

CONSERVATION EASEMENT
AS REQUIRED BY NIDEP
CAFRA PERMIT #1506-90-0003.
EASEMENT LINE REFERENCE:
MCSWEENEY & DREWS
PLAN ENTITLED
"PRELIMINARY & FINAL SITE PLAN
WOODS OF LAUREL
BLOCK 1210.15 LOT 2"
DATED: 12-26-84 REVISED 10-23-95

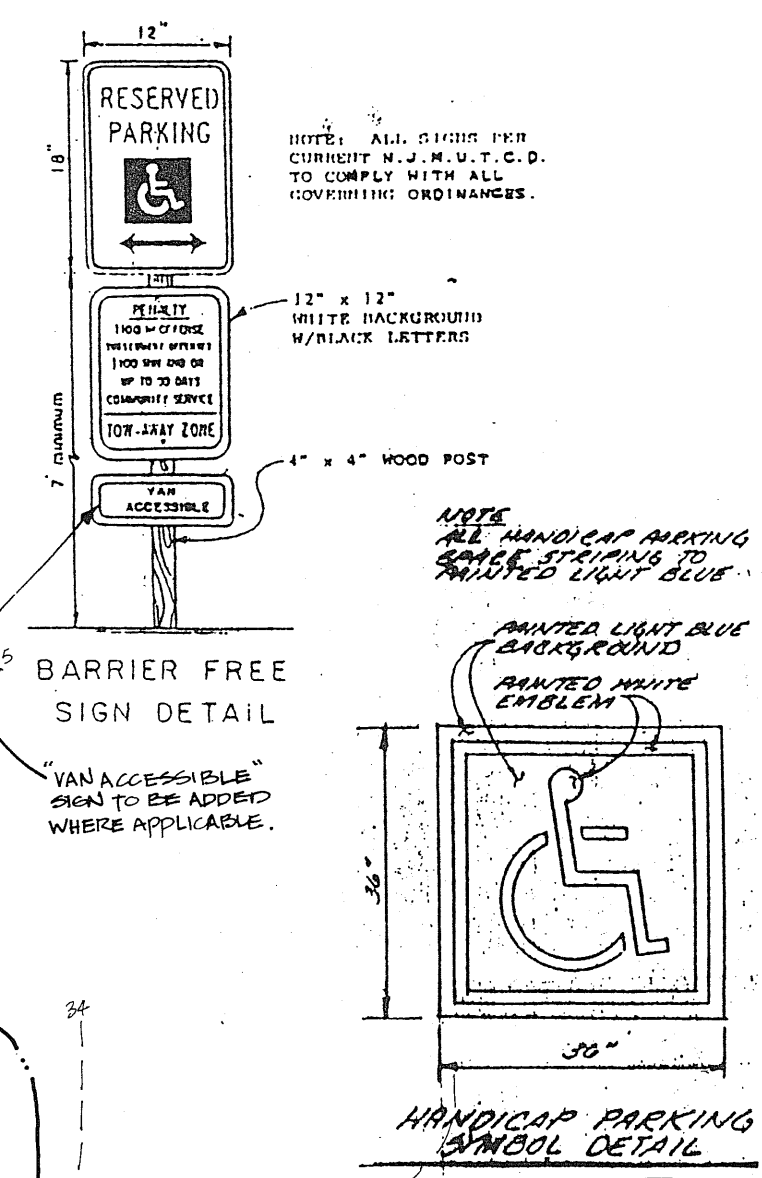
1. PROJECT SITE TO BE MODIFIED AS INDICATED WITHIN THESE PLANS. ALL OTHER ASPECTS OF THIS PROJECT SHALL BE AS DESIGNED BY OTHERS. SEE THE FOLLOWING NOTES. ALL SITE CONSTRUCTION DETAILS SHALL CONFORM TO THOSE AS SPECIFIED BY NOTE 2 BELOW.

2. FOR ANYWAY, GRADING, DRAINAGE, WATER UTILITIES AND SANITARY SEWER SYSTEMS, ALIGNMENTS AND DETAILS SHALL BE PER DESIGN FIRM ENTITLED "TREUMAYER AND FINAL SITE PLANS OF LAUREL" PREPARED BY MCGWENNEY & DREWES, ROBERT M. MANNIX (P.E. #JC 53019, DATED 2-6-2009), LARS L. DREWES (P.E. #JC 225-0959), AND LARS L. DREWES (P.E. #JC 225-0959), APPROVED BY THE TOWNSHIP OF ZORN BORDING ON 12-28-1995.

