

PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS
BLOCK 40.05, LOT 1 1

1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097
OWNER: KALPESH SHAH
330 ROYAL COURT
ELLICOT CITY, MD 21043
APPLICANT: SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND BE SOLELY RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE STARTING WORK. THE CONTRACTOR WILL BE HELD TO HAVE EXAMINED THE ENTIRE JOB SITE TO BECOME FAMILIAR WITH AND BE SATISFIED AS TO THE CONDITIONS UNDER WHICH THEY WILL BE OBLIGED TO OPERATE IN PERFORMING THE WORK. BY ENTERING INTO AGREEMENT WITH OWNER, THE GENERAL CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE JOBSITE, FAMILIARIZED THEMSELVES WITH EXISTING CONDITIONS AND NOTED ANY DISCREPANCIES WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE RELATING TO THE WORK OF EACH TRADE. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE OR EXTENSION OF TIME DUE TO CONTRACTOR'S FAILURE OR NEGLIGENCE IN COMPLETELY EXAMINING THE JOBSITE.
3. GENERAL CONTRACTOR SHALL CHECK PLANS AGAINST STATE & LOCAL CODES. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS, LAWS, RULES, REGULATIONS, AND ORDINANCES OF FEDERAL, STATE, COUNTY, OR AUTHORITIES RELATING THERETO. NO WORK SHALL BEGIN AT THE SITE UNTIL APPLICABLE APPROVALS AND REQUIRED PERMITS HAVE BEEN OBTAINED COVERING SUCH WORK.
4. THE GENERAL CONTRACTOR SHALL ENSURE INSTALLATION METHODS CONFORM TO APPLICABLE BUILDING CODES. CONTRACTOR TO VERIFY ALL MATERIALS W/ MANUFACTURER PRIOR TO PROCUREMENT OF MATERIALS FOR COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS. ANY FEES ASSOCIATED WITH VERIFICATIONS FAILURE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
5. GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE OWNER FROM DAMAGE AND MAKE GOOD ANY INJURY OR LOSS ARISING IN CONNECTION WITH THEIR WORK. ANY DAMAGE TO NEW AND/OR EXISTING CONSTRUCTION, BUILDING STRUCTURE, OR EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. DAMAGE TO WORK SHALL BE REPAIRED BY THE TRADE WHOSE WORK IS DAMAGED AND CHARGED TO THE PARTY RESPONSIBLE FOR SAID DAMAGE.
6. GENERAL CONTRACTOR SHALL PROTECT AND STORE ALL FIXTURES AND HARDWARE AS WELL AS OTHER EQUIPMENT SPECIFIED HEREIN FOR THE DURATION OF THE JOB. CONTRACTOR SHALL CARRY ALL INSURANCE REQUIRED BY ANY LOCAL CODES IN ADDITION TO ADEQUATE FIRE INSURANCE, GENERAL LIABILITY INSURANCE, EMPLOYER'S LIABILITY INSURANCE, AND WORKMEN'S COMPENSATION IN AN AMOUNT AND CARRIER SATISFACTORY TO THE OWNER AND ENGINEER.
7. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES FOR WATER, DRAINAGE, GAS, HEATING, ELECTRICAL SERVICE, ETC. AS MAY BE REQUIRED AND WHERE APPLICABLE.
8. THE CONTRACTOR IS WHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK OF ALL SUBCONTRACTORS, CRAFTSMEN, AND TRADESMEN REQUIRED TO COMPLETE THE JOB. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REINFORCING, BOLT SETTINGS, SLEEVES, ETC.
9. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH STANDARD PRACTICE AND THE 2018 UCC, NEW JERSEY EDITION.
10. WHERE THE CONTRACT, NOTES, OR DRAWINGS CALL FOR WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR OTHER DEPARTMENT(S) HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MOST STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES, OR DRAWINGS SHALL BE FURNISHED IN ALL CASES.
11. THESE DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS.
12. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THEY CANNOT COMPLY WITH ALL REQUIREMENTS CALLED FOR ON THE DRAWINGS.
13. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, NOTES, AND FIELD CONDITIONS, AND REQUEST CLARIFICATION BEFORE COMMENCING WORK.

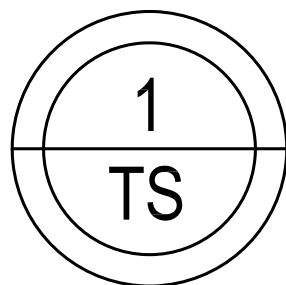
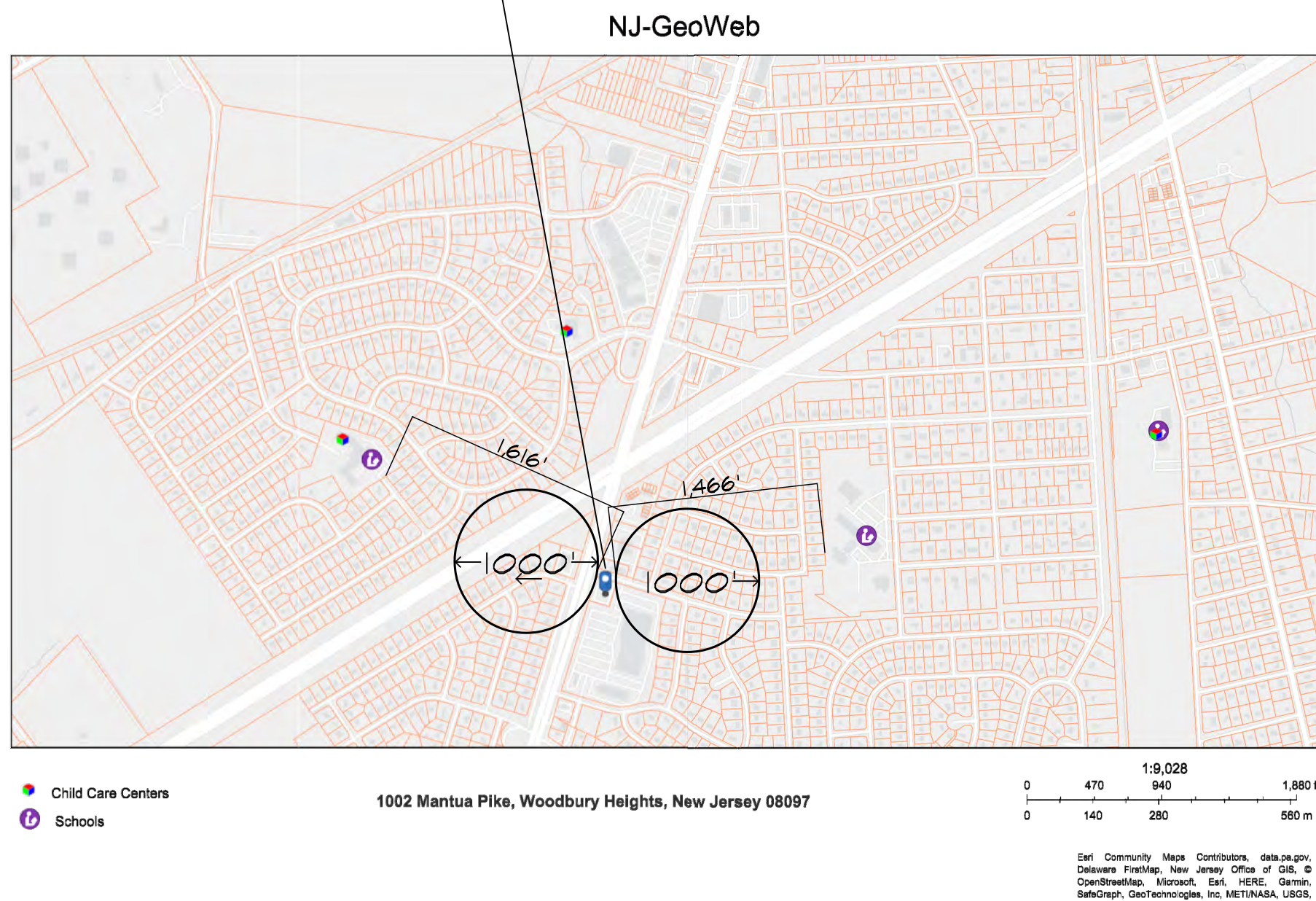
14. THE GENERAL CONTRACTOR, SUBCONTRACTORS, AND ANY OTHER CONTRACTORS INVOLVED IN THE PROJECT SHALL TAKE NOTE THAT ANY COSTS DUE TO DEFECTIVE AND/OR ILL-TIMED WORK AS A RESULT OF, BUT NOT LIMITED TO, INTERIOR WORKMANSHIP OR MATERIALS AND/OR IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE CONTRACTOR.
15. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF THEIR OWN AND THEIR SUBCONTRACTORS WORK FROM THE JOBSITE DAILY.
16. THE CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL TO PREVENT DIRT/DUST FROM LEAVING THE JOBSITE.
17. THE CONTRACTOR SHALL PAY ALL RELATED TRANSPORTATION CHARGES ON ALL MATERIAL AND EQUIPMENT TO THE POINT OF USE AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING, AND STORING OF SAME IN CONNECTION WITH THE CONTRACT.
18. ALL WORK LISTED, SHOWN OR IMPLIED ON CONSTRUCTION DOCUMENTS, OR REQUIRED TO COMPLETE THE INSTALLATION OF WORK, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
19. ALL WORK AND MATERIALS SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM ACCEPTANCE OF PROJECT/COMPLETION OF PUNCH LIST ITEMS BY THE OWNER, UNLESS NOTED OTHERWISE.
20. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF THE PROJECT BY THE OWNER, UNLESS NOTED OTHERWISE.
21. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS. NOTIFY ARCHITECT IN CASE OF ANY DISCREPANCIES OR CLARIFICATIONS BEFORE PROCEEDING WITH WORK.
22. REVISIONS TO WORK REQUIRED BY LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO ATTENTION OF OWNER AND ARCHITECT BEFORE PROCEEDING.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ON-SITE LIFE SAFETY EQUIPMENT AND SYSTEMS AS REQUIRED BY STATE, LOCAL BUILDING CODES/AUTHORITIES. CONTRACTORS MUST COMPLY WITH ALL STATE AND FEDERAL OSHA SAFETY REGULATIONS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOBSITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
25. THE SCOPE OF THE PROJECT INCLUDES ALL WORK SHOWN OR REASONABLY INFERRED ON THE DRAWINGS TO BE PERFORMED BY THE GENERAL CONTRACTOR AND QUALIFIED SUBCONTRACTORS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONSISTENT WITH THE INTENT OF DESIGN.
26. ARCHITECT/ENGINEER NOT RESPONSIBLE FOR CHANGES NOT SHOWN ON DRAWINGS.

PROPERTY DESCRIPTION

STATE	COUNTY	CITY / TOWN
NJ	GLOUCESTER	WOODBURY HTS.

CODE ANALYSIS <NJ U.C.C. 2021>

LOCATION



SITE LOCATION MAP

SCALE: N.T.S.

