda Address DEP

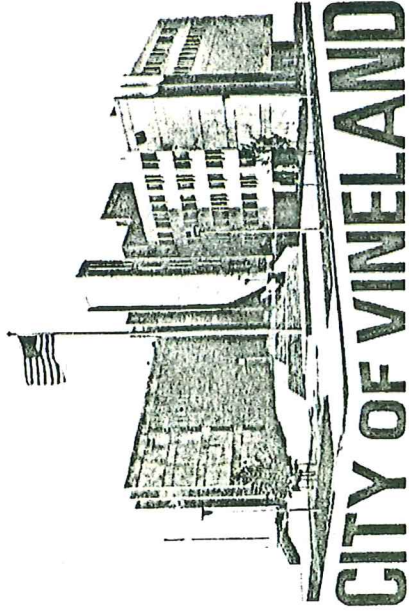
Date Inspected 4/11/84 A.M. Re-Inspected _____

INSPECTION REVEALS: Front of property facing Burns Ave. very badly littered. No reasonable access from Burns Ave. No access from Russell Ave. or Clayville street.
4/11/84 p.m. Drove past S. of corner of Burnside & Blvd. Large portion completely below water (surrounding woods & field also) Front porch: Spoke with Craig Wolf, Mgr., he showed me area where large furnace is being buried. He agreed to remove & dump & contact DEP for guidance & approval. Additional cone or dumpster will be placed at front of property for employee refuse 4/30/84 No change
4/18/84 Area in front is under control. Does not appear to be any more activity in this area.

RECOMMENDED: Letter 4/12/84

DISPOSITION: No further action this date. 4/30/84

P. J. Malone
Sanitary Inspector



DEPARTMENT OF HEALTH
EXT. 250 - 51 - 52

VINELAND, NEW JERSEY 08360 • TELEPHONE: (609) 691-3000

April 12, 1984

Joffe Lumber & Supply Co., Inc.
18 Burns Avenue
Vineland, NJ 08360

Attn: Craig Wolf

Re: Burns Avenue
Block 1119 Lot 13
Block 1074 Lot 3

Dear Mr. Wolf:

Please recall my inspection of the premises indicated above on April 11, 1984 and our subsequent discussion regarding the scattered trash and litter and on-site disposal of solid waste.

Thank you for your reassurance that immediate improvements will be made with regard to containing and keeping the premises free of trash and litter.

Also your cooperation in ceasing and desisting in disposing of wood and other production wastes at your facility is appreciated.

The disposal of solid waste is regulated by the Department of Environmental Protection, consequently, it is necessary for you to contact that department as follows:

Charles Krauss, Supervisor
Southern Regional Office
Department of Environmental Protection
Division of Waste Management
RD #1, Route 70
Vincentown, NJ 08088
Telephone Number: (609) 859-2958

A re-inspection for compliance will be made on April 19, 1984. You may contact me at this office with any questions you may have concerning this matter.

Yours truly,

P. S. Simone
Sanitary Inspector

PSS/cr

cc: TO C. Krauss, DEP.

CITY OF VINELAND

VINELAND, NEW JERSEY 08360

October 17, 1984

MEMORANDUM TO: Charles Krauss, Supervisor

FROM: Jeanne C. Eckersley, Sanitary Inspector
Vineland Health Dept.

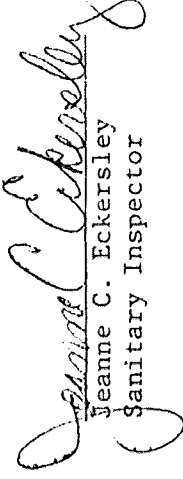
Re: Illegal landfilling operation
Joffe Lumber Company
18 Burns Avenue
Vineland, NJ 08360

Please be advised that Joffe Lumber Company is once again filling in lower portions of their property with debris of lumber scraps, plastic and metal. This same activity was observed in April of this year and subsequently halted by this department.

Enclosed please find a copy of our file on this matter. It is our understanding that Al Miranda of your office is familiar with this case. His review and assistance would be greatly appreciated.

JCE/cr

Enc.


Jeanne C. Eckersley
Sanitary Inspector

(for Inspections, Surveys, Audits, etc.)

[illegible]

* CPRS04
* CITY OF VINELAND
* DEPARTMENT OF HEALTH
* FINDINGS AND ACTION

7/13/98
11:02:16

REQUEST NO 98-06-29-162615 INSPECTION DATE .. 7/10/98
TAKEN BY GARY LUGIANO
REASON 3 ROUTINE RE-INSPECTION
ACTIVITY 1602 INSTALLATION INSPECTION
FINDINGS 3 SATISFACTORY
ACTION 1 NO CAUSE FOR ACTION
LOCATION 18 BURNS AVE
TENANT ONE
REGISTRATION NO .. ** NONE **
BLOCK ... 1119
LOT 13
QUAL
OWNER'S NAME JOFFE LUMBER & SUPPLY CO, INC NO OF VISITS ... 2
OWNER'S ADDRESS .. P O BOX K-18 BURNS AVE
VINELAND, N J 08360
REQUESTEE CRESCITELLI, HENRY: 609-805-4327
ADDRESS
ASSIGNED TO GARY LUGIANO DATE ASSIGNED .. 6/30/98
ASSIGNED BY MICHAEL ANNARILLI TIME ASSIGNED .. 8:37:11
***** M E S S A G E S *****
* SEPTIC FINAL (CRESCITELLI FOR JOFFE) 6/29
* ***** F I N D I N G S *****
* 6/25/98 REQUEST MADE. NOT READY. PUMPS NOT HOOKED UP. NO WAY 6/30
* TO CHECK FLOW INTO DISTRIBUTION LINES. REINSPECTION NEEDED.
* 7/10/98 FINAL INSPECTION MADE. DOSING TANK OK. EFFLUENT 7/10
* REACHING ALL LATERALS. FLOW REACHING VENT HOLE AT ENDS OF
* LATERALS. NO LEAKS OBSERVED.

DATE INSPECTED ... 7/10/98
NEXT INSPECTION .. _/_/_ DATE FINALED .. 7/10/98

* * * * *

CITY OF VINELAND
DEPARTMENT OF HEALTH
FINDINGS AND ACTION

* * * * *

CPRS04

* * * * *

6/11/98
10:10:33

* * * * *

REQUEST NO 98-06-10-142945
TAKEN BY GARY LUGIANO

INSPECTION DATE .. 6/11/98

REASON	5	REQUEST FOR SERVICE
ACTIVITY	1601	EXCAVATION INSPECTION
FINDINGS	3	SATISFACTORY
ACTION	1	NO CAUSE FOR ACTION

LOCATION	18 BURNS AVE	BLOCK ...	1119
TENANT ONE		LOT	13
		QUAL	

TENANT ONE **
REGISTRATION NO .. NONE

OWNER'S NAME JOFFE LUMBER & SUPPLY CO, INC NO OF VISITS ... 1
OWNER'S ADDRESS :: P O BOX K-18 BURNS AVE
VINELAND, N J 08360

REQUESTEE CRESCITELLI, HENRY
ADDRESS

ASSIGNED TO		GARY LUGIANO	DATE ASSIGNED	::	6/11/98
ASSIGNED BY		JEANNE C GARBARINO	TIME ASSIGNED	::	10:05:15

MESSAGES*****

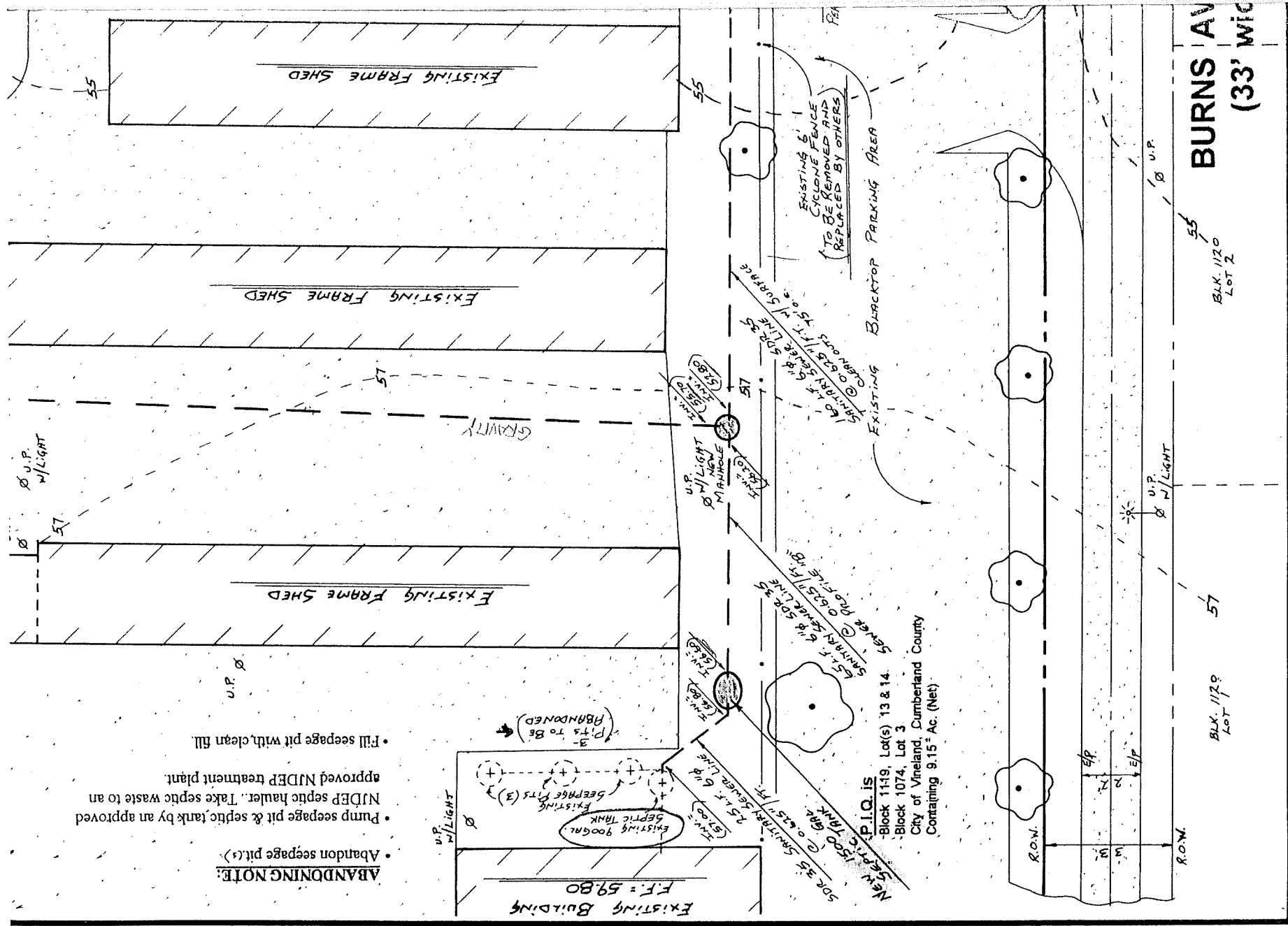
* * EXCAVATION INSPECTION (CRESCITELLI FOR JOFFE LUMBER) 6/10 *

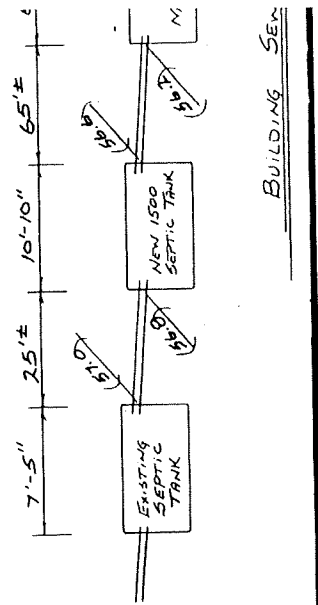
FINDINGS

6/4/98 EXCAVATION INSPECTION MADE. ALL MATERIAL REMOVED TO PROPER DEPTH.