3. ADDITIONAL SITE MODIFICATIONS ALONG WITHIN THE COUNTY HIGHWAY-OF WAY BURNETT TURNPIKE ROAD SHALL BE PER DESIGN FIRM ENTITLED "TREUMAYER AND FINAL SITE PLANS OF LAUREL" PREPARED BY MCGWENNEY & DREWES, ROBERT M. MANNIX (P.E. #JC 53019, DATED 2-6-2009), LARS L. DREWES (P.E. #JC 225-0959), AND LARS L. DREWES (P.E. #JC 225-0959), APPROVED BY THE TOWNSHIP OF ZORN BORDING ON 12-28-1995.

4. ALL SIGNS SHALL BE PER THE DESIGN BY OTHERS. REFER TO NOTE 2 ABOVE.

5. ANYTHING NOT INDICATED HEREON OR OTHERWISE SHALL BE PER THE DESIGN BY OTHERS.



DETENTION BASIN

PROPOSED 100 YR FLOOD ELEV. 39.35
BASED ON CONTRIBUTING AREA OF 11.17 AC.
OUTFLOW Q:

S80°19'09"E Lc=236.57'
R=2050.00' A=236.70'
DLT=26.82615'

APPROVED BY THE TOWNSHIP
OF BRICK ZONING BOARD.

STEVEN J. JAMES 8/1/97
 ZONING BOARD CHAIRMAN DATE
 CHRISTINE SAPA 8/21/97
 ZONING BOARD SECRETARY DATE
 SARA KLEN 7/22/97
 ZONING BOARD ENGINEER DATE

OWNER / APPLICANT:

WOODS AT LAUREL, INC.
317 BRICK BLVD.
BRICK NEW JERSEY 08723
OWNERSHIP PERCENTAGES:
MARK FISCH, PRESIDENT 10.07%
ERWIN FISCH, V. PRESIDENT 10.07%
STEVEN FISCH, SECRETARY 10.07%
LENNY WILF 10.07%
ZIGGY WILF 10.07%
MARK WILF 10.07%

LEGEND

EXIST CONTINGENT
 PEOPLE'S CONTINGENT
 EXIST POINT GRADE
 PEOPLE'S POINT GRADE
 EXIST PASSENGER DRIVER
 W/ MANUELS
 PEOPLE'S PASSENGER DRIVER
 W/ MANUELS
 EXIST FREIGHT DRIVER
 W/ MANUELS AND BROWN
 PEOPLE'S FREIGHT DRIVER
 W/ MANUELS AND BROWN
 EXIST TRUCK LINE
 PEOPLE'S TRUCK MANUELS
 LINE AND CONFORMANCE LINE
 EXIST UTILITY FLOW
 EXIST FINE HYDRAUT
 PEOPLE'S FINE HYDRAUT
 EXIST CONFORMANCE FLOW
 SON'S BORING AND NO
 PERMANENTLY TEST W/ NO
 PEOPLE'S TRAFFIC FLOW
 400 YEAR FLOW EVOLUTION
 BUILDING FLOW

GRAPHIC SCALE 1"=40'

IN GENERAL, WRITTEN FIGURES SHALL BE USED AS A PREFERENCE TO SCALING PLAN.

Note: All existing utilities shown hereon are located as accurately as possible, however the Contractor is hereby notified that prior to construction, it is the Contractor's responsibility to verify location of all affected utilities of the project site. The Engineer assumes NO responsibilities for exactness of vertical or horizontal survey of utilities.

WSB engineering group, p.a.