Selected Parcel(s)

Municipality	Block	Lot	Qualifier	Address	Owner Name	Owner Address	Owner CSZ	Additional Lots
Woodbury Heights Borough	40.05	11		1002 MANTUA PK	HUDSON CITY SAVINGS BANK/ M&T BANK	ONE M&T BANK PLAZA 16TH F	BUFFALO, NY 14203	

Adjoining Properties (9)

Municipality	Block	Lot	Qualifier	Address	Owner Name	Owner Address	Owner CSZ	Additional Lots
West Deptford Township	500.11	13		1 BISCAYNE BLVD	CLAYTON, ROBERT J & JACQUELINE JP	1 BISCAYNE BLVD	WEST DEPTFORD, NJ 08096	
West Deptford Township	500.11	14		2 MALIBU LN	SIMS, BRIAN W & GILBERT, ROBERT C	2 MALIBU LN	WOODBURY, NJ 08096	
West Deptford Township	500.16	26		1007 MANTUA PK	1007 MANTUA PIKE LLC	1 ROSE AVE	STATEN ISLAND, NY 10306	
West Deptford Township	500.16	26.01		1001 MANTUA PK	WEST DEPTFORD TOWNSHIP	400 CROWN POINT RD	WEST DEPTFORD, NJ 08066	
Woodbury Heights Borough	40.05	10		1006 MANTUA PK	OAK VALLEY PLAZA INC	200 CONGRESS PK DR ST 205	DELRAY BEACH, FL 33445	
Woodbury Heights Borough	40.14	19		998 MANTUA PK	SAI & SAI LLC	15 CHAMBORD LN	VOORHEES, NJ 08043	
Woodbury Heights Borough	40.14	20.01		105 CENTRAL AVE	FROMBACH, JAMES E & MARGARET M	105 CENTRAL AVE	WOODBURY HTS, NJ 08097	
Woodbury Heights Borough	40.14	20.02		109 CENTRAL AVE	SCHAUB, MICHAEL E	109 CENTRAL AVE	WOODBURY HTS, NJ 08097	
Woodbury Heights Borough	40.14	21		996 MANTUA PK	DHILLON PROPERTIES LLC	996 MANTUA PK	WOODBURY HTS, NJ 08097	

(a) Plan of:

Lot Section Map Zone

Date Scale

Application

(b) I CONSENT TO THE FILING OF THIS PLAN WITH THE PLANNING BOARD OF ADJUSTMENT OF THE BOROUGH OF WOODBURY HEIGHTS

(Owner) (Date)

(c) I HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAN AND THAT ALL DIMENSIONS AND INFORMATION ARE CORRECT

(Name) (Title and License No)

(d) I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION

(Borough Engineer) (Date)

(e) TO BE SIGNED BEFORE THE ISSUANCE OF A CONSTRUCTION PERMIT: I CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR A BOND POSTED IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

(If improvements installed)

(Borough Engineer) (Date)

(If bond posted)

(Borough Engineer) (Date)

(f) APPROVED BY THE PLANNING BOARD

Preliminary (Final)

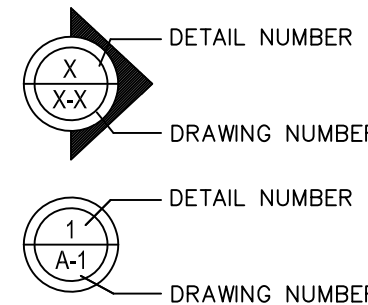
(Chairman) (Date)

(Secretary) (Date)

SHEET INDEX:

- TS TITLE SHEET, GEN. NOTES
- SDP SITE DEMOLITON PLAN
- SP SITE PLAN, ZONING INFO.
- GP GRADING PLAN
- LP LIGHTING PLAN
- LA LANDSCAPE PLAN
- D-1 DETAILS
- D-2 PROPOSED SIGNAGE
- D-3 DETAILS
- A-1 FIRST FLOOR PLAN
- A-2 EXISTING BASEMENT & SECOND FLOOR PLANS
- A-3 BUILDING ELEVATIONS

SYMBOLS



Robbie Conley Architect, LLC
596 Glassboro Road
Woodbury Heights, New Jersey, 08097
(856) -845-7500 FAX: (856) -853-0528
N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 P.A. LIC. NO. AX004265L

SHEET TITLE:
TITLE SHEET, NOTES AND
CODE INFORMATION

PROJECT
PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

OWNER
KALPESH SHAH
330 ROYAL COURT
ELLICOT CITY, MD 21043

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.

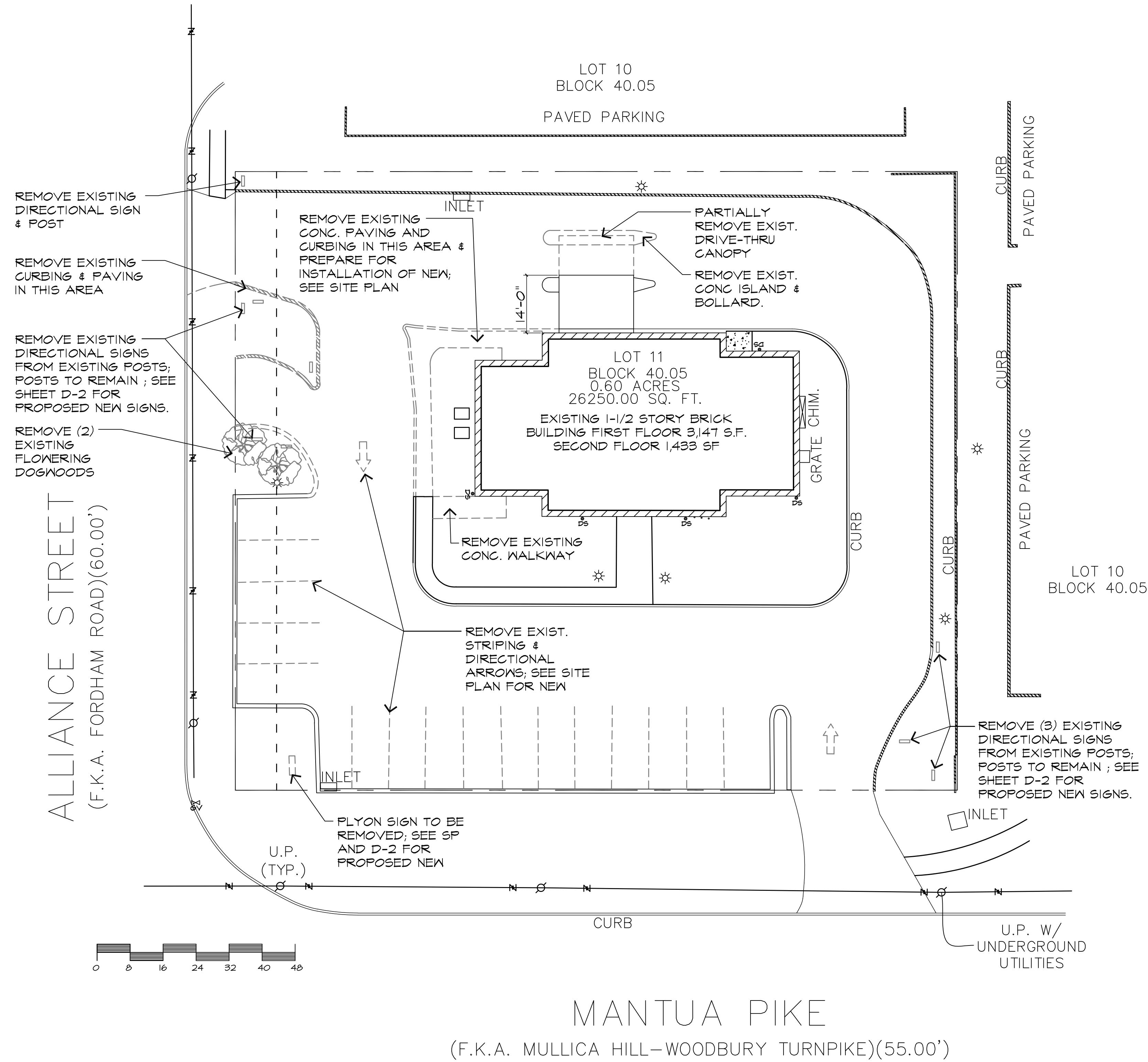
REVISIONS	DATE
ADDED SHEET GP	4/20/23
REVISED PER PROFESSIONALS' REVIEW COMMENTS	5/12/23

ISSUE DATE:
MARCH 24, 2023
DRAWN: JSD CHKD: JUC

DWG. NO.

TS
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PROJECT NO.
23005
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1
SDP

SITE DEMOLITION PLAN

SCALE: $\frac{1}{16}'' = 1'-0''$

2

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N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

SHEET TITLE:
SITE DEMOLITION PLAN

PROJECT
PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

OWNER
KALPESH SHAH
330 ROYAL COURT
ELLICOTT CITY, MD 21043

LICENSED ARCHITECTS:
ROBBIE J. CONLEY, M.A., P.P.
N.J. No. 14-1458 U-06439
JOHN S. DESZANG, M.A., P.P.
N.J. No. 14-1458 U-06438

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS
DESCRIPTION DATE
ADDED PER PROFESSIONALS' REVIEW COMMENTS 5/12/23

ISSUE DATE:
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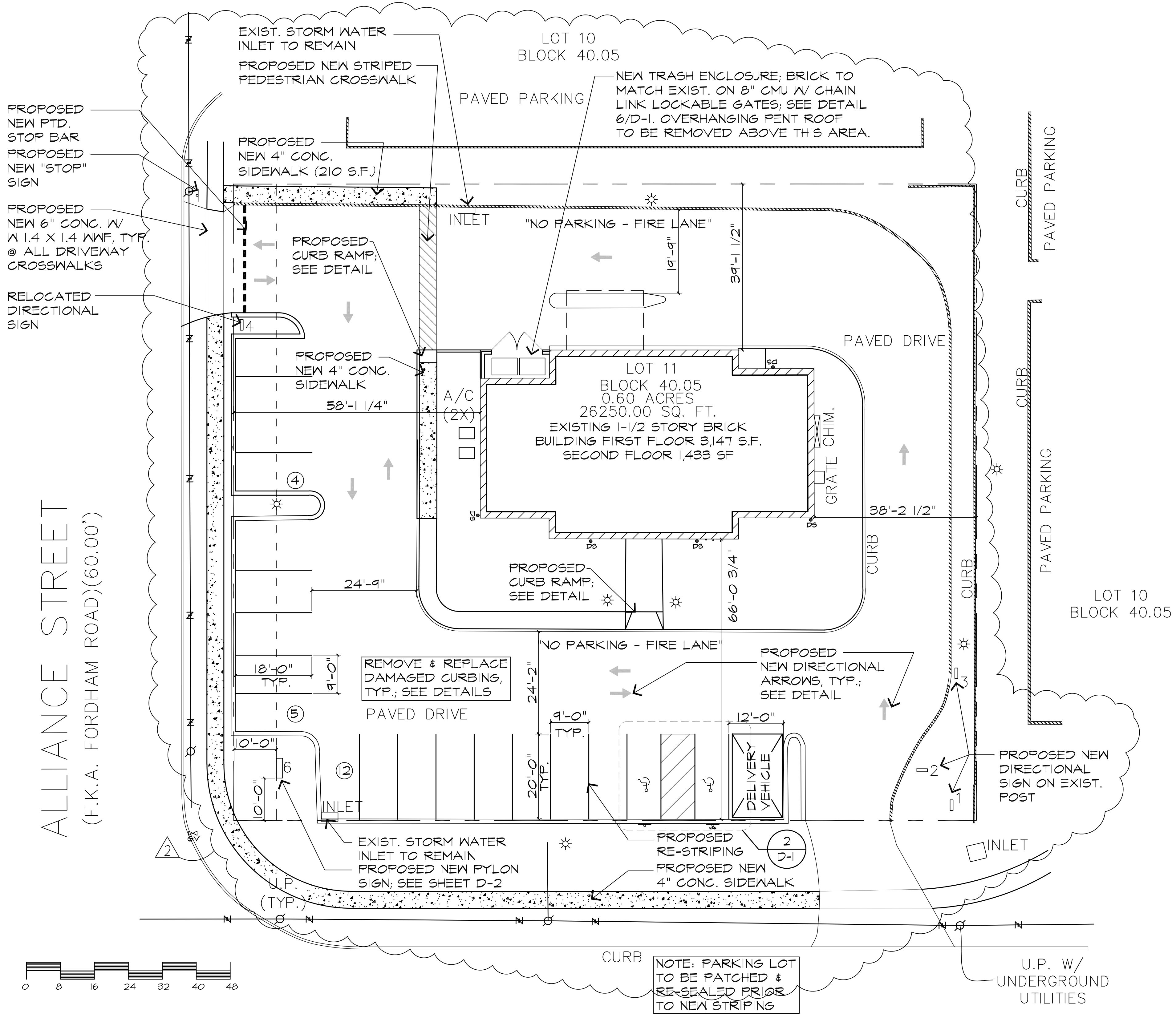
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BOROUGH OF WOODBURY HEIGHTS GENERAL ZONING INFORMATION
(HC) HIGHWAY COMMERCIAL DISTRICT