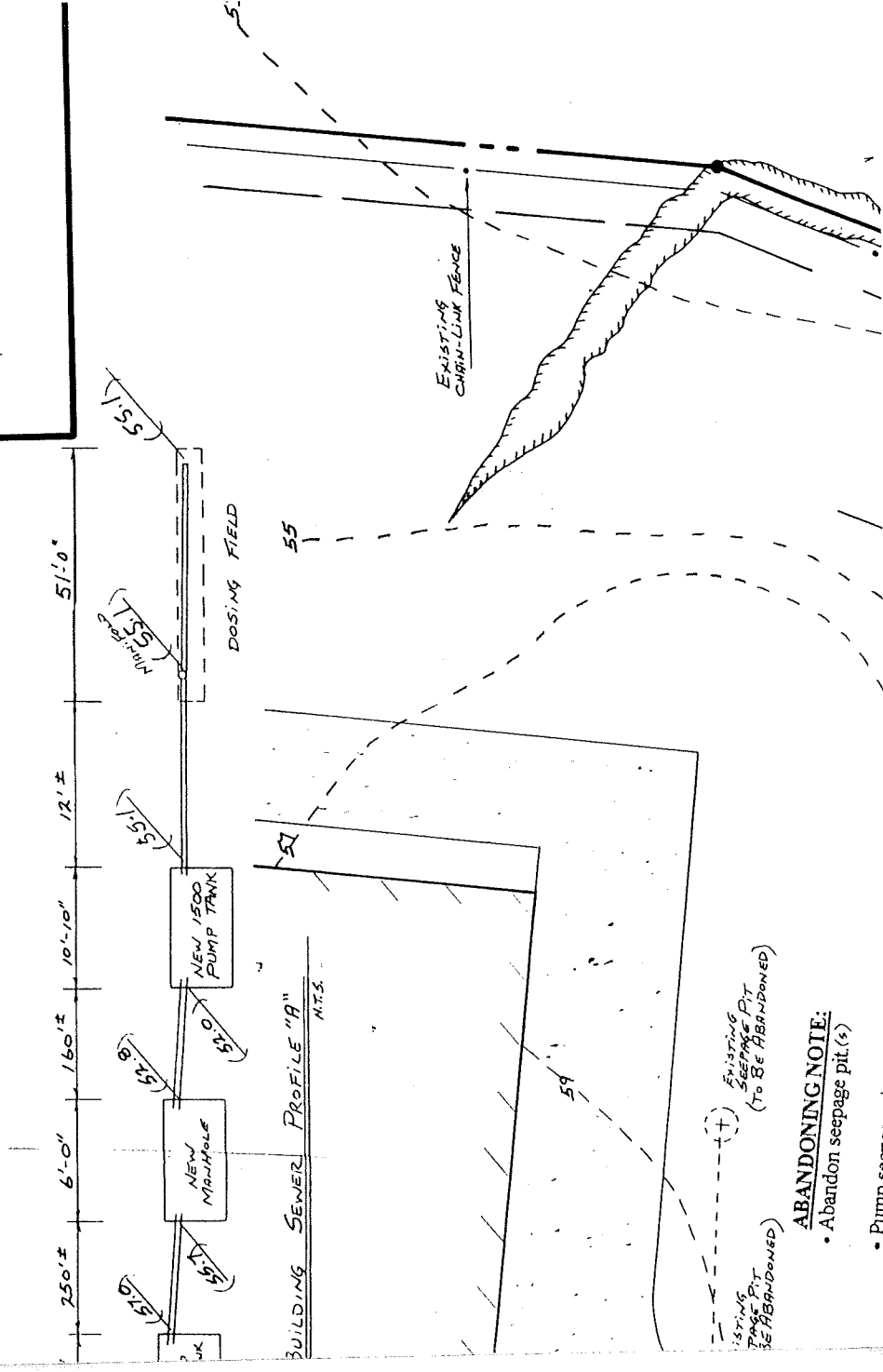
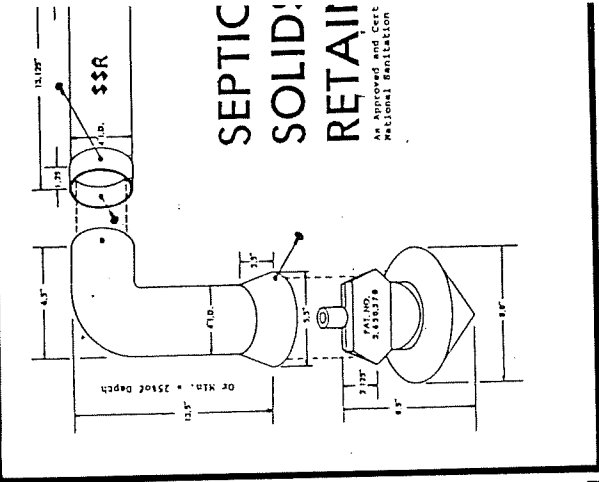
DATE INSPECTED ... 6/11/98

NEXT INSPECTION .. / / DATE FINALED .. 6/04/98





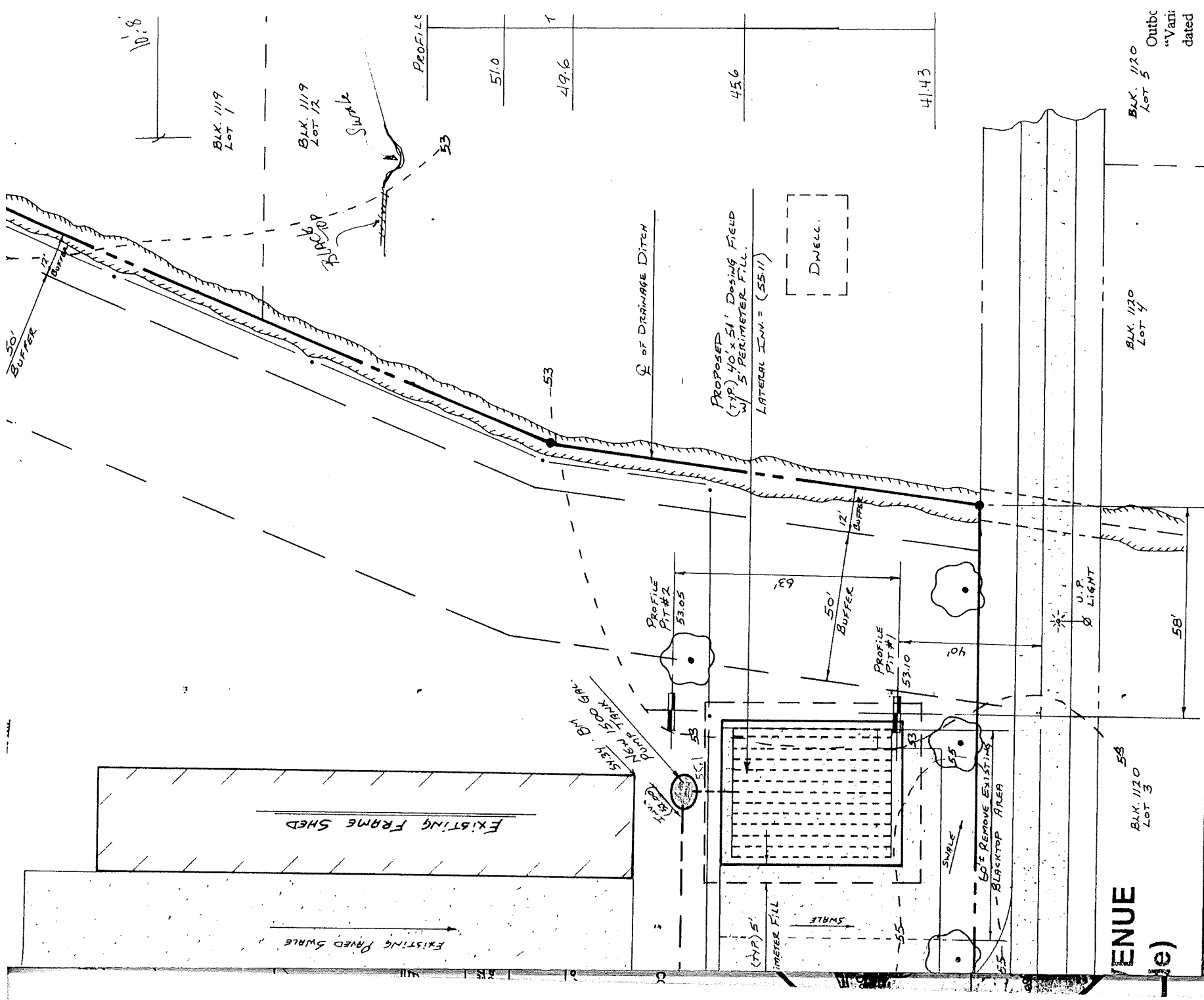
DUNTY, JNU

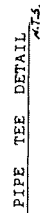
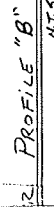


ABANDONING NOTE:
Abandoning

- Abandon seepage pit.(s)

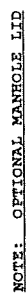
- Pump sound



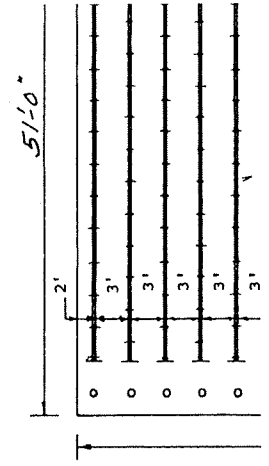


- Typical inspection port.
An inspection port shall be provided near the end of each lateral. Inspection ports shall consist of a perforated pipe with a removable cap extending from the level of infiltration to finish grade.

1. Holes to be spaced evenly
2. Holes in adjacent laterals shall be offset by 1/2 the hole spacing so that the distance between adjacent holes in



All manholes at a minimum shall be constructed of a minimum of 6 inches of finish grade by means of a watertight cover. Where manholes are installed in a finished grade, covers shall be bolted or welded to the manhole. When manholes are installed in a finished grade, they shall be of cast iron or steel. When manholes are not extended to the finished grade, they shall be constructed of precast reinforced concrete or other materials approved by a professional engineer and approved by the local health department. The location of the manhole shall be marked with a permanent, non-corrosive marker. The marker shall be three inches in diameter.



be drilled horizontally in the end cap of each lateral near the crown to facilitate venting.

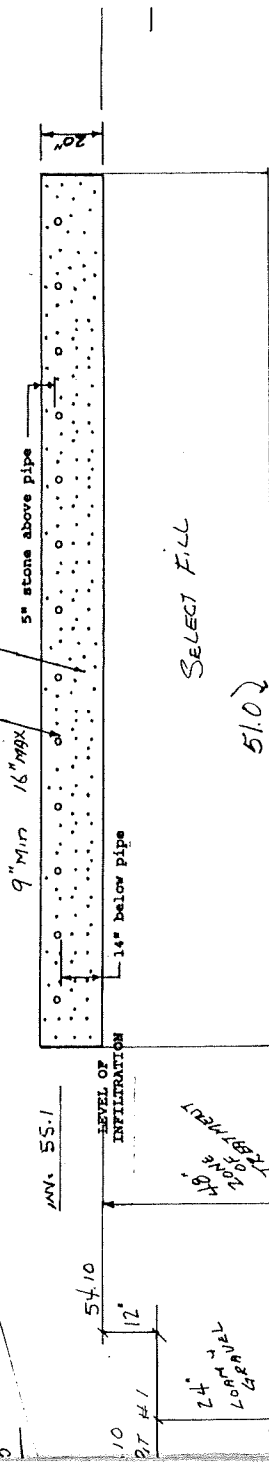
Clean washed stone 3/4" to 2 1/2", Free of fines & dust (N.J.D.O.T. Size #21 or #3)

1 1/2" lateral, Inv. = (55.1) 1.45' long with 1/4" holes drilled 36" o.c. & lateral invert BOTTOM OF BED TO BE CONSTRUCTED A MINIMUM OF 4'-0" ABOVE SEASONAL HIGH GROUND WATER TABLE.

End caps typical (13)- 1 1/2" late 45'

5'-0"

Gravel 566



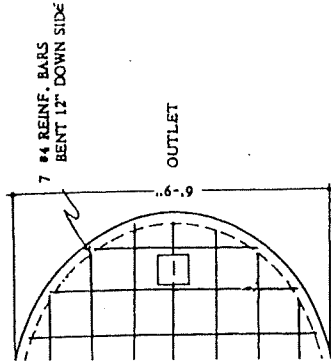
49.55 EST S.H. NOTE

EXCAVATE & REMOVE TO NATIVE MATERIAL TO REPLACE ELEVATION 51.0 WITH SELECT FILL PERCOLATION 3.0 in./in. 15.0 in./in. 6.0 in./in. 20.0 in./in. PERMEABILITY

49.76 EST S.H. WATER

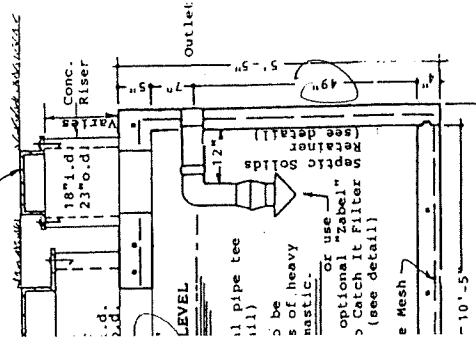
20% DISPOSED

ends information based on drawing by Fisher & Reale Associates, Inc. Plan for Joffe Lumber & Supply Co., Inc., by William B. Reale, P.L.S., 11/85, and last revised 10/30/86.



to grout inlet & outlet pipe
tank. Field apply (2) coats
joints are water tight.

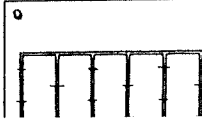
hole frames w/ bolted lids
see detail



SECTION

1. SEPTIC TANK

tended to within (6) six
r fitted with a removable
ended flush with finished
ed to prevent access by
a concrete riser is used
grade, covers shall be
concrete, fiberglass,
specified by a licensed
administrative authority.
ked on the ground surface
marker a minimum of (3)