Weinert * Smilgins * Baer
engineering * environmental planning * surveying * landscape architecture
1018 Schenck's Mill Line Road, Toms River, New Jersey 08052-1003 • FAX (908) 505-8940

Prepared under the supervision of:
FRANK J. BAER,
NJPE 28776 NJPP 02801

AMENDED SITE PLAN
WOODS of LAUREL
TAX LOT 2 BLOCK 1210.15
TAX MAP SHEET 63 LAST REVISED 12-31-1989

OCEAN COUNTY		BRICK TOWNSHIP	NEW JERSEY	
des. KG	date MARCH 1996	scale	1" = 40'	
dwn. KG		job no.	1805186D	
chk.	sheet 2 of 5	dwn. no.	61892	D

CONSERVATION EASEMENT AS REQUIRED BY NDEP
CAPRA PERMIT #1506-90-0003.1
EASEMENT LINE REFERENCE:
MCKENNEY & DREWES
PLAN ENTITLED
"PRELIMINARY & FINAL SITE PLAN"
WOODS OF LAUREL
BLOCK 120.15 LOT 2
DATED: 12-26-84 REVISED 10-23-85

WETLANDS LINE
BUFFER LINE
LIMIT OF GRADING (TYP.)
LIMIT OF CLEARING & DISTURBANCE (TYP.)

IRIS WAY
CARNATION DRIVE
ZINNIA COURT
ADOLAH DRIVE

DETENTION BASIN
VOLUME & LOCATION TO BE PER DESIGN BY OTHERS
PROPOSED 100 YR FLOOD ELEV. 39.35
BASED ON CONTRIBUTING AREA OF 11.7 AC
OUTFLOW ON...
Q100 = 25 CFS @ 30'
Q10 = 10 CFS @ 20'
Q5 = 1.5 CFS @ 10'

PROJECT SITE DESIGN NOTES:

- PROJECT SITE TO BE MODIFIED AS INDICATED WITHIN THESE PLANS. ALL OTHER ASPECTS OF THIS PROJECT SHALL BE AS DESIGNED BY OTHERS. SEE THE FOLLOWING NOTES. ALL SITE CONSTRUCTION DETAILS SHALL CONFORM TO THOSE AS SPECIFIED BY NOTE 2 BELOW.
- THE ROADWAY, GRADING, DRAINAGE, WATER SUPPLY AND SANITARY SEWER SYSTEMS, ALIGNMENTS AND DETAILS SHALL BE PER DESIGN PLANS ENTITLED "PRELIMINARY AND FINAL SITE PLANS WOODS OF LAUREL" PREPARED BY MCKENNEY & DREWES, ROBERT M. MANNIK III, P.E., NJPE 33019, DATED 12-28-1989, LAST REVISED 10-23-1995, CONTAINING 15 SHEETS, FILE #8510BH, APPROVED BY THE TOWNSHIP OF DRICK, ZONING BOARD ON 12-12-1995.
- ADDITIONAL SITE MODIFICATIONS ALONG AND WITHIN THE COUNTY RIGHT-OF-WAY OF BURNT TAVERN ROAD SHALL BE PER DESIGN PLAN ENTITLED "OFFSITE IMPROVEMENT PLAN WOODS OF LAUREL" PREPARED BY SCHOOK DEPALMA, ROBERT M. MANNIK III, P.E., NJPE 33019, DATED 12-12-1995, NO REVISIONS, CONTAINING 1 SHEET, FILE #8510D.
- ALL SIGNS SHALL BE PER THE DESIGN BY OTHERS REFER TO NOTE 2 ABOVE.
ALL SIGNS INDICATED WITHIN AMENDED AREA SHALL BE PER DETAILS OF DESIGN BY OTHERS.

RESERVED PARKING
12' x 12' WHITE BACKGROUND W/BLACK LETTERS
4' x 4' WOOD POST
VAN ACCESSIBLE SIGN DETAIL
HANDICAP PARKING SYMBOL DETAIL

HANDICAP PARKING SYMBOL DETAIL
30"

CL. MON. 76+57.54
CL. INT. 79+12.54
CL. INT. 82+56.54
PC 82+66.10
ROAD PC 50.00
PC MON. 50.00

[illegible]

PLAN OF WATER MAIN EXTENSION
SCALE: 1"=60'

TEMPORARY SALES AREA DETAIL
SCALE: 1"=40'

OCEAN COUNTY PLANNING BOARD
FINAL SITE PLAN APPROVAL
DATE 5/15/96
[Signature]
CHAIRMAN

THIS IS TO CERTIFY THAT THE WATER AND SEWER MAIN DESIGN
CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK
TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.

Tariq M. S. Siddiqui 7/28/97
TARIQ M. S. SIDDIQUI, P. E. DATE
DIRECTOR OF ENGINEERING