	REQUIRED/ALLOWED	EXISTING	PROPOSED
PRINCIPAL BUILDING			
MIN. LOT AREA	12500 S.F.	26,246 S.F.	UNCHANGED
MINIMUM LOT FRONTAGE	100'	MIN. 150'	UNCHANGED
MINIMUM LOT WIDTH	100'	MIN. 150'	UNCHANGED
MINIMUM LOT DEPTH	100'	MIN. 150'	UNCHANGED
YARDS			
SIDE	10'	34'	15'
FRONT	30'	MIN. 50'	UNCHANGED
REAR	25'	30'	UNCHANGED
MAXIMUM HEIGHT	35'	< 35'	UNCHANGED
ACCESSORY BUILDING			
DISTANCE TO SIDE LINE	10'	N/A	N/A
DISTANCE TO REAR LINE	10'	N/A	N/A
DISTANCE TO OTHER BUILDING	15'	N/A	N/A
BUILDING COVERAGE	50%	13.63 % (3,571 S.F.)	12.91 % (3,404 S.F.)

GENERAL NOTES:

1. NO ON-SITE CONSUMPTION OF CANNABIS, NO ON-SITE SALES OR CONSUMPTION OF ALCOHOL OR TOBACCO PRODUCTS IS PROPOSED.
2. NO OUTDOOR STORAGE OF CANNABIS OR CANNABIS RELATED MATERIALS IS PROPOSED.
3. PROPOSED HOURS OF OPERATION ARE 9 AM TO 10 PM DAILY.
4. SITE LIGHTS TO BE ILLUMINATED FROM DUSK UNTIL DAWN, AND WILL BE CONTROLLED BY PHOTOVOLTAIC SENSORS.
5. NOTE PARKING STALL DESIGNATED FOR "DELIVERY VEHICLE". DELIVERIES TO SITE WILL BE BY STANDARD-SIZED VEHICLE. 12'-0" X 20'-0" SPACE IS PROPOSED. DESIGN WAIVER IS REQUIRED FROM 10' X 60' REQUIREMENT.



1 SITE PLAN
SP SCALE: 1/16" = 1'-0"

BUILDING AREA SUMMARY
TOTAL AREA: 3,802 GROSS S.F.

USE	
RETAIL -FIRST FLOOR	3,147 S.F. GROSS
OFFICE - SECOND FLOOR	655 S.F. GROSS
TOTAL	3,802 S.F. GROSS

PARKING SPACES REQUIRED PER 70-14(G)
WOODBURY HEIGHTS ZONING ORDINANCE

USE	DESCRIPTION	SPACES REQUIRED	SPACES PROPOSED
RETAIL (CANNABIS DISPENSARY)	1 PER 200 G.S.F. -- 3,147/200 = 15.74	16	
OFFICE	1 PER 200 G.S.F. -- 655/200 = 3.28	4	
TOTAL		20	21

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SHEET TITLE
SITE PLAN, ZONING INFO.

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VIPER Area/Site

VIPER LUMINAIRE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, wiSCAPE and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles.

INSTALLATION (CONTINUED)

- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard

CONTROLS (CONTINUED)

- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with both Premium and Standard Qualified configurations. Please refer to the DLC website for specific product qualifications at <http://www.designlights.org>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020.

WARRANTY

- 5 year warranty

KEY DATA

Lumen Range	5,000-80,000
Wattage Range	36-600
Efficacy Range (LPW)	92-155
Weight lbs. (kg)	13.7-30.9 (6.2-13.9)

DATE: 10/7/2022 LOCATION: WOODBURY HEIGHTS, NJ

TYPE: W2 PROJECT: LOUD LABS

CATALOG #: VP-ST-1-36L-39-4K7-4F-(VOLTAGE)-WM

MICROSTRIKE | STRIKE



Current

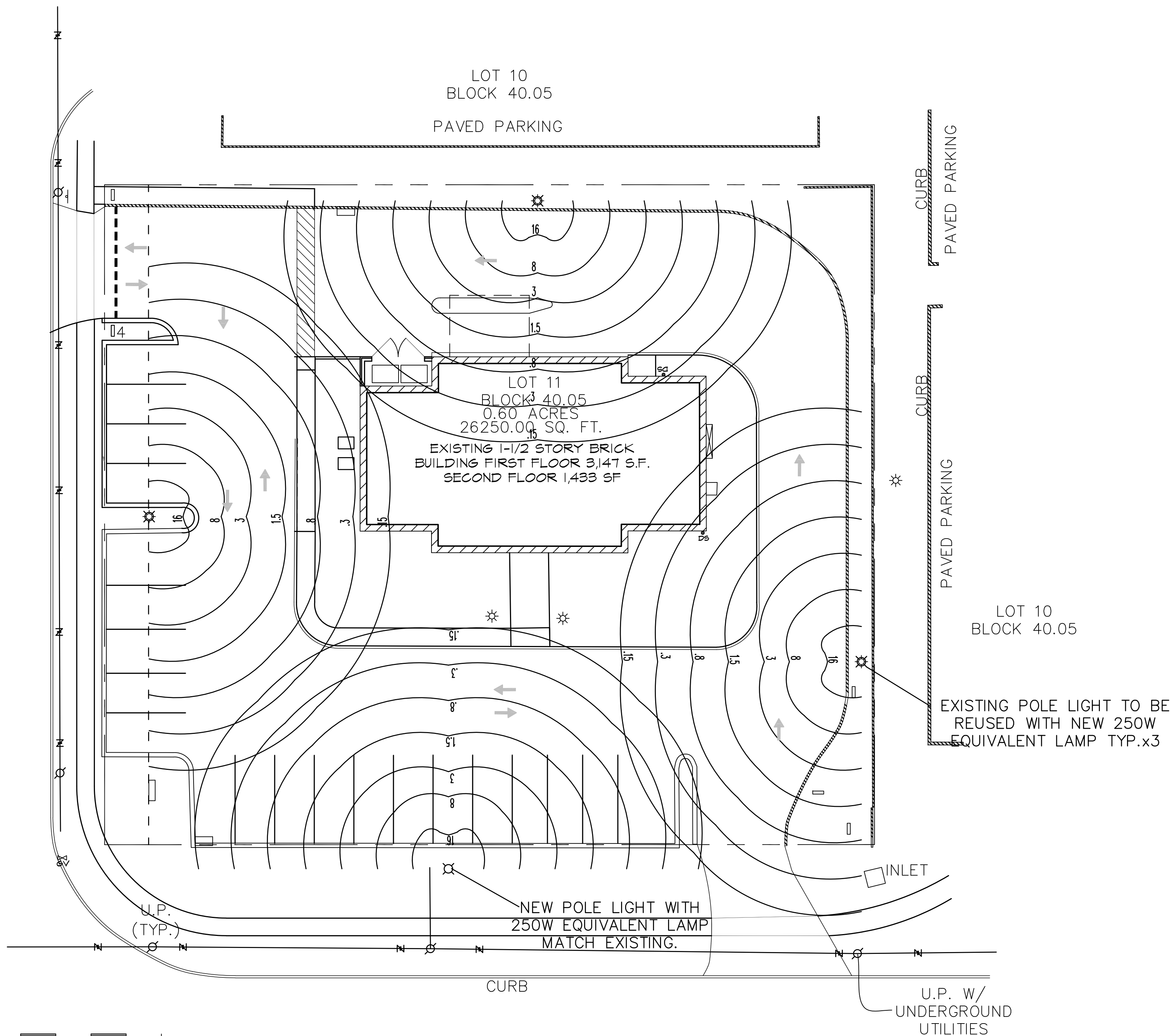
currentlighting.com/beacon

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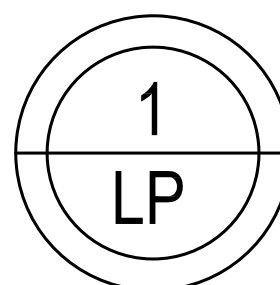
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Rev 08/05/22
BEA_VIPERSPEC_001

ALLIANCE STREET
(F.K.A. FORDHAM ROAD)(60.00')



MANTUA PIKE
(F.K.A. MULLICA HILL-WOODBURY TURNPIKE)(55.00')



LIGHTING PLAN

SCALE: 1/8" = 1'-0"