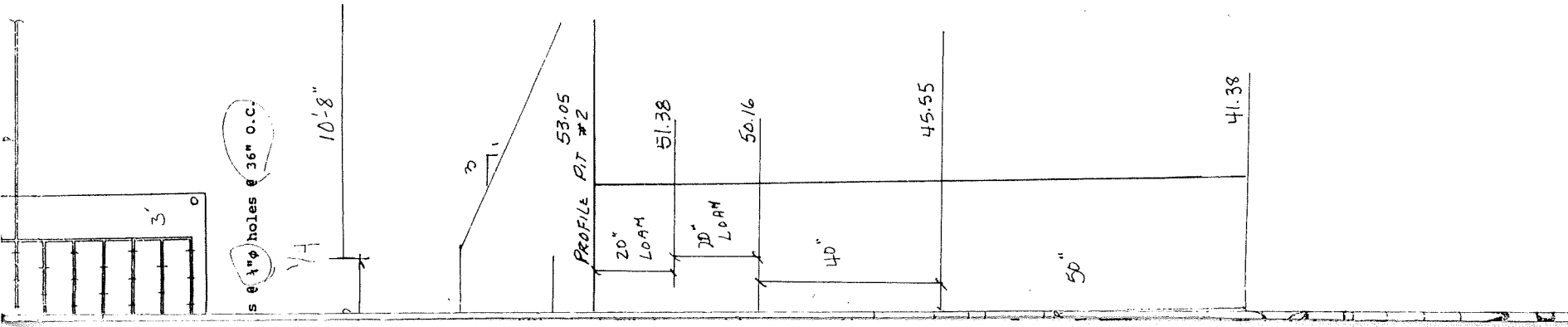


SEPTIC TANK CONSTRUCTION NOTES

1. Septic tank shall be water-tight and be constructed of concrete. Septic tank shall be installed in the sewer line prior to the on-site disposal system.
2. Concrete shall conform to ACI 318-16-4-5.1
ACI 318-16-4-5.2
4500 psi @ 28 days
3. Any joints in the septic tank below the liquid level of the tank or below the seasonal high water table shall be provided with a permanent water-tight seal.
4. All inside concrete surfaces shall be sealed with two (2) applications of an appropriate inert coating by the manufacturer (coal tar epoxy, or fiberglass resin, or equal) prior to delivery.
5. Septic tanks shall be placed on a firm and stable foundation to insure shifting or uneven settlement does not occur. If excavation is too deep the excavation shall be backfilled to proper elevation with sand.
6. When the septic tank is installed below or partially below the seasonal high water table, appropriate concrete foundation anchor shall be provided to insure the tank will not shift or float if emptied during seasonal high ground water. Perforating or otherwise damaging the watertight integrity of a septic tank for the be purpose of installation below the water table is prohibited. A 12' x 12' x 10" concrete foundation with #4 bar @ 12" top and bottom shall be used whenever seasonal high is 33" or above.
7. Precast tank shall be Gillespie or equal. Certification shall be provided by the manufacturer and the certification displayed on the tank that it meets all requirements of NJMC 7:9A-8.2
8. Tanks which are rectangular in cross section shall have an inside length at least twice the inside width.
9. Inlet and outlet connections of each tank shall be arranged so as to obtain effective retention of scum and sludge and coated to resist corrosion.
10. A baffle or pipe tee not less than 4" in diameter is required at the inlet of the tank. The bottom of the baffle or vented leg shall extend below the liquid level, 33% of the depth of the liquid level.
11. A manhole, 24" minimum in diameter, shall be provided at each septic tank opening and be extended flush to grade by riser fitted with removable, water-tight cover and shall be a Heenah R1916-F1 or equal. (see detail)
12. A solids retainer (National SSR, Inc. or equal) or filter (Zabel or equal) must be installed on the outlet side of the septic tank to prevent solids from entering disposal bed (see detail).
13. An inspection port shall extend to finished grade and be provided over each tank at the inlet. The inspection port shall be a 4" diameter PVC pipe and shall extend to the finished grade and be provided with a locked or bolted cap. (see detail)
14. Backfill around septic tanks shall be clean durable material compacted in 8" lifts free of roots, large rock, and other foreign objects.

DISPOSAL FIELD CONSTRUCTION NOTES

1. Connecting pipes between pretreatment units and dosing tanks, distribution networks, and delivery pipes discharging effluent to disposal fields shall be of such size to serve the connected fixtures but in no case less than 1 1/2" in diameter. Delivery pipes from dosing tanks using siphons shall be one nominal size larger than the siphon to facilitate venting.
2. Delivery pipes for pressure dosing networks shall be constructed of Polyvinyl Chloride (PVC) plastic (ASTM D 2665), schedule 40, SDR-21, or SDR-26.
3. All pipe joints in connecting pipes and delivery pipes shall be made water-tight and protected against damage by roots.
4. Connecting pipes shall have a minimum grade of 1/4" per foot unless otherwise noted.
5. Horizontal bends, where required, shall not be sharper than 45 degrees. The inside angle between adjacent sections of pipe shall be no less than 135 degrees.
6. Adequate measures shall be used to insure that the bottom of the disposal bed or each individual disposal trench is level.
7. Excavation shall be carried out in a manner that will avoid unnecessary compaction of the disposal field bottom and sidewalls.
8. Any smeared or compacted soil surfaces which have been produced on the bottom or sidewalls of the excavation shall be removed to expose a fresh soil surface.
9. Work should be scheduled so that the bottom and sidewalls of the excavation will not be exposed to rainfall or wind-blown silt between the time of excavation and the time of final inspection and backfilling. Any loose soil or debris which is washed into or otherwise deposited within the excavation as a result of the excavation remaining open to the elements shall be carefully removed prior to backfilling.
10. The filter material shall be covered with untreated building paper or a four inch thickness of salt-hay or straw, as the laying of the distribution area progresses.
11. A minimum (nine inches and no more than 18 inches of backfill shall be placed over the top of the disposal field filter material.



12. Excavation materials shall be of earth similar to that found at the site and flow of later stages, from existing to final condition, or other waste construction material. Excavated clay material should not be used for backfill.
13. The Contractor is responsible for all lines, elevations, and measurements, including verification of all dimensions shown.
14. The location and elevation of all lines and fixtures shall be carefully installed to insure positive gravity flow to proposed septic tank and disposal bed.
15. If soil conditions or ground water discovered during construction are different from field tests, the Engineer shall be notified immediately and all work shall stop until the Engineer authorizes work to resume.
16. All trees within 20 feet of the disposal bed are to be removed.
17. Do not drive equipment within or on top of the disposal bed.

PRESSURE DOSING TANKS

1. The pressure dosing method whereby the pretreatment discharges to a dosing tank with a pump or siphon which in-turn discharges to an inter-connected network of distribution laterals signed to discharge effluent under pressure.
2. Each lateral in the distribution network shall receive an equal hydraulic loading. The use of serial distribution is prohibited.
3. All dosing tanks shall meet the following requirements regardless of whether a pump or siphon is to be used:
- a. Dosing tanks shall be constructed in a manner that will permit venting of the disposal area.
- b. Dosing tanks shall be placed on a firm and stable foundation so that the potential for differential settling or shifting is minimized.
- c. Dosing tanks shall be readily accessible for service and repair. A removable water-tight cover or manhole with a removable water-tight cover shall be provided. Manholes shall be a minimum of 24" in diameter. The cover shall be located directly over the pump or siphon. The top of the tank or manhole riser shall be at least 48" above the finished grade and shall be finished with a water-tight cover. Where manholes are to be installed, the cover shall be bolted or locked to prevent access by children and shall be of cast iron. The cover shall be used. When the top of the tank or manhole is not extended to finished grade, covers shall be constructed of precast reinforced concrete, fiberglass, polyethylene or other materials as specified by a licensed professional engineer and approved by the administrative authority. The location of the manhole shall be marked on the ground surface by means of a permanent, non-corrosive marker a minimum of three inches in diameter.

Size #	Nominal Size Square Openings (1)	Amounts finer than each laboratory sieve, Percentage by weight									
		3/16	1/2	3/4	1 1/2	2	1 1/2	1	3/4	1/2	3/8
24	2 1/2 to 3/4	100	90-100	25-60	0-10	0-5					
3	2 to 1		100	90-100	35-70	0-15	0-5				
4	1 1/2 to 3/4			100	90-100	20-55	0-15	0-5			

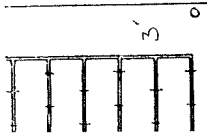
(1) In inches, except where otherwise indicated. Numbered sieves are those of the United States Sieve Series.

OFFICE COPY
Do Not Remove

APPROVED BY
DEPT. OF HEALTH
VINELAND, N.J.

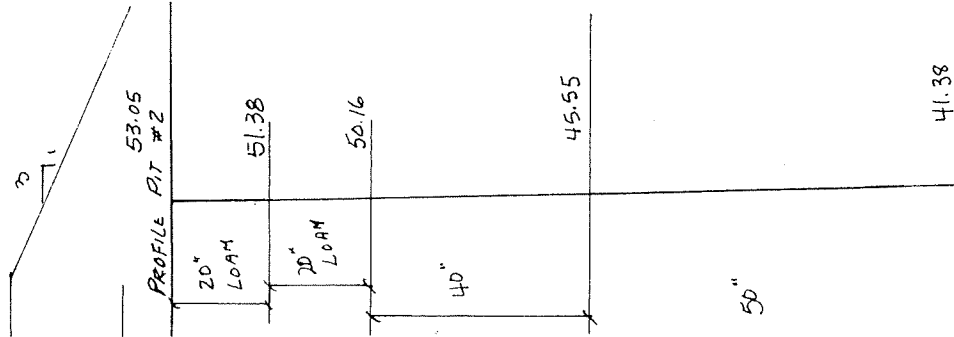
1/30/98

REV. #	DATE	DESCRIPTION
 IRICK ENGINEERING CIVIL - PLANNER - CONSULTANT 1068 E. LANDIS AVE., VINELAND, N.J. 08360		
PROJECT:	SEPTIC DESIGN for	
NAME:	JOFFE LUMBER & SUPPLY CO.	
LOCATION:	BURNS AVENUE CITY OF VINELAND, CUMBERLAND COUNTY, NJ	
SCALE: 1" = 30'	LOT(S): 134/4; 3	DRAWN BY: GAM
DWG.: 2 OF 2	BLOCK: 119; 1074	CHECKED BY: JHI
JOB: #97078	TAX SHEET: #75	DATE: 7-25-97
JEROME H. IRICK, PROFESSIONAL ENGINEER		N.J. P.E. Lic.No. 26399
		PA. P.E. Lic.No.28516-E



6 1/2" holes @ 36" O.C.

10'-8"



13. The contractor is responsible for all lines, elevations, and measurements, including verification of all dimensions shown.
14. The location and elevation of all lines and fixtures shall be carefully installed to insure positive gravity flow to proposed septic tank and disposal bed.
15. If soil conditions or ground water discovered during construction are different from field tests, the Engineer shall be notified immediately and all work shall stop until the Engineer authorizes work to resume.
16. All trees within 20 feet of the disposal bed are to be removed.
17. Do not drive equipment within or on top of the disposal bed.

PRESSURE DOSING TANKS

- The pressure dosing method whereby the pretreatment discharges to a dosing tank with a pump or siphon which in-turn discharges to an inter-connected network of distribution laterals signed to discharge effluent under pressure.
- Each lateral, in the distribution network shall receive an equal hydraulic loading. The use of aerial distribution is prohibited.
- All dosing tanks shall meet the following requirements regardless of whether a pump or siphon is to be used:
 - Dosing tanks shall be constructed in a manner that will permit venting of the disposal area.
 - Dosing tanks shall be placed on a firm and stable foundation so that the potential for differential settling or shifting is minimized.
 - Dosing tanks shall be readily accessible for service and repair. A removable water-tight cover or a manhole with a removable water-tight cover shall be provided. Manholes shall be a minimum of 24" in diameter or 24" square and shall be located directly over the pump or siphon. The top of the tank or manhole riser, at a minimum, shall be extended to within six inches of finished grade and be equipped with a water-tight cover. Where manholes are extended flush with finished, the cover shall be bolted, or locked to prevent access by children and shall be of cast iron when a concrete riser is used. When the top of the tank or manhole is not extended to finished grade, covers shall be constructed of heavy material and shall be bolted, or locked to prevent access by children. The location of the manhole shall be marked on the ground surface by means of a permanent, non-corrosive marker a minimum of three inches in diameter.

Size #	Nominal Size Square Openings (1)	Amounts finer than each laboratory sieve, percentage by weight													
		3 1/2	3	2 1/2	2	1 1/2	1	3/4	1/2	3/8	No. 4	No. 8	No. 15	No. 50	
24	2 1/2 to 3/4		100	90-100		25-60		0-10	0-5						
3	2 to 1			100	90-100	35-70		0-15	0-5						
4	1 1/2 to 3/4				100	90-100	55-100	0-15	0-5						

(1) In inches, except where otherwise indicated. Numbered sieves are those of the United States Sieve Series.

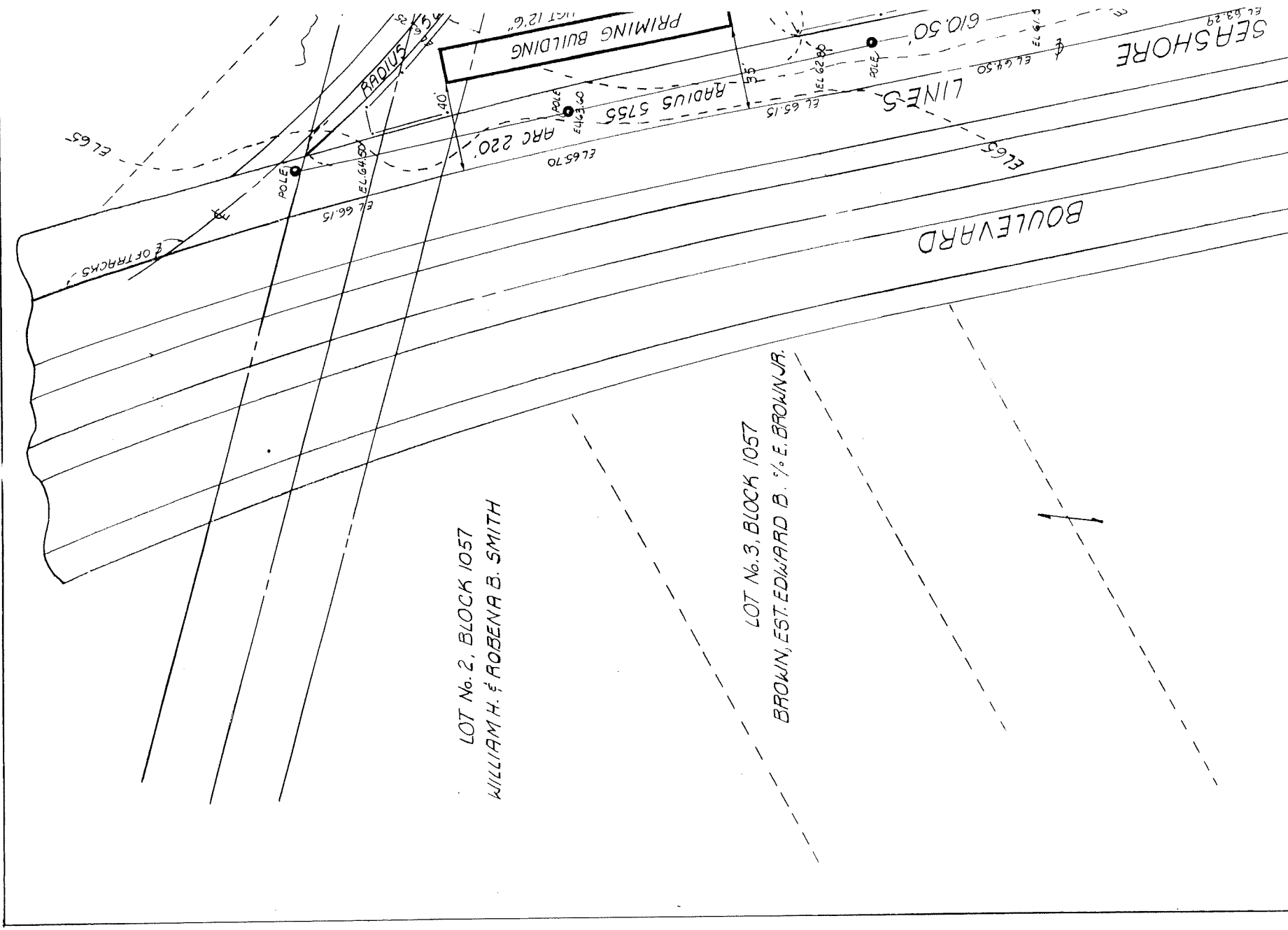
OFFICE COPY

Do Not Remove

APPROVED BY
DEPT. OF HEALTH
VINELAND, N.J.

11/30/98
[Signature]

REV. #	DATE	DESCRIPTION
 IRICK ENGINEERING CIVIL - PLANNER - CONSULTANT 1068 E. LANDIS AVE., VINELAND, N.J. 08360		
PROJECT:	SEPTIC DESIGN for	
NAME:	JOFFE LUMBER & SUPPLY CO.	
LOCATION:	BURNS AVENUE CITY OF VINELAND, CUMBERLAND COUNTY, NJ	
SCALE: 1" = 30'	LOT(S): 134/3	DRAWN BY: GAM
DWG.: 2 OF 2	BLOCK: 119/1074	CHECKED BY: JHI
JOB: #97078	TAX SHEET: #75	DATE: 7-25-97
JEROME H. IRICK, PROFESSIONAL ENGINEER		N.J. P.E. Lic.No. 26399
<i>Jerome H. Irick PE</i>		PA. P.E. Lic.No.28516-E
		N.J. P.P. Lic.No. 2942



LOT No. 2, BLOCK 1057
WILLIAM H. & ROBENA B. SMITH

LOT No. 3, BLOCK 1057
BROWN, EST. EDWARD B. & E. BROWN JR.

BOULEVARD

SEASHORE

LINES

PRIMING BUILDING

RADIUS

RADIUS 5755

ARC 220

610.50

EL 65.70

EL 66.15

EL 64.50

EL 65.15

EL 64.50

EL 63.29

EL 67.5

EL 62.80

POLE

POLE

EL 65

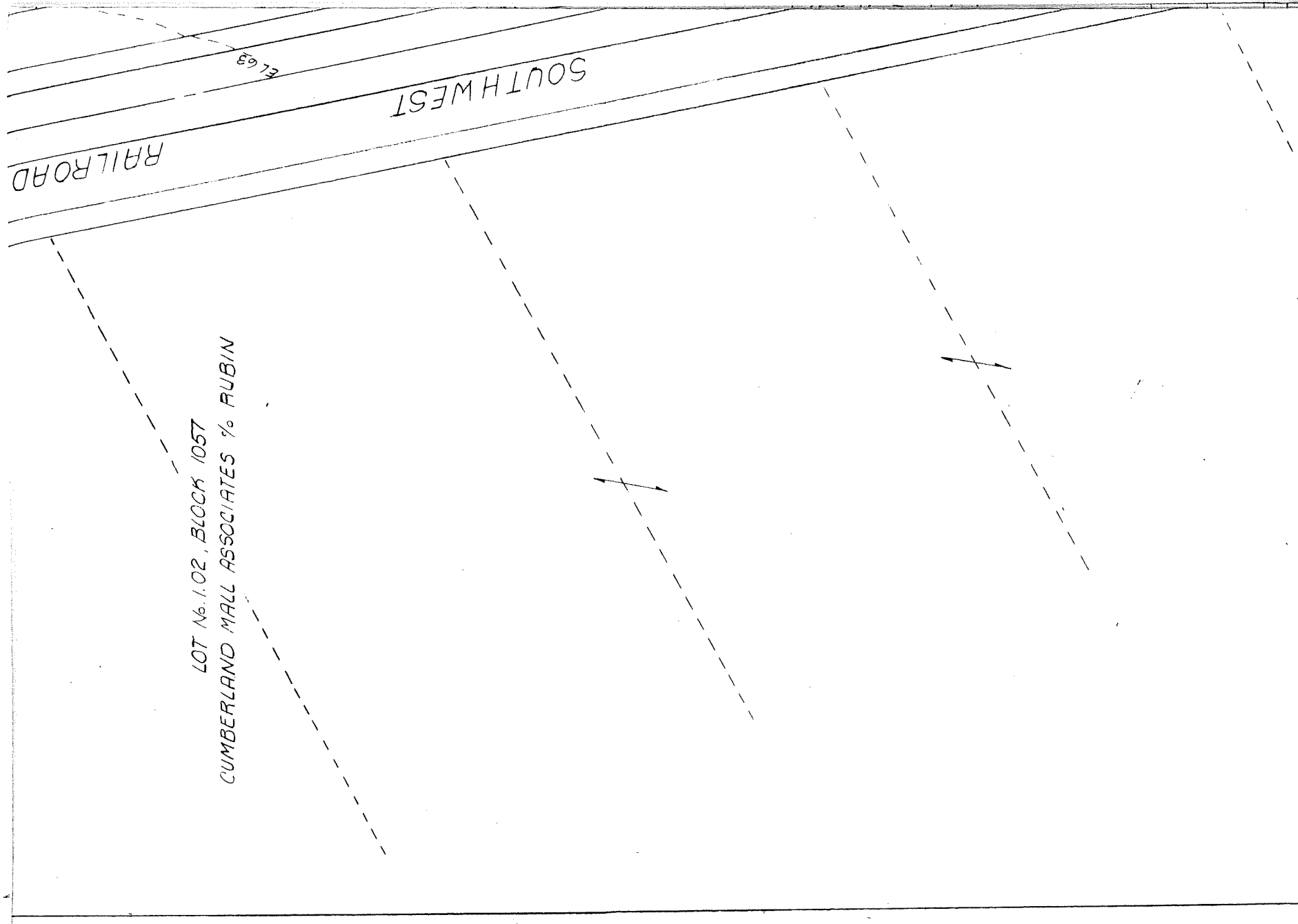
2 OF TRACKS

RAILROAD

SOUTHWEST

LOT No. 102, BLOCK 1057
CUMBERLAND MALL ASSOCIATES % RUBIN

EL 63



LOT No. 2, BLOCK 1074
BASOLIS - COSTANTINO - GALLETTO

371.52'

EL 59
EL 61

EL 63

WOODS

ATLANTIC

1.13 ACRES

N 83° 45' E

CITY

ELECTRIC

N 32° 48' W

ARC: 937'

PAVED

165'

106.92'

13.62'

RAMP & DOCK

EL 61.45

FIRE HYDRANT

Gas

E OF TRACKS

N 59° 48' W

E OF TRACKS

EXISTING SEPTIC AREA TO REMAIN

MASONRY WAREHOUSE

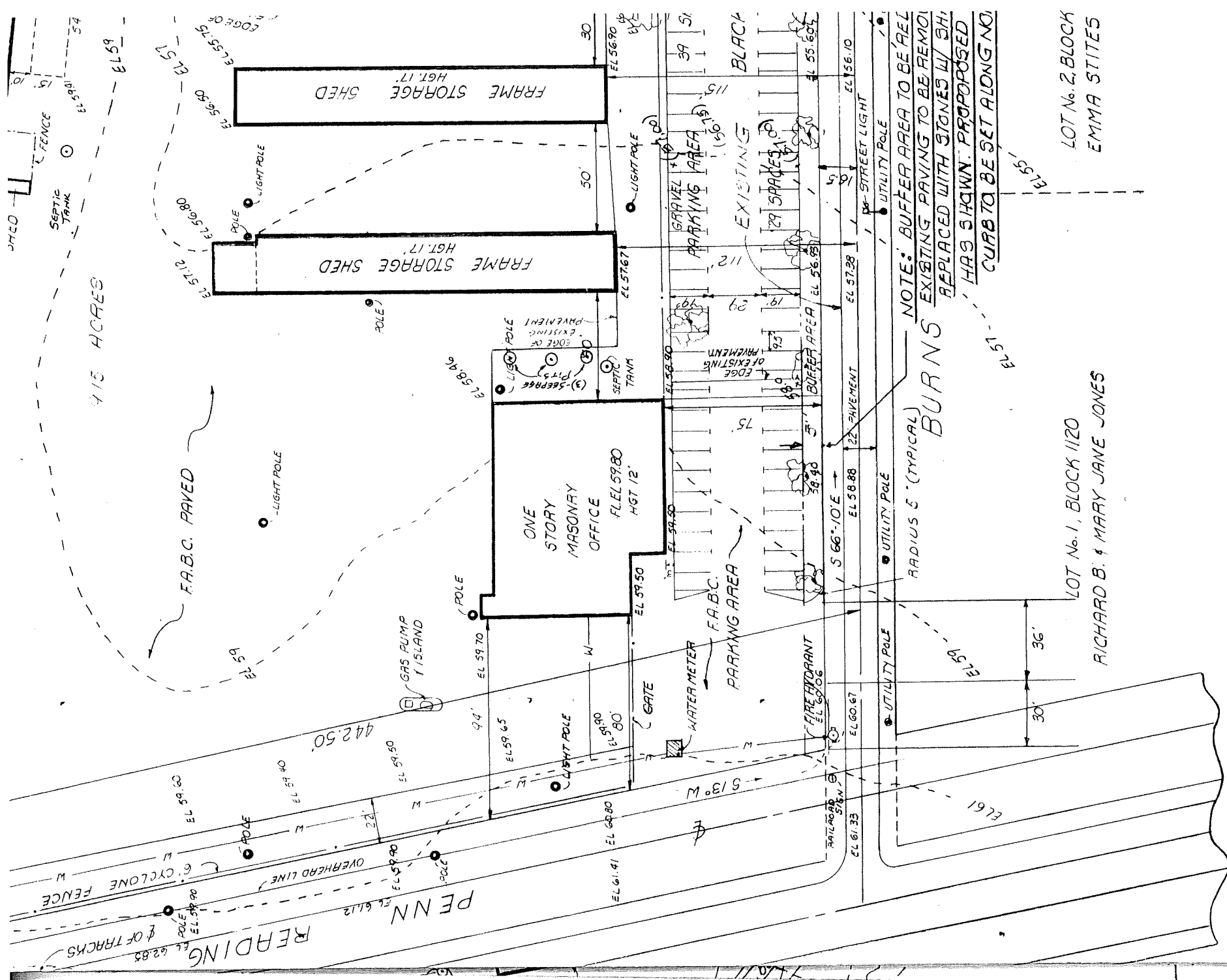
FL. EL 63.77
HGT. 20.80'

OFFICE

EL 61.57

EL 60.39

LIGHT

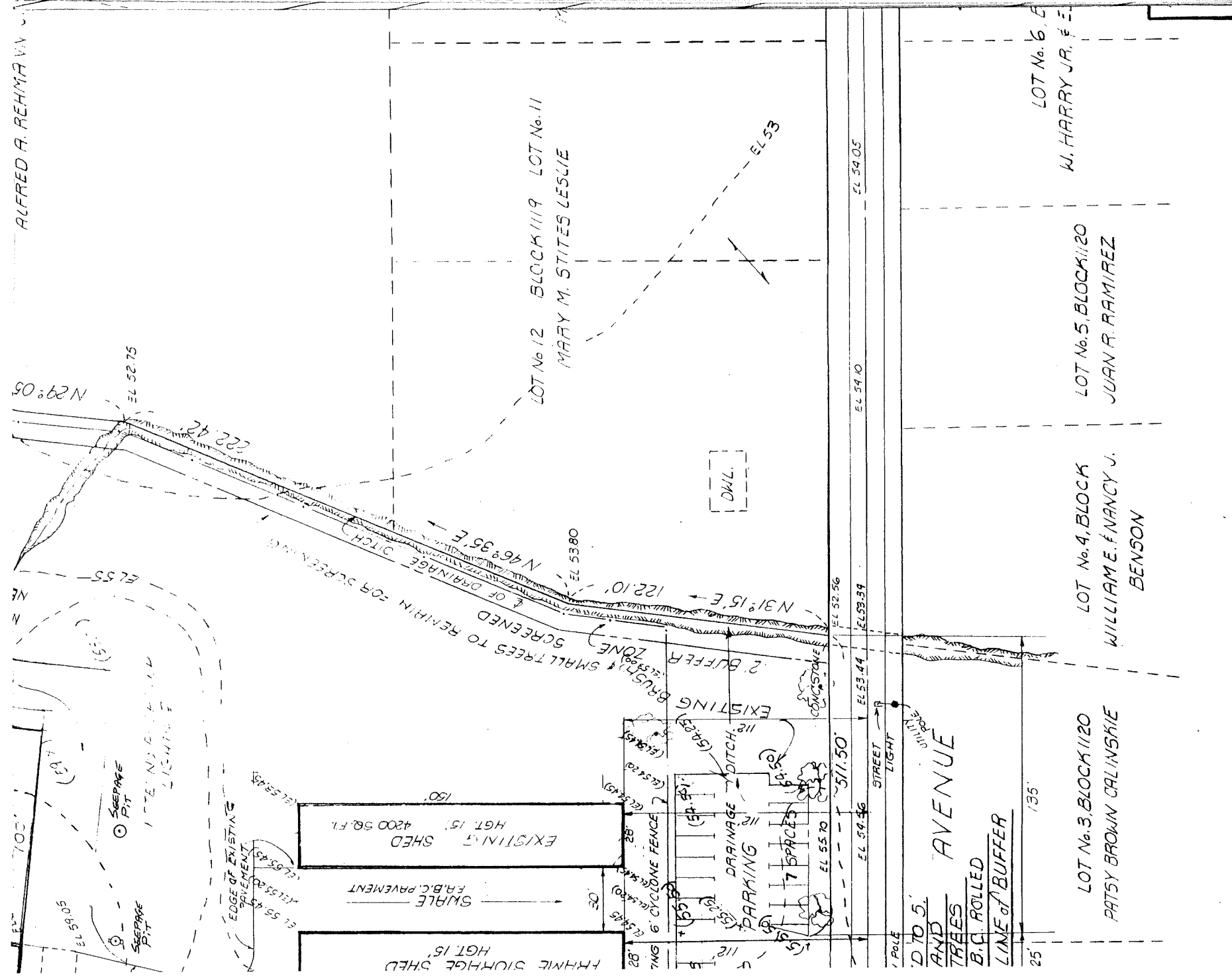


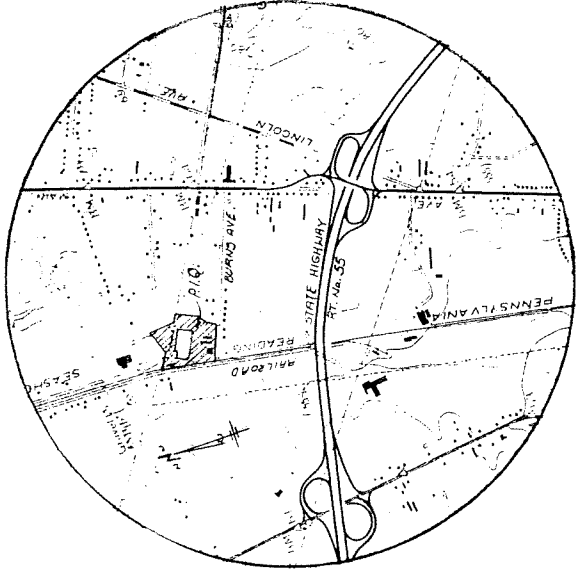
BURNS

NOTE: BUFFER AREA TO BE REL
 EXISTING PAVING TO BE REMO
 REPLACED WITH STONES W/ SH
 HAS SHOWN PROPOSED
 CURB TO BE SET ALONG NO