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REVISOR PER PROFESSIONALS' REVIEW COMMENTS 5/12/23

ISSUE DATE:
APRIL 20, 2023
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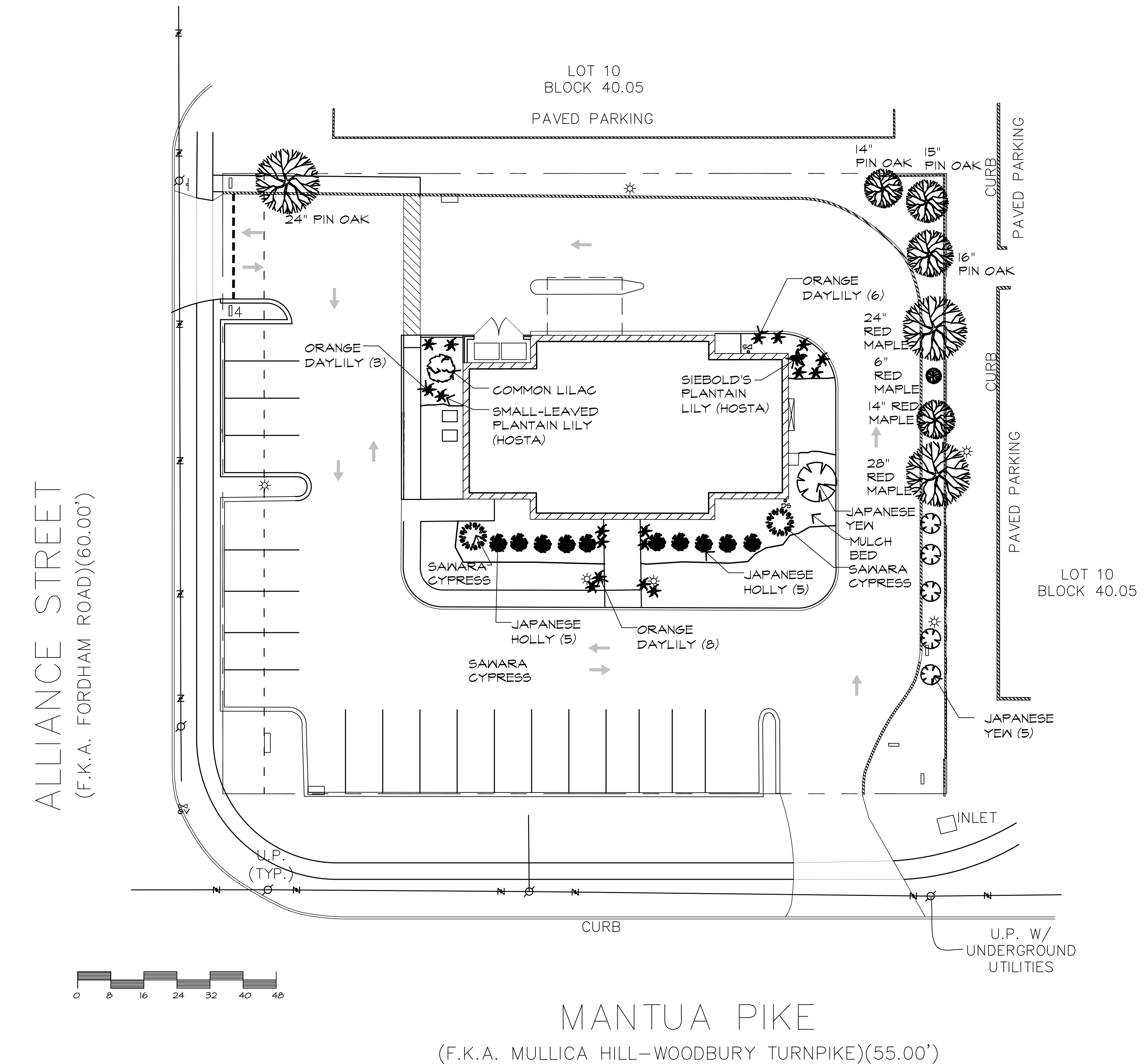
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23005

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1
LA

LANDSCAPE PLAN (EXISTING CONDITIONS)

SCALE: 1/16" = 1'-0"

Robbie Conley Architect, LLC

596 Glassboro Road

Woodbury Heights, New Jersey, 08097

(856)-845-7500

FAX:(856)-0528

N.J. LIC. NO. 21AC00069700

NCARB CERT. NO. 52314

PA. LIC. NO. AX004265L

AI-21235

NJ

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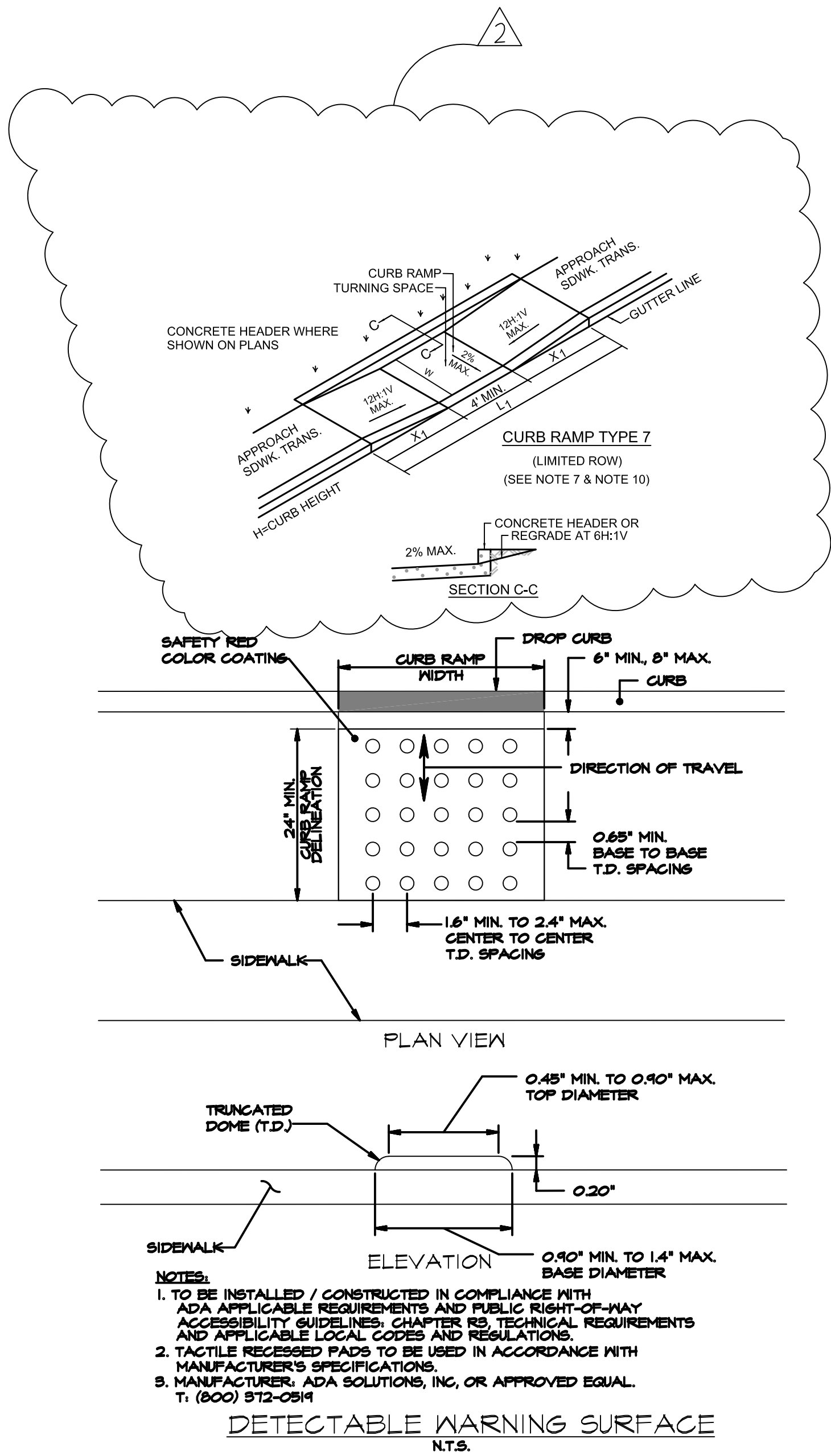
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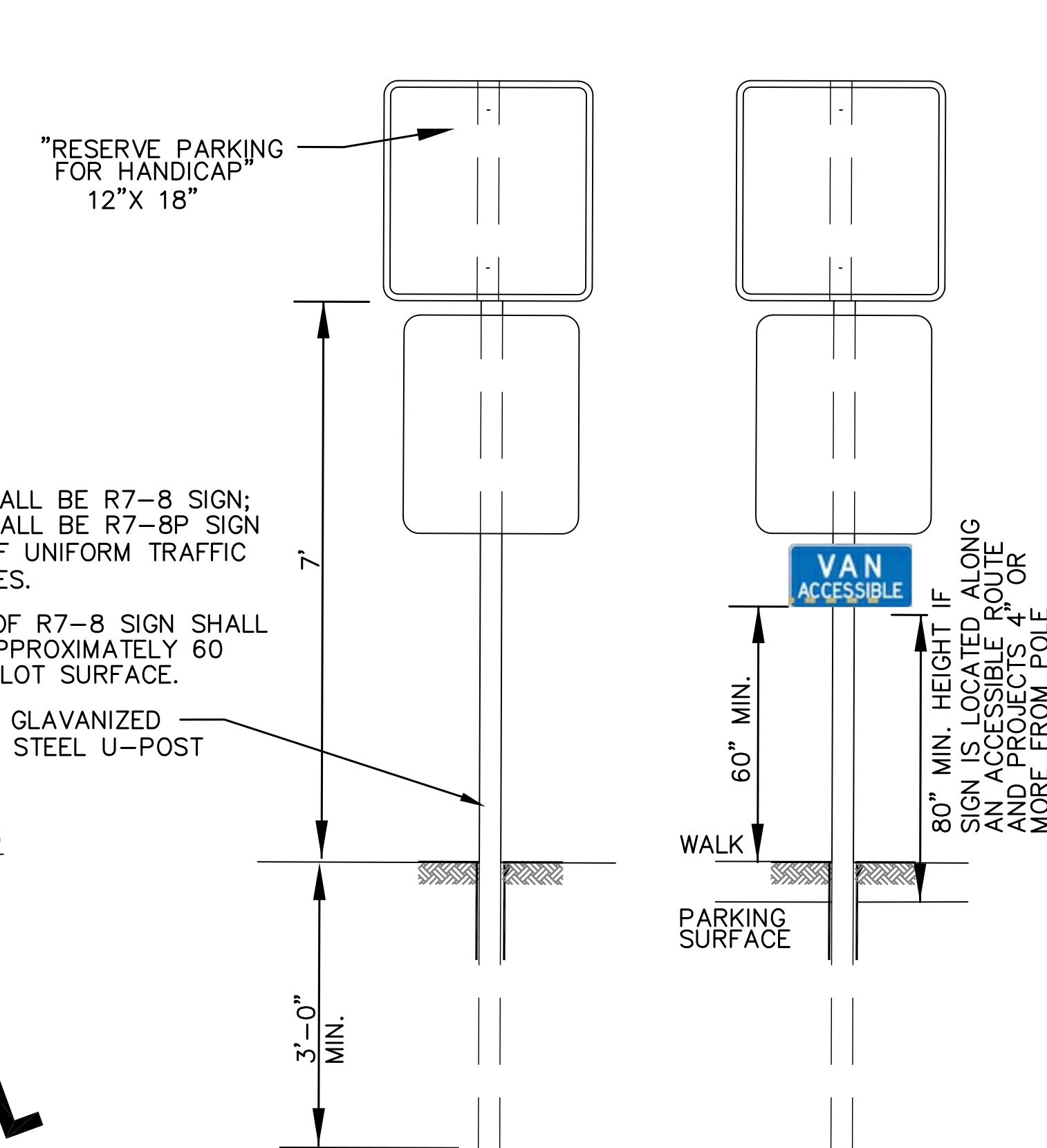


HANDICAP PARKING SIGN DETAIL

- NOTES:
1. ALL STRIPES TO BE 4" WIDE BLUE PAVEMENT PAINT.
 2. DISABLED PARKING SYMBOL TO BE BLUE PAVEMENT PAINT.
 3. PARKING AREA TO BE PAINTED SPECIAL BLUE.



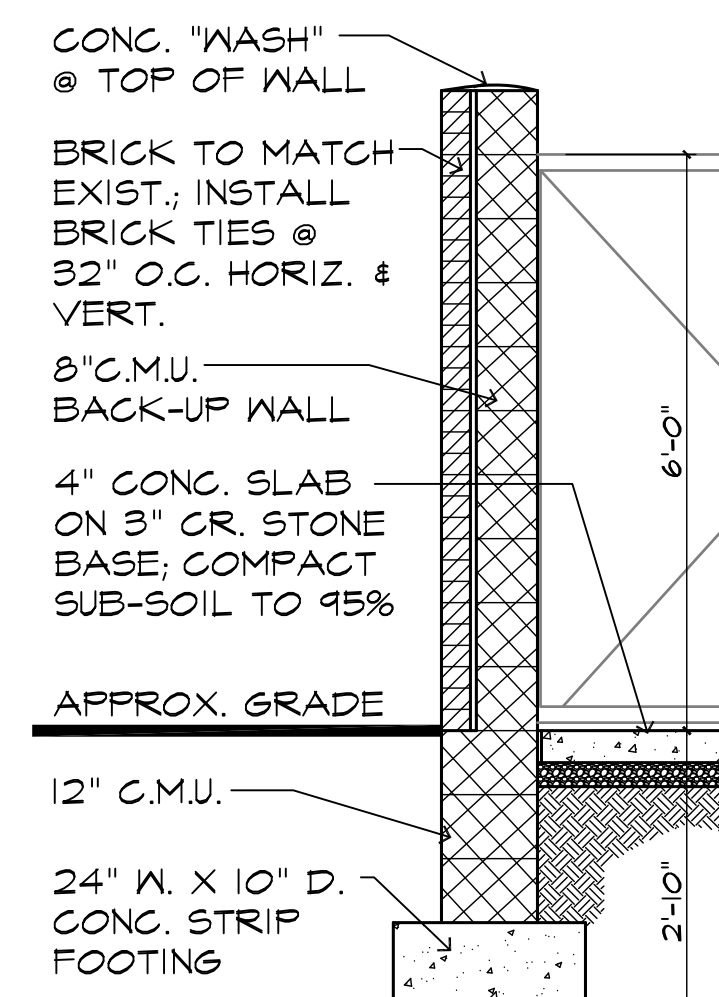
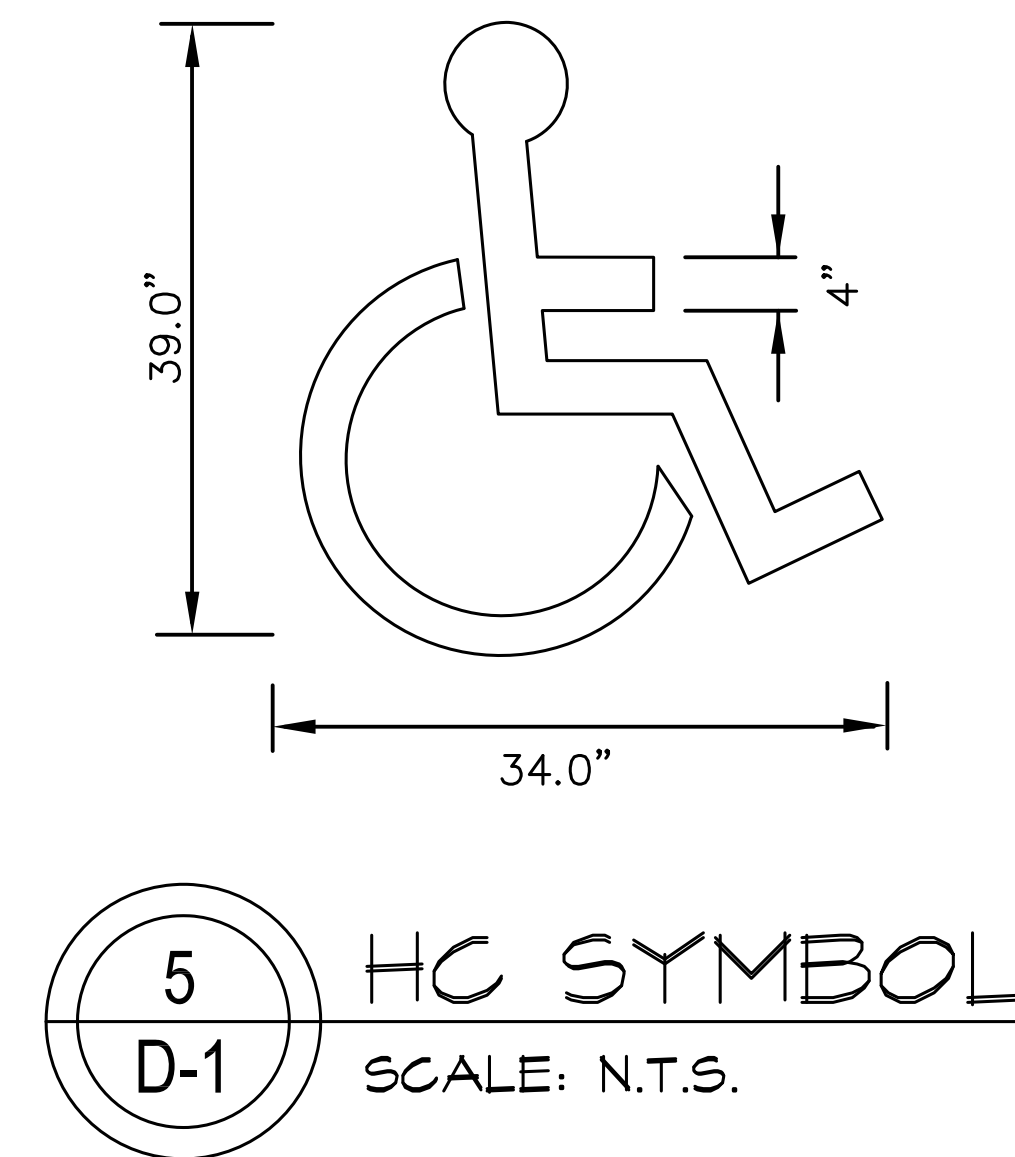
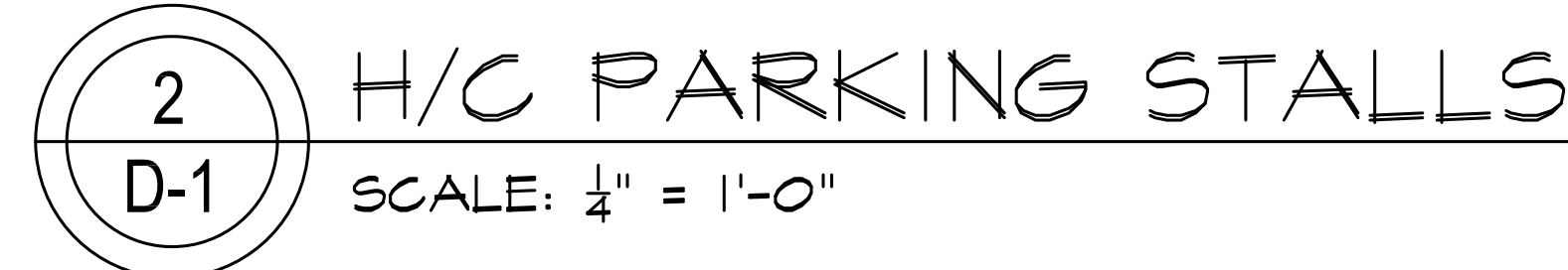
DISABLED PARKING SYMBOL



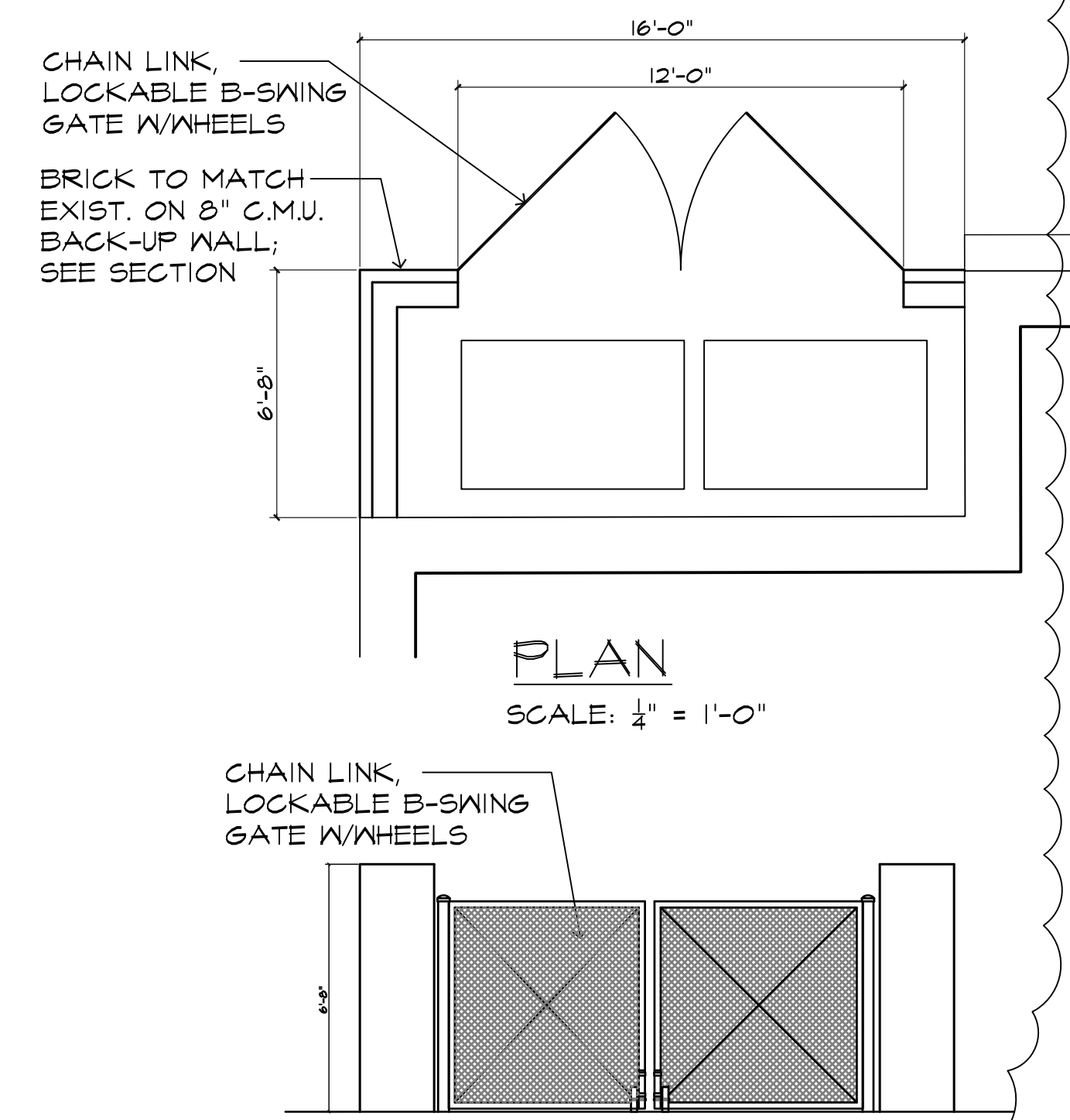
PARKING SIGN

- NOTES:
1. PARKING SPACE MARKINGS SHALL COMPLY WITH LATEST MUTCD AND ADA STANDARDS.
 2. ALL HC PARKING SPACE STRIPING SHALL BE 4" WIDE BLUE EPOXY-RESIN.