LOT No. 1, BLOCK 1120
 RICHARD B. & MARY JANE JONES

LOT No. 2, BLOCK
 EMMA STITES





KEY MAP

1" = 2000'

DRAINAGE DATE: 10-16-85
PROPOSED BLDG. $Q = 90 \times 55 \times 0.19 \times 0.94 \}$ = 0.63
LESS EXIST AREA (GRASS) $Q = 30 \times 55 \times 0.19 \times 0.31 \}$

PROPOSED PAVING $Q = 90 \times 55 \times 0.26 \times 1.29 \}$ = 0.86
LESS EXIST AREA (GRASS) $Q = 30 \times 55 \times 0.26 \times .43 \}$

ADDITIONAL RUNOFF INTO = $Q = 1.49$
EXISTING DITCH

EL 53

~ NOTES ~

JOFFE LUMBER & SUPPLY CO. INC.

BURNS AVENUE

VINELAND N.J. 08360

- 1) P.I.Q. IS LOCATED IN I-3 ZONE, COMMERCIAL INDUSTRIAL
- 2) ~~1~~ PROPOSED SHADE TREES
- 3) ALL ELEVATIONS REFER TO U.S.C.F.G. DATUM
- 4) 00.00 - EXIST ELEV. (00.00) PROPOSED ELEV.
- 5) OWNER REQUESTS SIDEWALK REQUIREMENTS TO BE WAIVED.
- 6) 75 EMPLOYEES AT MAX. 20:00 SHIFTS, IS PROVIDED
- 7) ADDITIONAL RUN OFF $Q = 1.49$
 $Q = 90 \times 55 \times 0.80 \times 0.80 = 3.96 \text{ CUB / SEC.}$

~ NOTES ABOVE FROM PREVIOUS APPROVED SITE PLAN ~

NOTE: SUPPLEMENTAL PLANTINGS WITHIN THE SCREENING BUFFER REQUIRED ALONG THE EASTERLY BOUNDARY FROM PREVIOUS SITE PLAN HAS BEEN PROVIDED BY ADDITIONAL GROWTH OF BUSHES & TREES IN THAT AREA.

DATE: 10-16-85

6) 75 EMPLOYEES AT MAX WORK SHIFT, IS PROVIDED

7) ADDITIONAL RUN OFF Q = C.I.A

Q = .90 x 5.50 x 0.80 = 3.96 cu ft / SEC.

NOTES ABOVE FROM PREVIOUS APPROVED SITE PLAN

NOTE: SUPPLEMENTAL PLANTINGS WITHIN THE SCREENING BUFFER REQUIRED ALONG THE EASTERLY BOUNDARY FROM PREVIOUS SITE PLAN HAS BEEN PROVIDED BY ADDITIONAL GROWTH OF BUSHES & TREES IN THAT AREA.

DRAINAGE DATA: ADDITIONAL RUNOFF Q = C.I.A
Paved Building = 0.10 AC. "C" VALUE = 0.95
Paved Paving = 0.41 AC. "C" VALUE = 0.85
EXIST. COMPACT GRAVEL = 0.23 AC. "C" VALUE = 0.60
EXIST. GRASS = 0.18 "C" VALUE = 0.30

PROP. BUILD. Q = .90 x 5.5 x 0.10 = 0.50 } = 0.38
LESS EXIST. AREA (GRASS) Q = 0.30 x 5.5 x 0.07 = 0.12 }
PROP. PAVING Q = .90 x 5.5 x 0.23 = 1.14 } = 0.38
LESS EXIST. AREA (GRAVEL) Q = .60 x 5.5 x 0.23 = 0.76 }
PROP. PAVING Q = .90 x 5.5 x 0.18 = 0.87 } = 0.57
LESS EXIST. AREA (GRASS) Q = .30 x 5.5 x 0.18 = 0.59 }

ADDITIONAL RUNOFF INTO EXISTING DITCH Q = 1.35

SHEET #1 of 2

NOTE: THE PURPOSE OF THIS SITE PLAN IS TO CONSTRUCT THE PROPOSED ADDITION AS SHOWN ON THIS PLAN 10-30-86. SEE ATTACHED PLAN FOR PROPOSED PAVING & DRAINAGE -

NOTE: ALL DATA ON THIS SITE PLAN TAKEN FROM AN APPROVED SITE PLAN, DATED 3-22-79, BY A.E. BERNARD, C.E. AND APPROVED ON 6-13-79 BY THE CITY OF VINELAND.

NOTE: REVISED 9-23-85 - ONLY CHANGE IS PROPOSED SHED INCREASES FROM 107.50' TO 150.50'

Fisher & Reale Associates

LAND SURVEYING
807 S. MAIN ROAD • VINELAND, NEW JERSEY 08360

VARIANCE PLAN

OFFERED BY: JOFFE LUMBER & SUPPLY CO. INC.

BURNS AVENUE
LOTS No. 13 & 14, BLOCK 1119, LOT No. 3 BLOCK 1074, SHEET 11 & 15, T.1N.

CITY OF VINELAND

COUNTY OF CUMBERLAND, STATE OF NEW JERSEY

DATE 3-11-85
REVISED 3-20-85

SCALE 1" = 50'
REVISED 4-23-85
REVISED 10-16-85

DWG. BY A.D.M.
FILE No. 1043-85

REVISED 9-9-86
REVISED 10-30-85
REVISED 10-30-86

7-2-86 07079 1-1-86

REVISED 2-3-87 (VARIANCE)

PREPARED BY:

William B. Reale
WILLIAM B. REALE LIC. No. 17433

LOCK 1120
SIE OLIVER

LOT No. 10, BLOCK 1119
MITCHALL & CAROL A.
AYARS

Next	Prior	Update	Photos	PRC	Help	Close		
Block: 7110		Lot: 39	Q:	B: M	Loc: 18 BURNS AVE	4B		
Mod4	Calc	History	Land	Bldg	Sketch	Fixtures	Detached	More...
L:1300000 I:3188400 T:4470800 (Change:2070800) SF:0							VINELAND	
Owner:	JOFFE LUMBER & SUPPLY CO, INC					Class:	4B	
Street:	P O BOX 2309					Bank:		
Town:	VINELAND, NJ					Acct Num:	00018060	
Deductions:	S 0	V 0	W 0	R 0	D 0	Owners: 0	Amount:	0
Prior Block:	1119	Lot: 13	Q:	Updated: 01/05/17				
2019		2020		PRC		ExemptCd		Amt
Land:	1300000	1300000		1300000		1 P9	17600	
Impr:	1117600	1117600		3188400		2	0	
Exempt:	-17600	17600				3	0	
NetValue:	2400000	2400000		4470800		4	0	
Land Dim:	9.55 ACRES		Map:	75	Partial:	Taxes		
Bldg Desc:	1S-F-B- - ,3		Clas4Cd:			(57):69288.00		
Addl Lots:			M4 SF:	0	PC SF:	0	Taxes	
			Mfg Num:			(58):0.00		
Exempt Property List								
SpTax			Tenant Rebate			Dwelling U:		
Owner:	00	Statute:	1	Base Yr:	98	Comm U:		
Use:	00	Init Date:	2	Flag:		Tract:		
Desc:	000	Further:	3	BYTax:	27006.70	CensusB:		
FName:			4	BYrAssmt:	941000	1:	2:	

Next

Prior

Update

Photos

PRC

Help

Close

Block: 7110 Lot: 39 Q: B: M Loc: 18 BURNS AVE 4B

Mod4

Calc

History

Land

Bldg

Sketch

Fixtures

Detached

More...

L:1300000 I:3188400 T:4470800 (Change:2070800) SF:0 VINELAND

Sales

Auto Search - Comps - Comp Search

Last Sale:

03/08/99

Bk 2348

Pg 143

Price: 1

Nu

Cd

%

Date

Grantor/Grantee

Amount

NU

Tax List

Year	Owner	Class	Land	Impr	Exmpt	Net
2020	JOFFE LUMBER & SUPPLY CO, INC	4B	1300000	1117600	17600	2400000
2019	JOFFE LUMBER & SUPPLY CO, INC	4B	1300000	1117600	-17600	2400000
2018	JOFFE LUMBER & SUPPLY CO, INC	4B	1300000	1117600	-17600	2400000
2017	JOFFE LUMBER & SUPPLY CO, INC	4B	1300000	1117600	-17600	2400000

Building Permits

Date	Number	Description	Amount/AA	Compl/CO
------	--------	-------------	-----------	----------

Tax Appeals

Date	Number	Judgement Code	Land	Impr	Exmpt	Net
00/00/00	14-1400000		0	0	0	0
06/12/14	14-1400107	6B	1300000	3188400	-17600	4470800
00/00/00	14-1500142	1E	1300000	1700000	-17600	2982400

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Prepared by



Rocco J. Tedesco, Esquire

Cons: 1.00 (E)
 Rlty: 0.00 Cty: 0.00
 St: 0.00
 NPRF: 0.00
 Ins# 20995 03/09/1999

Deed

This Deed is made on MARCH, 1999.

BETWEEN JOFFE LUMBER & SUPPLY CO., INC., a corporation of the State of New Jersey, as successor by merger with **D & S Sales Co., Inc.**, having its principal office at 18 Burns Avenue, Vineland, NJ, referred to as the Grantor,

AND JOFFE LUMBER & SUPPLY CO., INC., whose post office address is 18 Burns Avenue, Vineland, NJ, referred to as the Grantee.

The word "Grantee" shall mean all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of One Dollars (\$1.00). The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-1.1) Municipality of Vineland

Block No. 1119

Lot No. 13, 14

Account No.

☐ No property tax identification number is available on the date of this Deed (Check box if applicable).

Property. The property consists of the land and all the buildings and structures on the land in the City of Vineland, County of Cumberland and State of New Jersey. The legal description is:

ALL that certain tract or parcel of land and premises, situate in the City of Vineland, County of Cumberland and State of New Jersey, bounded and described as follows;

BEGINNING at a point in the intersection of the northerly line of Burns Avenue (33 feet wide) with the easterly right of way line of Conrail (formerly Pennsylvania Reading Seashore Lines) (50 feet wide);

THENCE (1) South 66 degrees 10 minutes East, along the northerly line of Burns Avenue, 511.50 feet to a point;

THENCE (2) North 31 degrees 15 minutes East, along the westerly line of Lot 12, Block 1119 of the tax map, 122.10 feet to a point;

THENCE (3) North 46 degrees 35 minutes East, partly along said Lot 12 and Lot 1, Block 1119 of the tax map, 222.42 feet to a point;

THENCE (4) North 29 degrees 05 minutes East, still along said Lot 1, 250.14 feet to a point in the southerly line of formerly Clayville Switch;

THENCE (5) North 59 degrees 48 minutes West, 497.42 feet, more or less to a point of curve;

THENCE (6) Northwesterly, along the southerly line of said right of way along the arc of a curve, curving to the right, having a radius of 589 feet, more or less, an arc distance of 437 feet, more or less to a point in the easterly line of aforesaid easterly right of way line of Conrail Railroad;

THENCE (7) Southerly along the said easterly curved right of way of said Conrail Railroad, along the arc of a curve, curving to the right, having a radius of 5735 feet, more or less, an arc distance of 220 feet, more or less to a point of tangent;

THENCE (8) South 13 degrees 00 minutes West, still along the easterly right of way line of said Conrail Railroad, 610.50 feet to a point in the northerly line of Burns Avenue and place of beginning.

CONTAINING 9.5 acres of land, more or less.

SUBJECT to a portion of Atlantic City Electric Right of Way in the northerly end of above described parcel, ALSO subject to any other easements of record and other pertinent facts which a title search might disclose.

BEING known as Lot Nos. 13 and 14, Block 1119 on the City of Vineland tax map.

Title to the Premises vested in D & S Sales Co., Inc. by two Deeds, the first being a Deed from Carlo Viola and Gladys Viola, his wife, dated June 1, 1964 and recorded in the Office of the Clerk of Cumberland County on June 2, 1964 in Deed Book 1025, page 5 & c, and the second Deed by Jesse S. Morie & Son, Inc. to D & S Sales Co., Inc. dated August 4, 1964 and recorded August 7, 1964 in the Office of the Clerk of Cumberland County in Deed Book 1029, Page 269 & c.

Said D & S Sales Co., Inc. merged with Joffe Lumber & Supply Co., Inc., a New Jersey corporation, by Certificate of Merger filed July, 1971, in the Office of the Secretary of State of the State of New Jersey. Said Joffe Lumber & Supply Co., Inc. was the surviving entity by way of merger with D & S Sales Co., Inc. and by operation of law, the merger of D & S Sales Co., Inc. with Joffe Lumber & Supply Co., Inc. vested title in Joffe Lumber & Supply Co., Inc. upon the filing of the Certificate of Merger with the Secretary of State's Office.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. This Deed is signed and attested to by the Grantor's proper corporate officers as of the date at the top of the first page. Its corporate seal is affixed.

ATTESTED:

JOFFE LUMBER & SUPPLY CO., INC.

Connie Scapellato
Secretary

By Michael L. Bergen
MICHAEL L. BERGEN, Vice-President

STATE OF NEW JERSEY, COUNTY OF CUMBERLAND

ss:

I CERTIFY that on March 8, 1999, Connie Scapellato personally came before me and stated under oath to my satisfaction that:

(a) this person was the subscribing witness to the signing of the attached;
(b) this deed was signed by Michael L. Bergen who is Vice-President of Joffe Lumber & Supply Co., Inc., the entity named in this deed and was fully authorized and did execute this deed on its behalf;

(c) this deed was made for \$1.00 as the full and actual consideration to be paid for the transfer of title (Such consideration is defined in N.J.S.A. 46:15

(d) the subscribing witness signed this proof under oath to attest to these facts.

Signed and sworn to before me
on March 8, 1999.

Robert J. Taddeo
Notary at Law of the State of
N.J.

Connie Scapellato

NC1645 - Affidavit of Consideration
RTF-1 (Rev. 1/1/86)
Print Date 2/97

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION OR EXEMPTION
(c. 49, P.L. 1968)

ALL-STATE® Legal
A Division of ALL-STATE International, Inc.
908-272-0800

or
PARTIAL EXEMPTION

To be recorded with Deed pursuant to c. 49, P.L. 1968, as amended by c. 225, P.L. 1985 (N.J.S.A. 46:15-5 et seq.)
(c. 176, P.L. 1975)

STATE OF NEW JERSEY
COUNTY OF CUMBERLAND

SS.

FOR RECORDER'S USE ONLY
Consideration \$ 100
Realty Transfer Fee \$ EXEMPT *
Date 3/9/99 By ADF

(1) **PARTY OR LEGAL REPRESENTATIVE** (See Instructions #3, 4 and 5 on reverse side.)
Deponent Michael L. Bergen (Name), being duly sworn according to law upon his/her oath

deposes and says that he/she is the **Corporate Officer of Grantor**

(State whether Grantor, Grantee, Legal Representative, Corporate Officer, Officer of Title Co., Lending Institution, etc.)

transferring real property identified as Block No. 1119 Lot No. 13, 14

located at Burns Avenue, Vineland, Cumberland County,

(Street Address, Municipality, County)

and annexed hereto.

(2) **CONSIDERATION** (See Instruction #6.)

Deponent states that, with respect to deed hereto annexed, the actual amount of money and the monetary value of any other thing of value constituting the entire compensation paid or to be paid for the transfer of title to the lands, tenements or other realty, including the remaining amount of any prior mortgage to which the transfer is subject or which is to be assumed and agreed to be paid by the grantee and any other lien or encumbrance thereon not paid, satisfied or removed in connection with the transfer of title is \$ 100

(3) **FULL EXEMPTION FROM FEE** Deponent claims that this deed transaction is fully exempt from the Realty Transfer Fee imposed by c.49, P.L. 1968, for the following reason(s): Explain in detail. (See Instruction #7.) Mere reference to exemption symbol is not sufficient.

Consideration of less than \$100.00

(4) **PARTIAL EXEMPTION FROM FEE**

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN AP. PROPRATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. (See Instructions #8 and #9.)

Deponent claims that this deed transaction is exempt from the increased portion of the Realty Transfer Fee imposed by c. 176, P. L. 1975 for the following reason(s):

A) **SENIOR CITIZEN** (See Instruction #8.)

- ☐ Grantor(s) 62 yrs. of age or over. *
- ☐ One or two-family residential premises.

B) **BLIND** (See Instruction #8.)

- ☐ Grantor(s) legally blind. *
- ☐ One- or two-family residential premises.
- ☐ Owned and occupied by grantor(s) at time of Sale.
- ☐ No joint owners other than spouse or other qualified exempt owners.

* IN THE CASE OF HUSBAND AND WIFE, ONLY ONE GRANTOR NEED QUALIFY.

C) **LOW AND MODERATE INCOME HOUSING** (See Instruction #8.)

- ☐ Affordable According to HUD Standards.
- ☐ Meets Income Requirements of Region.

D) **NEW CONSTRUCTION** (See Instruction #9.)

- ☐ Entirely new improvement.
- ☐ Not previously used for any purpose.

Deponent makes this Affidavit to induce the County Clerk or Register of Deeds to record the deed and accept the fee herewith in accordance with the provisions of c. 49, P.L. 1968.

Subscribed and sworn to before me
this 8th day of March 1999

(Name of Deponent (sign above line))

18 Burns Avenue

Vineland, NJ 08360

Address of Deponent

Joffe Lumber & Supply

Name of Grantor (type above line)

18 Burns Avenue

Vineland, NJ 08361

Address of Grantor at Time of Sale

FOR OFFICIAL USE ONLY This space for use of County Clerk or Register of Deeds.

Instrument Number 151964 County Cumberland

Deed Number 2298 Book 2298 Page 1434

Deed Dated March 9, 1999 Date Recorded March 9, 1999

IMPORTANT - BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE. This format is prescribed by the Director, Division of Taxation in the Department of the Treasury, as required by law, and may not be subject to the approval of the Director.

ORIGINAL - White Copy To be retained by County.

DUPLICATE - Yellow Copy To be forwarded by County to Division of Taxation on partial exemption from fee (N.J.A.C. 18:16 - 8.12).

TRIPLICATE - Pink Copy Is your file copy.

95 MAR -9 PM 12: 36

[illegible]

DEED BK 9848 PAGE 17

Deed

Dated: 3/8/99

JOFFE LUMBER & SUPPLY CO., INC., a New Jersey corporation, as successor by merger with D & S Sales Co., Inc.,

Grantor,

10

JOFFE LUMBER & SUPPLY CO., INC., a
New Jersey corporation.

Grantee.

Record and return to:

CH6 + MAIL!
BEACON TITLE SERVICES AGENCY INC
727 LANDIS AVENUE
P.O. BOX 368
VINELAND, NJ 08360

Accommodation

Card 1 of 7

RECORD OF OWNERSHIP

NOTES

#	TENANT NAME	USE	FT.	SQ.
1	Jeffre Lumber		2	
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				

EXT. ACCESSOR.	
Conc. Paving	Lighting
Black Top	Fences
Curb/ing	Islands

~~CONFIDENTIAL~~

573
1995

DATE: 10/5/17

575
CITY OF

DATE: 10/5/12

ND AREA:
6512

S BLDG AREA: 6512

HEIGHT:

21

[illegible]

Card 2 of 7

PROPERTY USE: Warehouse

NOTES

"Open warehouse" - from an overhead view it looks like a normal warehouse but on the lot this structure is more like a canopy. Lumber is stored in the structure.

[illegible]

EXT. ACCESSOR.	
Conc. Paving	Lighting
Black Top	Fences ✓
Curbing ✓	Islands

VERIFICATION OF INSPECTION:

MEASURED BY: 35

DATE: 10/5/12

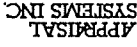
INSPECTED BY: 305

DATE: 10/5/12

GROUND AREA:
5040

GROSS BLDG AREA: 5040

HEIGHT: 16



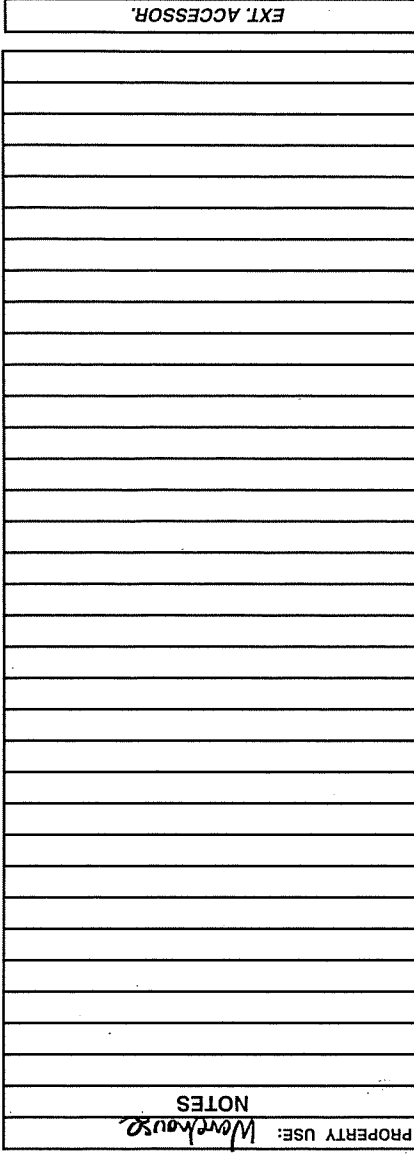
RECORD OF OWNERSHIP							
OWNER	Deed Date	Date Reg	Book	Page	SRIA #	Usable	Ratio
							Sale Price

Card 3 of 7

RECORD OF OWNERSHIP							
OWNER	Deed Date	Date Reg	Book	Page	SRIA #	Usable	Ratio
							Sale Price

PROPERTY USE:	Wardhouse
NOTES	

NOTES



EXT. ACCESSOR.

Conc. Paving	Lighting
--------------	----------

Black Top	Fences ✓
-----------	----------

Islands	Curbing
---------	---------

MEASURED BY: SCS

MEASURED BY: SCS

DATE: 10/5/12

DATE: 10/5/12

INSPECTED BY: 305

INSPECTED BY: 305

DATE: 10/5/12

DATE: 10/5/12

GROUND AREA: 120960

GROUND AREA: 12096

GROSS BLDG AREA: 120960

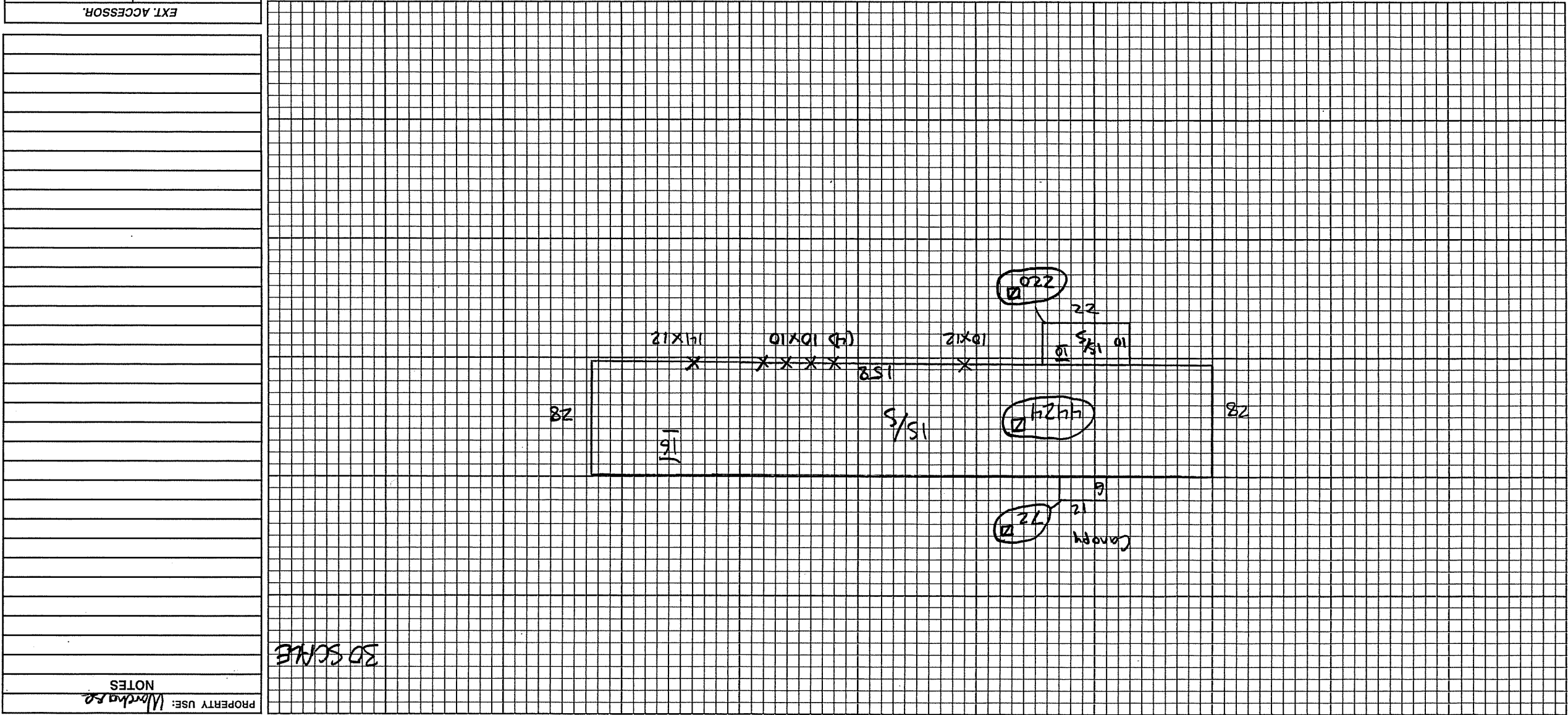
GROSS BLDG AREA: 120960

HEIGHT:	24
---------	----

HEIGHT:	24
---------	----



RECORD OF OWNERSHIP								Card 4 of 7	
OWNER	Deed Date	Date Reg	Book	Page	SRIA #	Usable	Ratio		