ADA PARKING SPACES



SECTION
SCALE: 1/2" = 1'-0"



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N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

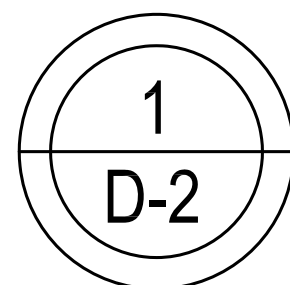
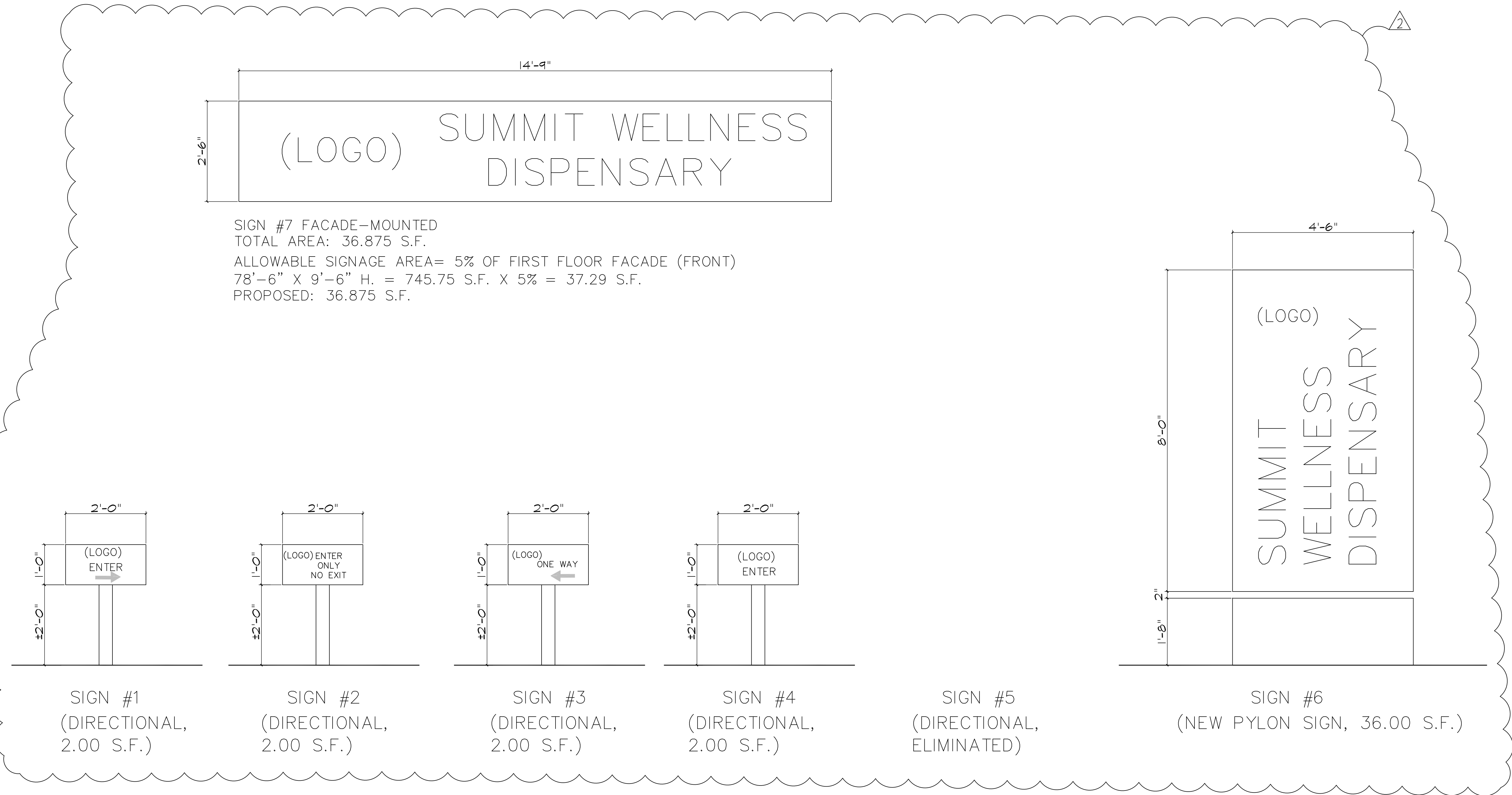
SHEET TITLE
DETAILS

PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097
OWNER
KALPESH SHAH
330 ROYAL COURT
ELLICOTT CITY, MD 21043

CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.
REVISION
DATE
5/12/23
REVISOR
PROFESSIONAL'S REVIEW COMMENTS

ISSUE DATE:
MARCH 24, 2023
DRAWN: JSD
CHKD: RJC

DWG. NO.
D-1
PROJECT NO.
23005
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PROPOSED SIGNAGE

SCALE: $\frac{3}{4}$ " = 1'-0"

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N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

AI-21235 NJ

SHEET TITLE
PROPOSED SIGNAGE

LICENSED ARCHITECTS:
NJ: AI-21235
PA: RA0163428
FL: AR100412
DE: SE-0008149
MD: 21043
NORTH CAROLINA: 21043

PROJECT
PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

OWNER
KALPESH SHAH
330 ROYAL COURT
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CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.

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DATE
5/12/23
REVISED PER PROFESSIONALS' REVIEW COMMENTS

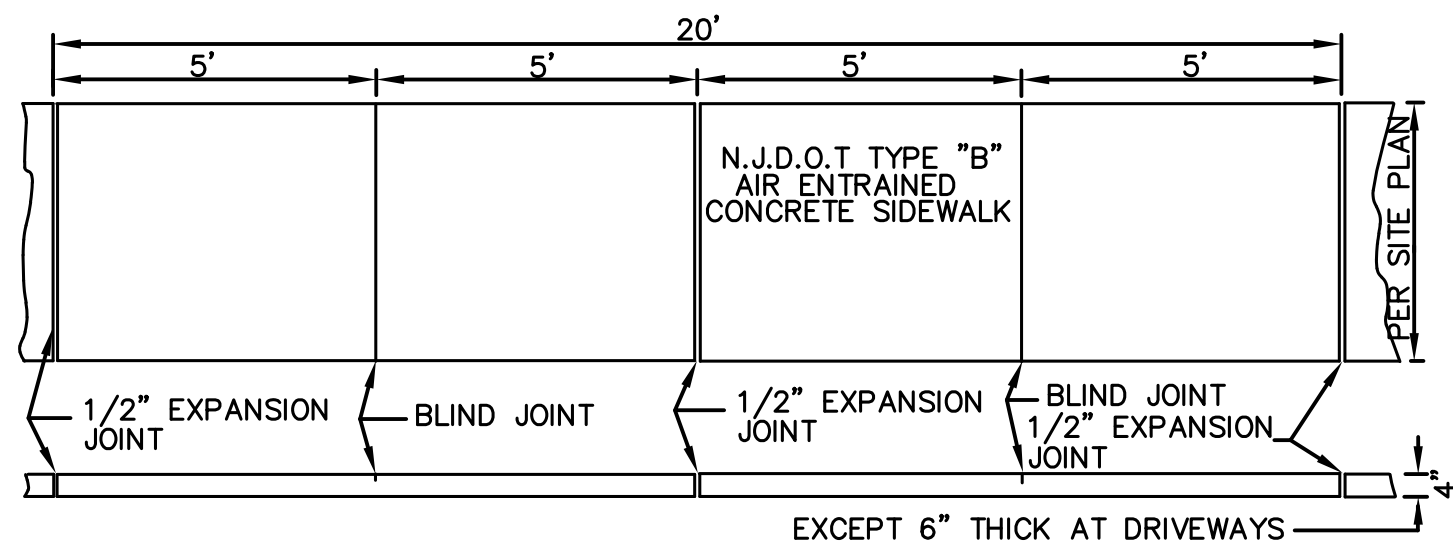
ISSUE DATE:
MARCH 24, 2023
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CHECKED: RJC

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D-2
8 of 12

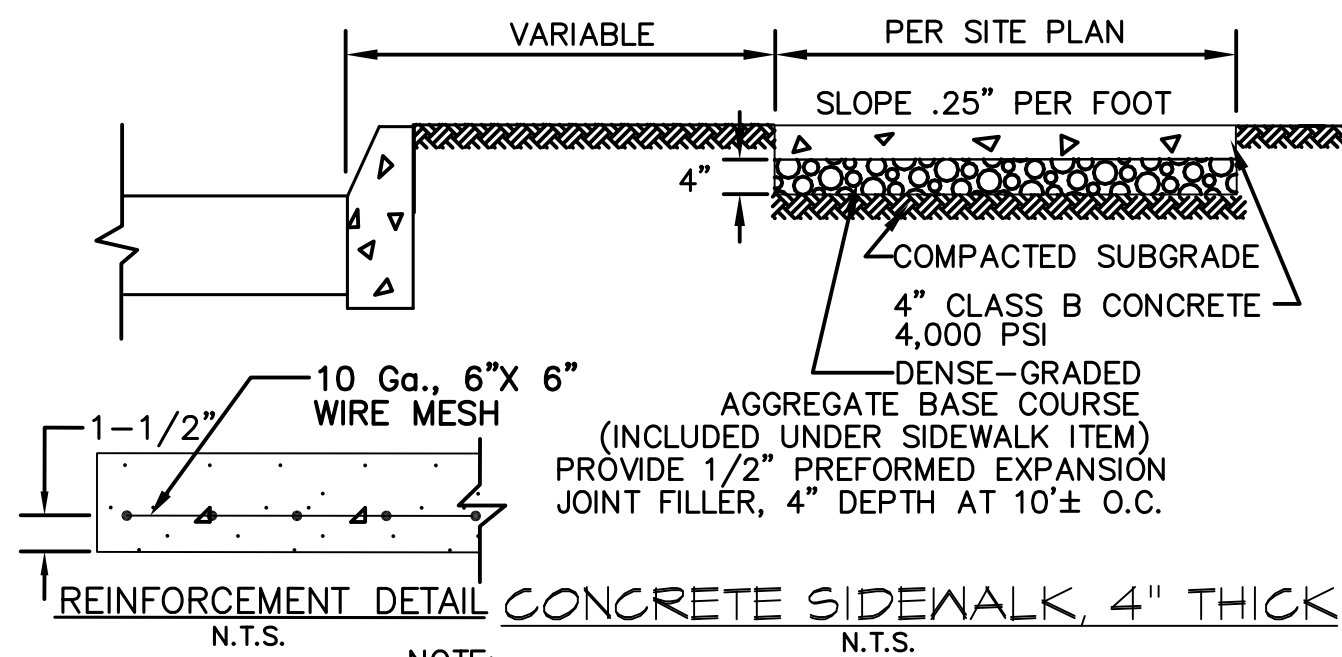
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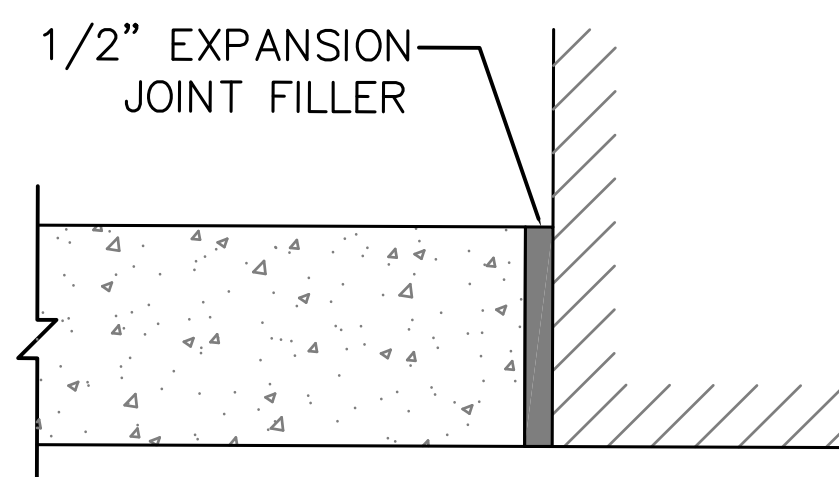


- NOTE:
1. SUBGRADE IS TO BE IN A MANNER SUITABLE TO THE MUNICIPAL ENGINEER.
 2. EXPANSION JOINTS ARE TO BE 1/2" WIDE AND FILLED WITH PREFORMED HOT MIX ASPHALT TYPE JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1/4" BELOW THE TOP OF THE SURFACE EXPANSION JOINT SHALL BE LOCATED 10' ON CENTER.
 3. BLIND JOINTS ARE TO BE SURFACE GROVES CUT INTO SIDEWALK 1/2" DEEP, AND SHALL BE LOCATED 10' ON CENTER.