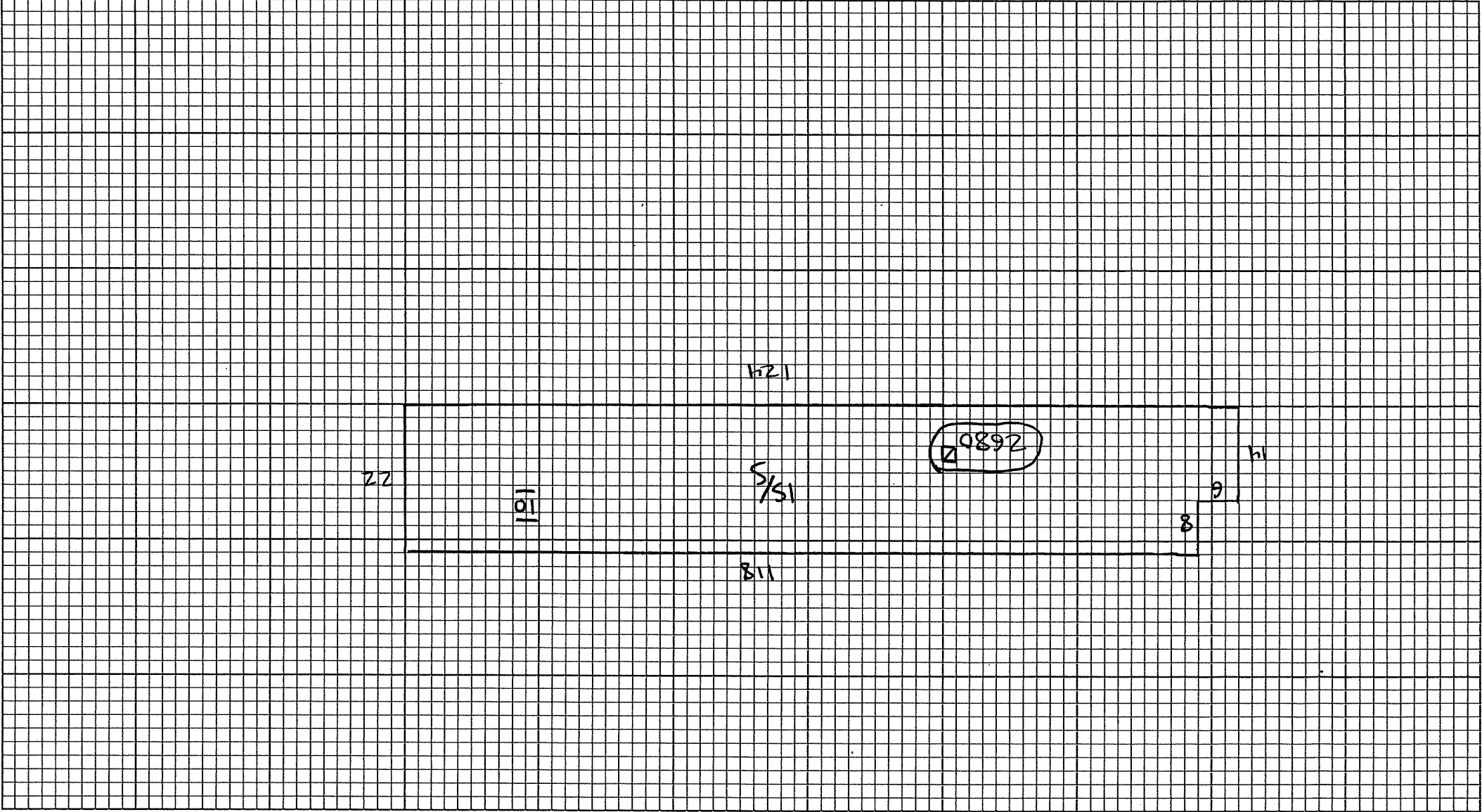


VERIFICATION OF INSPECTION:		MEASURED BY: <i>ecs</i>	DATE: <i>10/5/12</i>	INSPECTED BY: <i>ecs</i>	DATE: <i>10/5/12</i>	GROUND AREA: <i>4644</i>	GROSS BLDG AREA: <i>4644</i>	HEIGHT: <i>16</i>
EXT. ACCESSOR.		Conc. Paving	Lighting	Fences	Curbing	Islands		

[illegible]

Card 5 of 7

PROPERTY USE: Alchase NOTES



VERIFICATION OF INSPECTION:

MEASURED BY: 308

DATE: 10/5/12

INSPECTED BY: EC8

DATE: 10/5/12

GROUND AREA:
2680

GROSS BLDG AREA: 2680

HEIGHT: 10

EXT. ACCESSOR.

Conc. Paving	Lighting
--------------	----------

Black Top	Fences
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Curbing	Islands
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AS APPRAISAL SYSTEMS INC.

APPRISAL
SYSTEMS INC.

EXT. ACCESSOR.	
Conc. Paving	Lighting
Black Top	Fences
Curbing	Islands

[illegible]

Card 6 of 7

3D SCALE

2 - 01x21 - 040

PROPERTY USE: Whitmouse

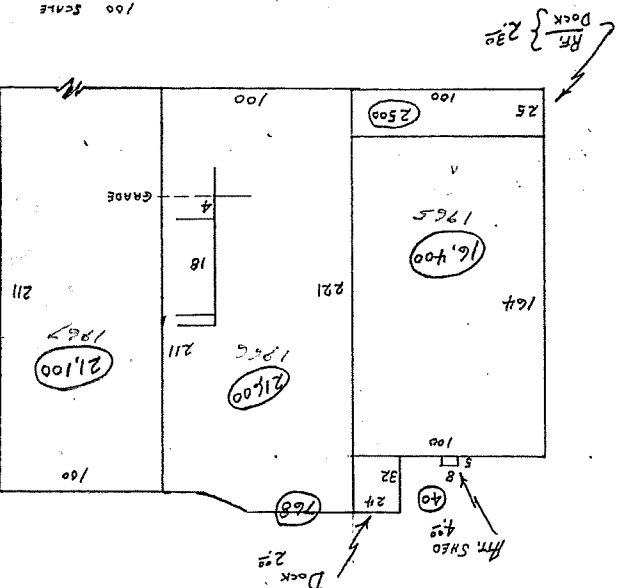
NOTES

[illegible]

OCCUPANCY	CONSTRUCTION	SIZE	AREA	GRADE	AGE	REMOD.	COND.	PHY. DEF.	FUNC. DEF.	REPLACEMENT VALUE	PHYSICAL VALUE	ACTUAL VALUE
(U) HSE & MFG	FR.	250 L.F.	1765	1965	10.45	1965	G-	10%	-	2500	2250	2250
R.B. SIDING	STL. RAWS 130		1965	1965	10.45	1965	G-	10%	-	2500	2250	2250
STORAGE SHED	FR.	16' x 28	4592	2.0	1968	1968	G	5%	-	9184	8725	8725
Auto. PAINT SHOP	C. Bk.	16' x 120	1920	3.00	1966	1966	G	5%	-	6912	6566	6565
TOTAL 279000 1783590 69815192305												
314455 BUILDING COMPUTATION 57765												
314455 BUILDING COMPUTATION 57765												
314455 BUILDING COMPUTATION 57765												

BUILDING LISTING

FOUNDATION		FLOORS			WIRING		
Concrete Walls	Cement	B	1	2	3	Knob & Tube	
✓	✓					Armored Cable	
Brick Walls	Earth					Pipe Conduit	✓
Stone Walls	Hardwood					Flue	
Plum	Pine					FIREPLACES	No
BASEMENT AREA NO		Single Fl.		Fireplaces		Artificial Fireplaces	
EXTERIOR WALLS		Rein. Conc.		Incinerator		Siding on Sheathing	
ATTIC & BSMT. FIN.		Bath Rooms		Plumbing		1 2 3	
Single Siding		Wood Shingles		Compo. Shingles		Fin. Attic Area	
Stucco on Frame		Fin. Bsm. Area		Stall Shower Extra		Two Fixture Bath	
Stucco on Tile or C.B.		Recreation Rm. Bsm.		Toilet Rooms		Stall Shower Bath	
Face Brick Veneer		Garage in Bsm.		Water Closet Extra		Lavatory Extra	
Com. Brick Veneer		Sinks Extra		Urinals		No Plumbing	
Com. Br. on Tile or C.B.		2nd		3rd		Interior Finish	
Solid Com. Brick		1		2		3	
Face Br. on Com. Br.		Pine		Hardwood		Enameled	
Comment or Chnder Bk.		Bath Floor & Walls		Bath Floor Only		Wallboard	
Cut Stone Facing		Toilet Rm. Fl. & Walls		Toilet Rm. Fl. & Walls		Plaster Bd.	
Stone or T.C. Trim		Unfin. Int.		Toilet Rm. Fl. Only		Partitions	
Plate Glass Front		L. & P. on Wood Studs		Kitchen Wainscoting		Roof	
Roof TYPE		Plast. Bd. on Studs		Plast. on Brick		Mansard Flat	
Hip		Plast. on Tile or C.B.		Plast. on Brick		Gambrel	
Roofing		Rein. Conc. Beams & Col.		Mill Construction		Asphalt Shingle	
Asphalt Shingle		Steel Framing		Steel Beams & Col.		Wood Shingle	
Wood Shingle		Int. Finish		Steel Beams & Col.		Abasos Shingle	
Abasos Shingle		Layout		Steel Joists		State	
State		Structure		Timber Beams & Col.		Roll Roofing	
Roll Roofing		Steam		Hot Water		Tar & Gravel	
Tar & Gravel		Composition / 2 x 12" 16'		Winter Air Cond.		Roof or Ceiling	
Roof or Ceiling		Pipeless		No Heating		Blanket	
Blanket		(5) SUSP. UNITS		Automatic		Storm Sash & Doors	
Storm Sash & Doors		Oil		Gas		Stoker	



OCCUPANCY DETAIL & INCOME									
NOTES									
Sale \$		19		Wall Foundation		Flat Expense Items		RENTAL CAPITALIZATION	
Cap. Impr. \$		1		Pier Foundation		Land		Floors	
Plumbing		✓		Single Siding Plyw.		Vacancy		Attic	
Heating		✓		Double Siding		Heating		Bsm. Finish	
Siding		✓		Shingle Walls		Electricity		Heating System	
Roofing		✓		Stucco on Plyw. R.F.		Janitor		Auto. Htg. Unit	
Floors		✓		Comment Bk 2 x 12 16'		Management		Fireplaces	
Structural		✓		2 x 6 Studs - 16" oc		TOTAL FLAT EXPENSES		Plumbing	
Added Apts.		✓		Fin. Int.		Gross Annual Income		Tiling	
LOCATION		✓		Comm. Floor		Less Flat Expenses		TOTAL	
Earth Floor		✓		Overhead Doors		Balance for Cap.		COST FACTOR	
Electric Lights		✓		Cap. Rate		Refiged Cap Value		REPLACEMENT VALUE	

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ADDRESS

PLATE

BLOCK

107 6111

✓

OWNER OF RECORD

DATE
OF
TRANSFER

SALES	PRICE
-------	-------

SALES
RATIO

LAND

BLDGS.

PERSONAL

PER

EMPT	VET
------	-----

TOTAL

YEAR

REAL ESTATE TAX LIST

[illegible]

BUILDING LISTING									
FOUNDATION		FLOORS		WIRING					
Concrete Walls	✓	Cement		B	1	2	3	Knob & Tube	✓
Cement Blk. Walls		Earth						Pipe Conduit	
Brick Walls		Hardwood							
Stone Walls		Pine							
BASEMENT AREA <i>N</i>		Single Fl.						FIREPLACES <i>N</i>	
1/4	1/2	3/4	F	Wood Joist	✓			Artificial Fireplace	
EXTERIOR WALLS		Rain. Conc.		✓				Inclinator	
Siding on Sheathing									
Single Siding									
Wood Shingles									
Wood Shingles									
Cambo. Shingles									
Sillaco on Frame									
Sillaco on Tilt or C.B.									
Stucco on Brick Veneer									
Face Brick Veneer									
Face Br. on Tilt or C.B.									
Com. Brick Veneer									
Com. Br. on Tilt or C.B.									
Bsm't.		1st	2nd	3rd	9 + TR's				
Perma Stone									
Solid Com. Brick									
Face Br. on Com. Br.		Pine	✓	1	2	3	TILING		
Cement or Cinder Blk.		Hardwood	✓					Bath Floor & Walls	✓
Rein. Concrete		Enamelled						Bath Floor Only	✓
Cut Stone Facing		Wallboard						Toilet Rm. Fl. & Walls	
Terra Cotta Facing		Plaster Bd.						Toilet Rm. Fl. & Walls	
Stone or T.C. Trim		Unfin. Int.						Toilet Rm. Fl. Only	
Party Walls		TRANEL	✓						
Plate Glass Front									
ROOF TYPE									
Hip		Plast. Bd. on Studs	✓					Kitchen Wallscoating	
Mansard Flat		Plast. on Brick	✓					Fireproof Const.	
Gambrel									
ROOFING									
Asphalt Shingle		Int. Finish	✓					Steel Beams & Col.	
Wood Shingle		Layout	✓					Steel Trusses	
Slate		Structure	✓					Steel or Bar Joists	
Roll Roofing		Steam							
Tar & Gravel		Hot Water							
Composition		Winter Air Cond.	✓					Passenger Elevator	
INSULATION		Hot Air						Freight Elevator	
Roof or Ceiling		Pipeless	✓					Steel Frame Sash	✓
Wall		No Heating	✓					Wood Frame Sash	
Blanket		Automatic						Fire Escapes	
Storm Sash & Doors		Oil						Buildheads	
		Gas	✓						
		Stoker							

[illegible]

ADDRESS

PLATE

149

BLOCK

LOT

13

OWNER OF RECORD

DATE
OF
TRANSFER

SALES
PRICE

SALES
RATIO

LAND

BLDGS.