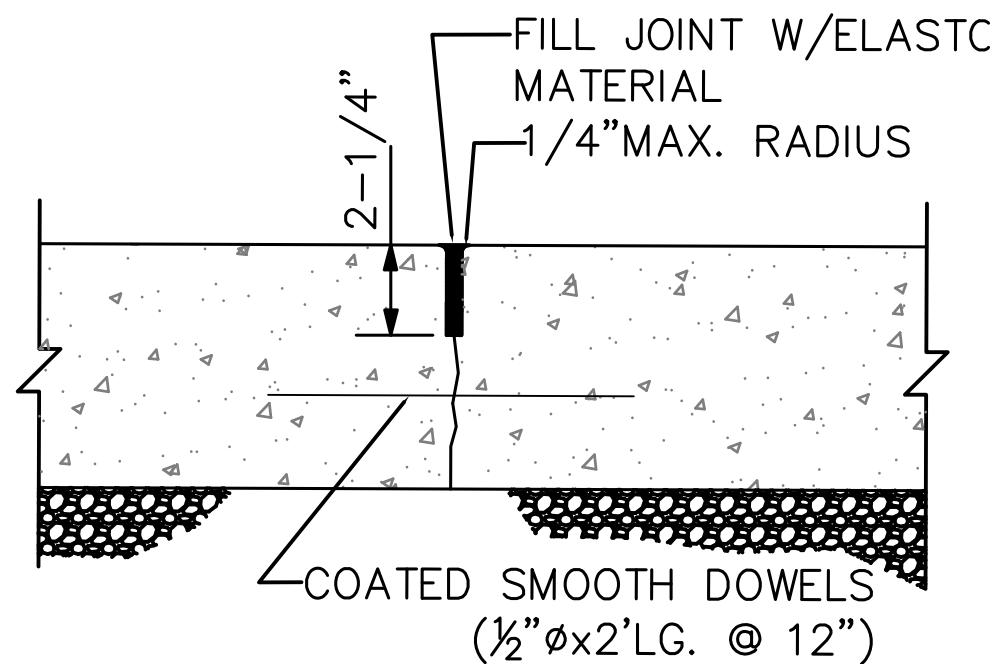
TYPICAL SIDEWALK SECTION
N.T.S.



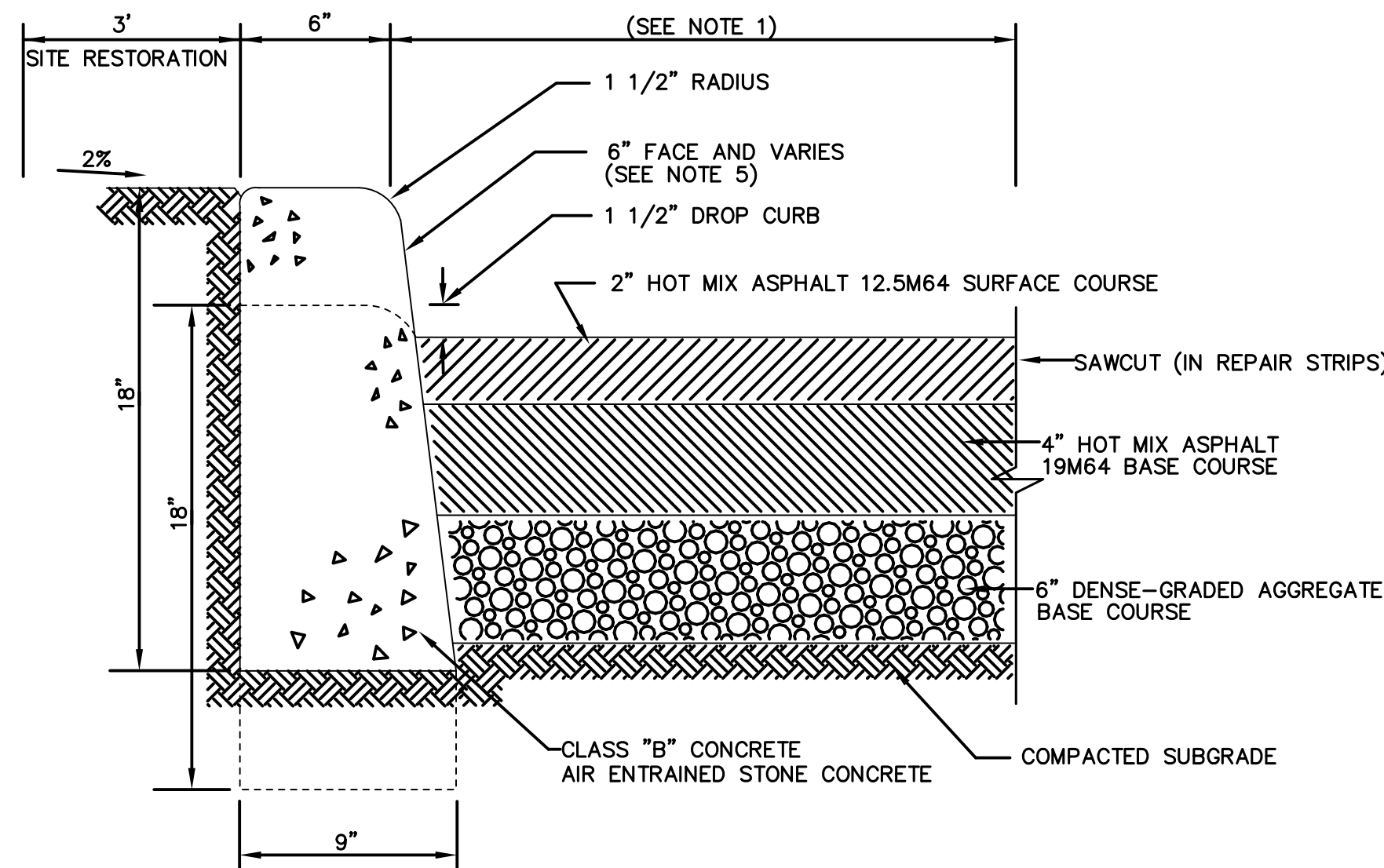
NOTE:
ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND.



ISOLATION JOINT DETAIL
N.T.S.

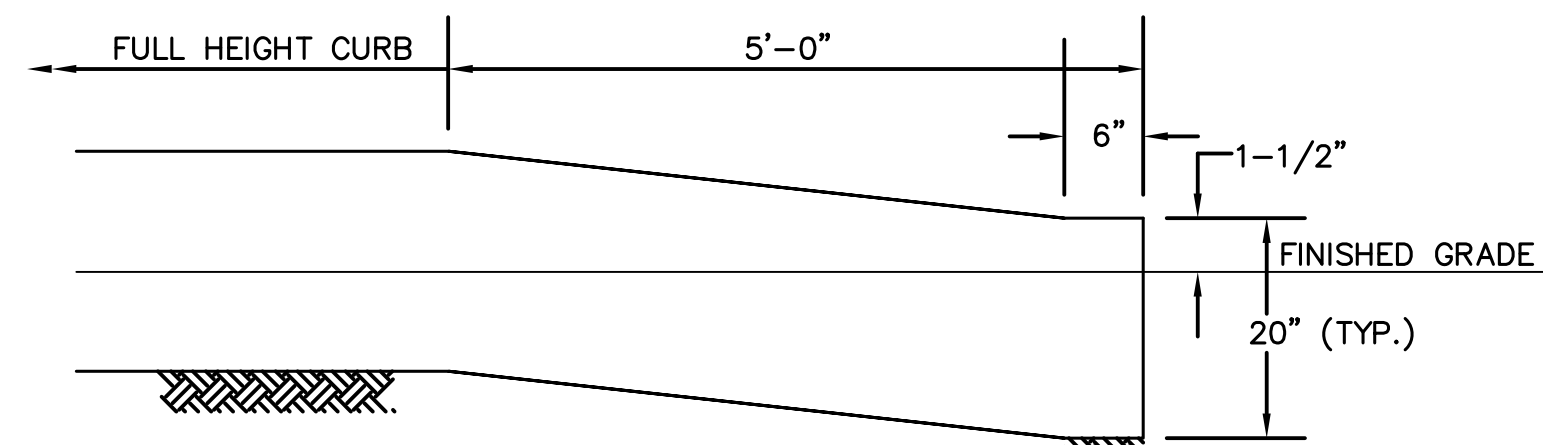


CONTROL JOINT DETAIL
N.T.S.

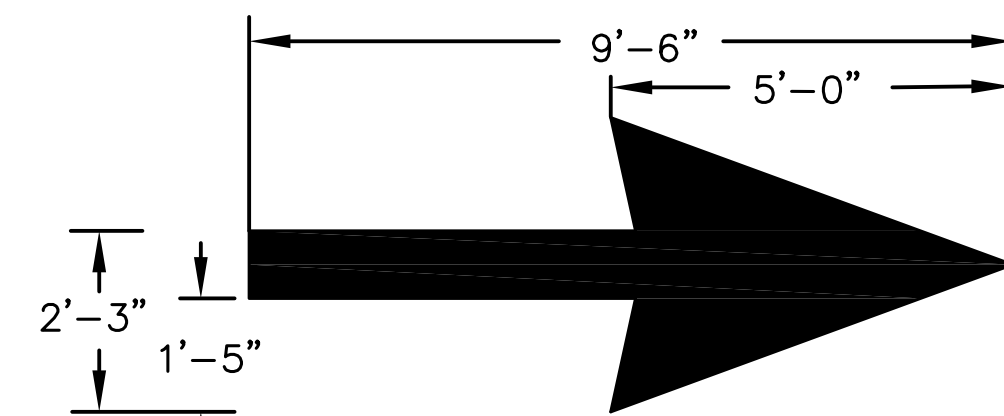


- NOTE: 1) IN AREAS WHERE EXISTING PAVEMENT IS TO REMAIN, A 2' WIDE PAVEMENT REPAIR STRIP SHALL BE CONSTRUCTED ALONG PROPOSED CURB. THE FOLLOWING ITEMS OF WORK WITHIN THE REPAIR STRIP ARE INCLUDED UNDER 9" x 18" CONCRETE VERTICAL CURB:
- SAWCUT
 - CONCRETE CURING AND SEALING COMPOUND
 - EXCAVATION, UNCLASSIFIED
 - BACKFILL MATERIAL
 - COMPACTED SUBGRADE
 - DENSE-GRADED AGGREGATE BASE COURSE
 - HOT MIX ASPHALT 19M64 BASE COURSE
 - REMOVAL OF MONOLITHIC CONCRETE CURB AND GUTTER (IF REQUIRED)
- 2) FOR 8" CURB FACE, CURB DEPTH SHALL BE INCREASED TO 20".
- 3) FULL CURB DEPTH SHALL BE MAINTAINED AT DROP CURBS.
- 4) 4" THICK, COARSE AGGREGATE SIZE NO. 57 SHALL BE CONSTRUCTED UNDERNEATH PROPOSED CURB IN WET FIELD CONDITIONS AS DIRECTED BY ENGINEER.
- 5) TOP OF CURB SHALL NOT BE SET HIGHER THAN ADJACENT EXISTING OR PROPOSED SIDEWALK UNDER ANY CONDITION.
- 6) ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND.