PERSONAL

PER

EXEMPT
VET

TOTAL

YEAR

1175 - 54/05 -

PERMITS

LAND VALUE COMPUTATIONS

FRONTAGE
FIGURED

AVERAGE
DEPTH

UNIT
PRICE

UNIT
PER
CENT

FRONT FT.
PRICE

COR. INFL.

TOTAL

% DEPR.

VALUE

LAND RECORD

NO UTILITIES

HIGH

ROUGH

NO WATER

NO GAS

NO SWAMPY

HILLSIDE

WOODED

BRUSHLAND

DIRT STREET

SEMI-IMPR. ST.

NO SIDEWALK

REAL ESTATE TAX LIST

OCCUPANCY	CONSTRUCTION	SIZE	AREA	GRADE	AGE	REMOD.	COND.	PHY.DEP.	FUNC.DEP.	REPLACEMENT VALUE	PHYSICAL VALUE	ACTUAL VALUE
WHSF & MFG.	1 st FR.			B8T70	1965		G	2	12	\$303,180	\$297,116	\$261,460
R.R. SIDING X	STL RAILS 130#	250 L.F.		10% LF	1965 (OLD)		G-	10	-	2500	2250	2250
STORAGE SHED ✓	FR	164 X 28	4592	8.00	1968	-	G	5	-	9184	8725	8725
AUTO PAINT SHOP ✓	1 st C.BLK	16 X 120		3.60	1966	-	G	5	-	6912	6566	6566

000668	TOTAL
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BUILDING COMPUTATION		
SQ. FT.	RATE	TOTAL
16,450	3.00	49,350
2,500	2.30	5,750
768	2.00	1,536
40	4.00	160
21,600	2.85	61,560
2,100	2.85	6,010.35

[illegible]

BASE PRICE	Bsmt. Area	Walls	Roof	Insulation	Floors	Floors	Attic	Bsmt. Finish	Int. Finish	Heating System	Auto. Htg. Unit	Fireplaces	Plumbing	Tiling	TOTAL	COST FACTOR	REPLACEMENT VALUE
															178,341.	1.90	338,180

ITEM	AC	EST	RATE	ITEM
Gross Income If Fully Rented				Net Income Imputable to Land & Bldg.
Less Vacancy & Collection Loss				Land Valuation
Effective Gross Income				CAPITALIZATION RATE FOR LAND:
FLAT EXPENSE ITEMS				Base Rate
Management				Taxes
Wages				Total Land Rate
Fuel				Income Imputed to Land
Electricity & Gas				Residual Income for Bldg.
Water				CAPITALIZATION RATE FOR BLDG.:
Insurance				Base Rate
Repairs & Maintenance				Taxes
Reserve for Replacements				Total Bldg. Rate
Owner's Taxes If Fixed by Lease				Reflected Income Value of Building
Total Flat Expenses				Net Inc. Imputable to Land & Bldg.

RENTAL CAPITALIZATION

[illegible]

BUILDING LISTING									
FOUNDATION		FLOORS		WIRING					
Concrete Walls	✓	Cement	✓	Knob & Tube	3	2	1		
Cement Bk. Walls		Earth		Pipe Conduit	✓				
Brick Walls		Hardwood		FLUOR.	✓				
Stone Walls		Pine		FIREPLACES	NO				
BASEMENT AREA NO		Single Fl.		Fireplace Stacks					
%	%	%	F	Artificial Fireplaces					
EXTERIOR WALLS		Wood Joist		Inchometer					
Siding on Sheathing		✓		PLUMBING		1	2	3	
Single Siding				BATH ROOMS					
Wood Shingles		ATTIC & BSMT. FIN. NO		Sill Shower Bath					
Compd. Shingles		Fin. Attic Area		Two Fixture Bath					
Stucco on Frame		Fin. Bsmt. Area		Sill Shower Extra					
Stucco on Tile or C.B.		Recreation Rm. Bsmt.		Water Closet Extra		2			
Face Brick Veneer		Garage in Bsmt.		Lavatory Extra		2			
Face Br. on Tile or C.B.				Sinks Extra					
Com. Br. on Tile or C.B.		Bsmt.		Urinals		2			
Perma Stone		2nd		No Plumbing					
PLYWD. w/FIBRG LPS	✓	INTERIOR FINISH							
Solid Com. Brick		1 2 3		TILING		NO			
Face Br. on Com. Br.				Bath Floor & Wains.					
Cement or Chimer Bk.				Bath Floor & Walls					
Enameled				Bath Floor Only					
Wallboard				Toilet Rm. Fl. & Wains.					
Plaster Bd.				Toilet Rm. Fl. & Walls					
Unfn. Inf.				Toilet Rm. Fl. Only					
Plate Glass Front		PARTITIONS MINOR		Sill Shower					
ON & XRS. 13" x 19" High		L. & P. on Wood Studs		Kitchen Wainscoting					
ROOF TYPE		Plast. Bd. on Studs		MISCELLANEOUS					
Mansard Flat PLYWD.		Plast. on Brick		Fireproof Const.					
Gambrel				Mill Construction					
ROOFING		CONDITION		Steel Frame					
Asphalt Shingle		G F P		Steel Bottoms & Col. 8" x 12" SPAN					
Wood Shingle		Layout		Steel or Bar Joists					
Shale		Structure							
		HEATING		Timber Beams & Col.					
Roll Roofing				Sprinkler System					
Tar & Gravel		Hot Water		Passenger Elevator					
Composition 2 X 2 1/2 16" OC	✓	Winter Air Cond.		Freight Elevator					
		Hot Air							
Roof or Ceiling		Pipeless		Steel Frame Sash					
Wall		No Heating		Wood Frame Sash					
Blanket		(4) 50SP UNITS		Fire Escapes					
		Automatic		Unit Conv.					
		Unit		Bulkheads					
		Gas		Stoker					

CODE NO. 109

18 Burns Avenue

75

6111

13

BLDG. DESCRIP.

SALES PRICE	SALES RATIO
-------------	-------------

SALES
RATIO

SALES		PRICE	
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
8	100	100	100
9	100	100	100
10	100	100	100
11	100	100	100
12	100	100	100
13	100	100	100
14	100	100	100
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90	100	100	100
91	100	100	100
92	100	100	100
93	100	100	100
94	100	100	100
95	100	100	100
96	100	100	100
97	100	100	

LAND

BLDGs,

PERSONAL

EXEMPT	DET
--------	-----

TOTAL

YEAR _____

OF
TRANSFER

SALES		PRICE	
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
8	100	100	100
9	100	100	100
10	100	100	100
11	100	100	100
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93	100	100	100
94	100	100	100
95	100	100	100
96	100	100	100
97	100	100	

SALES
RATIO

LAND

BLDGs,

PERSONAL

EXEMPT	DET
--------	-----

TOTAL

YEAR _____

LAND VALUE COMPUTATIONS

3-1 ZONE

AVERAGE DEPTH

UNIT
PER
CENT

FRONT FT.
PRICE

COR. INFL.

TOTAL

FACTOR

VALUE

BLDG. PERMIT:

STREET

TOPOGRAPHY

Sidewalk

1

ре

5040

Electricity

509

5040

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

Rolling

407

481H

18 Burns Avenue

75

LOT 13

BLDG. DESCRIP.

OWNER OF RECORD

LAND

PERSONAL

EXEMPT	VET
--------	-----

YEAR

[illegible]

PERMITS

LAND VALUE COMPUTATIONS

ZONE I-3

[illegible]

BLDG. PERMIT:		STREET		TOPOGRAPHY	
	Paved		Water		Level
	Semi-Improved		Sewer		High
	Dirt		Gas		Low
	Sidewalk		Electricity		Rolling
	Curb		All Utilities		Swampy

OCCUPANCY		CONSTRUCTION	SIZE	AREA	GRADE	USE	REMOD.	COND.	PHY. DEF.	FUNC. DEF.	REPLACEMENT VALUE	PHYSICAL VALUE	ACTUAL VALUE
WHSE # MFG		15 FR	100 X 211	3808	BB+70	1969	-	G	2	-17	102,230	100,185	83,155
STORAGE SHED 26x45		15 FR	131 X 28	3808	2.00	1969	-	G	5		7616	7235	7235
STORAGE SHED (ADD)		15 FR	32 X 24	768	2.50	1979	-	G	5		1920	1824	1825
ANTI POL. EQUIP		* EXEMPT									17600	17600	17600
STORAGE BLDG 26x45		15 FR	38 X 154	4312	5.00	1985		G	5		21560	20482	20480

BUILDING LISTING													
FOUNDATION		FLOORS		WIRING		ATTIC & BSMT. FIN. NO		BATH ROOMS		PLUMBING NO 1 2 3		SLIDING ON SHEATHING	
Concrete Walls	✓	Cement	✓	Knob & Tube	3	B	1 2 3	Bath Rooms					
Cement Bk. Walls	✓	Armored Cable	✓					Two Fixtures Bath					
Brick Walls		Pipe Conduit	✓					Stall Shower Extra					
Stone Walls		Hardwood	✓					Toilet Rooms					
Plaster		Pine						Garage in Bsmt.					
BASEMENT AREA NO		Single Fl.		Fireplace Stacks		Fireplaces		Lavatory Extra		Sinks Extra		Com. Brick Veneer	
1/2	F	Wood Joist		Artificial Fireplaces		Rein. Conc.	✓	Urinals		No Plumbing		Com. Br. on Tile or C.B.	
EXTERIOR WALLS												Perma Stone	
Solid Com. Brick		Pine		Bath Floor & Walls.		Hardwood	✓	Bath Floor Only		Enamelled		Cut Stone Facing	
Face Br. on Com. Br.								Toilet Rm. Fl. & Walls		Wallboard		Terra Cotta Facing	
Comment or Chnder Bk.								Toilet Rm. Fl. & Walls		Plaster Bd.		Stone or T.C. Trim	
Party Walls								Toilet Rm. Fl. Only		Unfin. Int.		Plate Glass Front	
PARTITIONS		L. & P. on Wood Studs		Kitchen Wainscoting		Stall Shower		MISCELLANEOUS		ROOF TYPE		ROOFING	
Plast. Bd. on Studs		Plast. on Tile or C.B.		Fireproof Const.		Mill Construction		Rein. Conc. Beams & Col.		Steel Framg		Asphalt Shingle	
Layout	✓	Steel Trusses	W/90 S/P/A	Steel or Bar Joists		Structure	✓	Steel Beams & Col.	10'0"	Int. Finish		Wood Shingle	
Condition	G F P	Steel Framg	10'0"	Less Vacancy & Collection Loss		Effective Gross Income		FLAT EXPENSE ITEMS		State		Asbestos Shingle	
HEATING		Timber Beams & Col.		Management		Wages		Fuel		Electricity & Gas		Water	
Steam		Sprinkler System	✓					Total Land Rate		Income Imputed to Land		Residual Income for Bldg.	
Hot Water		Passenger Elevator						Base Rate		Taxes		Capitalization Rate for Land.	
Winter Air Cond.		Freight Elevator						Net Income Imputable to Land & Bldg.		Land Valuation		Capitalization Rate for Bldg.	
Hot Air		Hot Water						Insurance		Repairs & Maintenance		Reserve for Replacements	
Fl. or Wall Furn.		Pipeless						Owner's Taxes If Fixed by Lease				Total Flat Expenses	
No Heating		Steel Frame Sash	110					Net Inc. Imputable to Land & Bldg.				Total Flat Expenses	
Blanket		5 SUSP. UNITS	✓										
Storm Sash & Doors		Automatic	Unit Conv.										
		Oil											
		Gas											
		Stoker											

Asphalt Shingle		G		F		P		Steel Frame		Steel Beams & Col.		Rdn. Conc. Beams & Col.		Mill Construction		Fireproof Const.		Plast. on Brick		Flat Plywood		Gambrel	
Wood Shingle		Int. Finish		✓		✓		Steel Trusses		Steel Beams & Col. 3" 20'0"		Steel Trusses		Steel or Bar Joists		Structure							
Asbestos Shingle		Layout		✓		✓		W/50.5PAH															
State		Structure		✓		✓																	
		HEATING								Timber Beams & Col.													
Roll Roofing		Hot Water						Sprinkler System		✓		Fuel		Wages		Management							
Tar & Gravel		Winter Air Cond.						Passenger Elevator				Electricity & Gas		Income Imputed to Land		Total Land Rate		Taxes		Bmnt. Finish			
Composition		Hot Air						Freight Elevator				Water		Residual Income for Bldg.		CAPITALIZATION RATE FOR LAND:		Base Rate		Int. Finish			
INSULATION		Fl. or Wall Furn.										Insurance		Repairs & Maintenance		CAPITALIZATION RATE FOR BLDG.		Taxes		Plumbing			
Roof or Ceiling		Pipeless						Steel Frame Sash		No		Reserve for Replacements		Owner's Taxes If Fixed by Lease						Tiling			
Blanket		No Heating		✓		✓		Wood Frame Sash		✓		Fire Escapes		Bulkheads									
		5 50SP UNITS										Unit Conv.											
Storm Sash & Doors		Automatic		✓		✓																	
		Gas																					
		Stoker																					
		Net Inc. Imputable to Land & Bldg.																					
ITEM		AC		EST		RATE		ITEM		Gross Income If Fully Rented		Less Vacancy & Collection Loss		Effective Gross Income		FLAT EXPENSE ITEMS		Base Rate		Taxes		Total Land Rate	
ITEM								Land Valuation		CAPITALIZATION RATE FOR LAND:		CAPITALIZATION RATE FOR BLDG.		Residual Income for Bldg.		Base Rate		Taxes		Plumbing		Tiling	
Roof		Insulation						FLOORS		FLOORS		FLOORS		FLOORS		FLOORS		FLOORS		FLOORS		FLOORS	
REPLACEMENT VALUE		COST FACTOR		+70		60.135		+42.095		100.230													