9" x 18" CONCRETE VERTICAL CURB
N.T.S.



CONCRETE VERTICAL CURB TAPER
N.T.S.



PAVEMENT MARKING DETAIL
N.T.S.

NOTE:
ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES. APPLICABLE SAFETY CODES SHALL MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS AND ADDITIONS THERETO OF THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S "OCCUPATIONAL SAFETY AND HEALTH STANDARDS" (OSHA); "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE STATE OF NEW JERSEY, DEPARTMENT OF LABOR AND INDUSTRY, BUREAU OF ENGINEERING AND SAFETY; "CONSTRUCTION SAFETY CODE," AND "MAINTENANCE, CONSTRUCTION AND DEMOLITION," AND "BUILDING CODE."

TRAFFIC STRIPES AND MARKINGS GENERAL NOTES

1. ALL TRAFFIC STRIPES ARE TO BE THERMOPLASTIC.
2. ALL TRAFFIC MARKINGS ARE TO BE THERMOPLASTIC.
3. DOUBLE YELLOW CENTERLINES SHALL BE 4' WIDE.
4. LANE LINES SHALL BE 4' WIDE DASHED WHITE CONSISTING OF 10' LINE SEGMENTS AND 30' GAPS.
5. PAVEMENT WORD MARKINGS SHALL BE 8 FEET IN HEIGHT. IF THE MESSAGE CONSISTS OF MORE THAN ONE WORD, IT SHOULD BE READ "UP" I.E. THE FIRST WORD SHOULD BE NEAREST TO DRIVER. ALL LETTERS, NUMERALS AND SYMBOLS SHALL BE IN CONFORMANCE WITH THE STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS.
6. STRIPING SHALL EXTEND BEYOND LIMITS OF PAVING, IF REQUIRED.
7. EXISTING STRIPING IN CONFLICT WITH PROPOSED SHALL BE REMOVED AT NO EXTRA COST.

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PA. LIC. NO. AN004265L

SHEET TITLE:
DETAILS
A-21233
NJ

PROJECT:
PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097
OWNER:
KALPESH SHAH
330 ROYAL COURT
ELLICOTT CITY, MD 21043

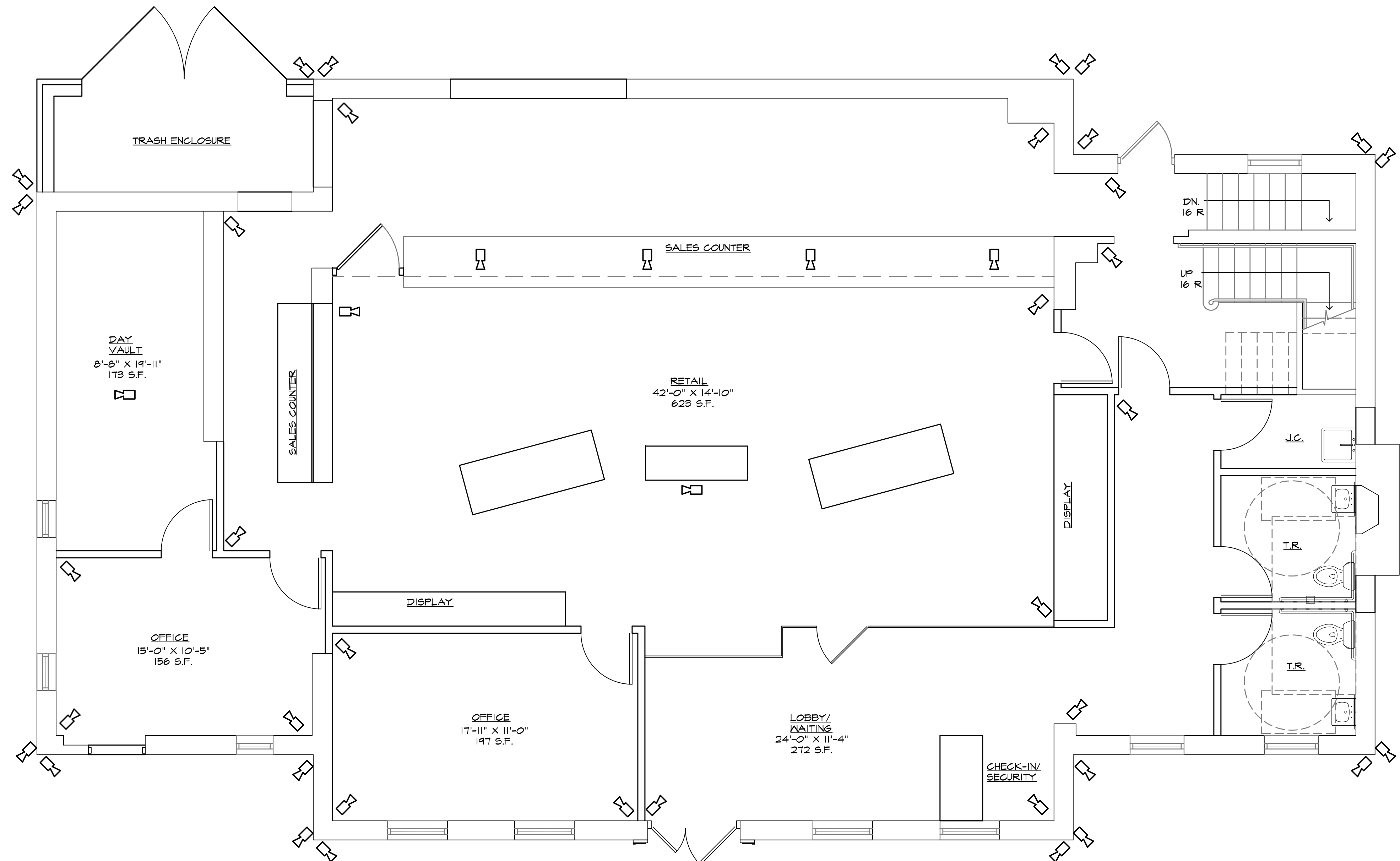
CONTRACTOR: SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE PROCEEDING WITH WORK.
DISCUSSIONS:
DESCRIPTION: DATE:
ADDED PER PROFESSIONALS' REVIEW COMMENTS: 5/12/23

ISSUE DATE:
MARCH 24, 2023
DRAWN: JSD CHKD: RJC
DWG. NO.

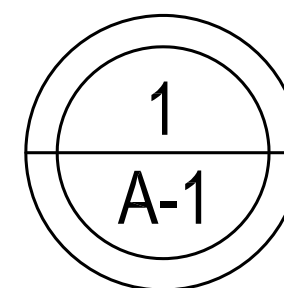
D-3
PROJECT NO:
23005
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1
D-3
CONC. SIDEWALK DETAIL
SCALE: N.T.S.

1
D-3
CONC. CURB DETAILS
SCALE: N.T.S.



SYMBOL LEGEND
CCTV SECURITY CAMERA



PROPOSED FIRST FLOOR PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"

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N.J. LIC. NO. 21AC00068700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

SHEET TITLE
FIRST FLOOR PLAN

PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

CONTRACTOR SHALL CHECK AND
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REVISION
DESCRIPTION
DATE
EXTERIOR
CAMERAS ADDED
PER REVIEW
COMMENTS
FLOOR PLAN
REVISED PER
OWNER
5/12/23

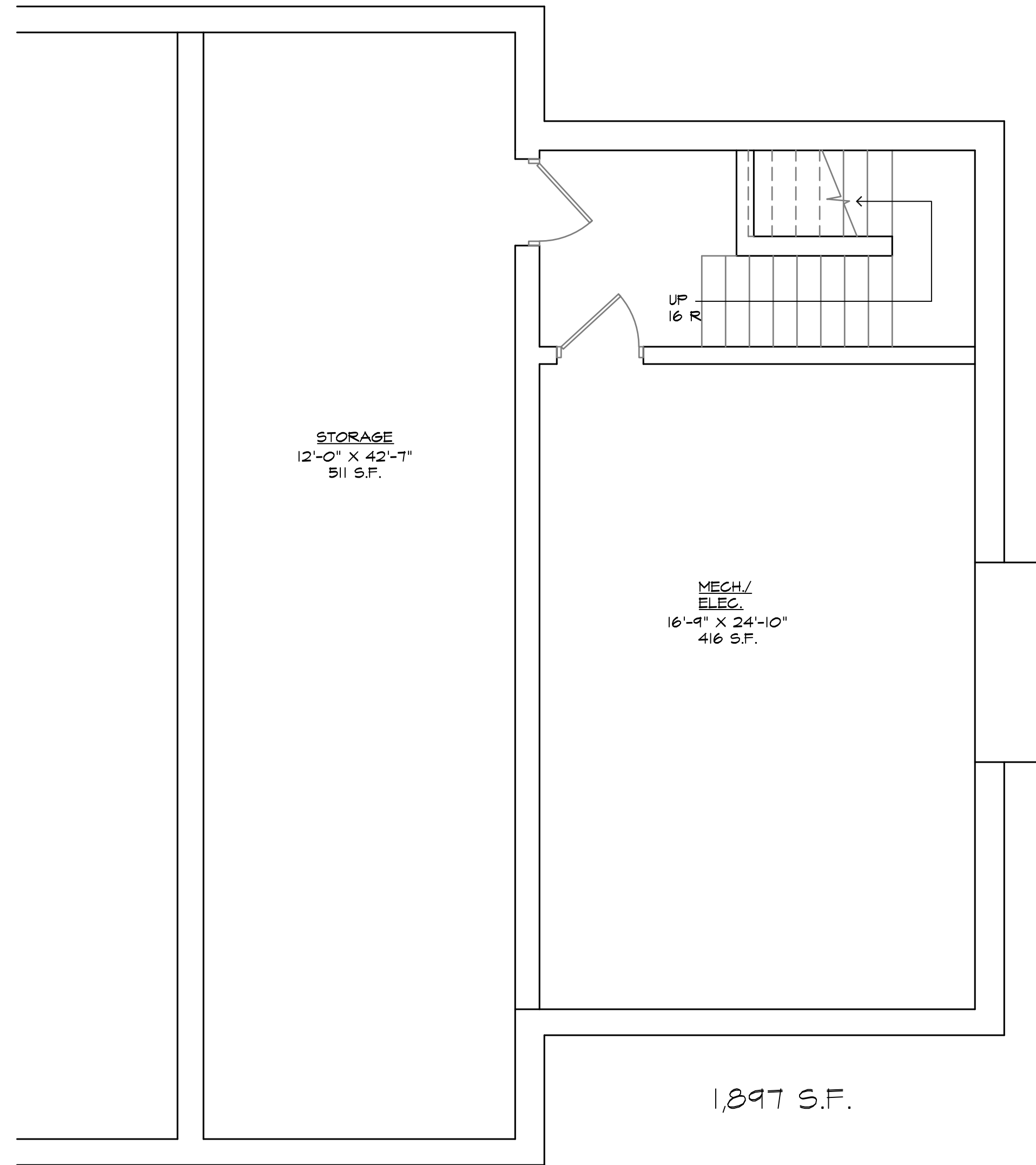
ISSUE DATE:
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DRAWN: JSD
CHKD: RJC

DWG. NO.

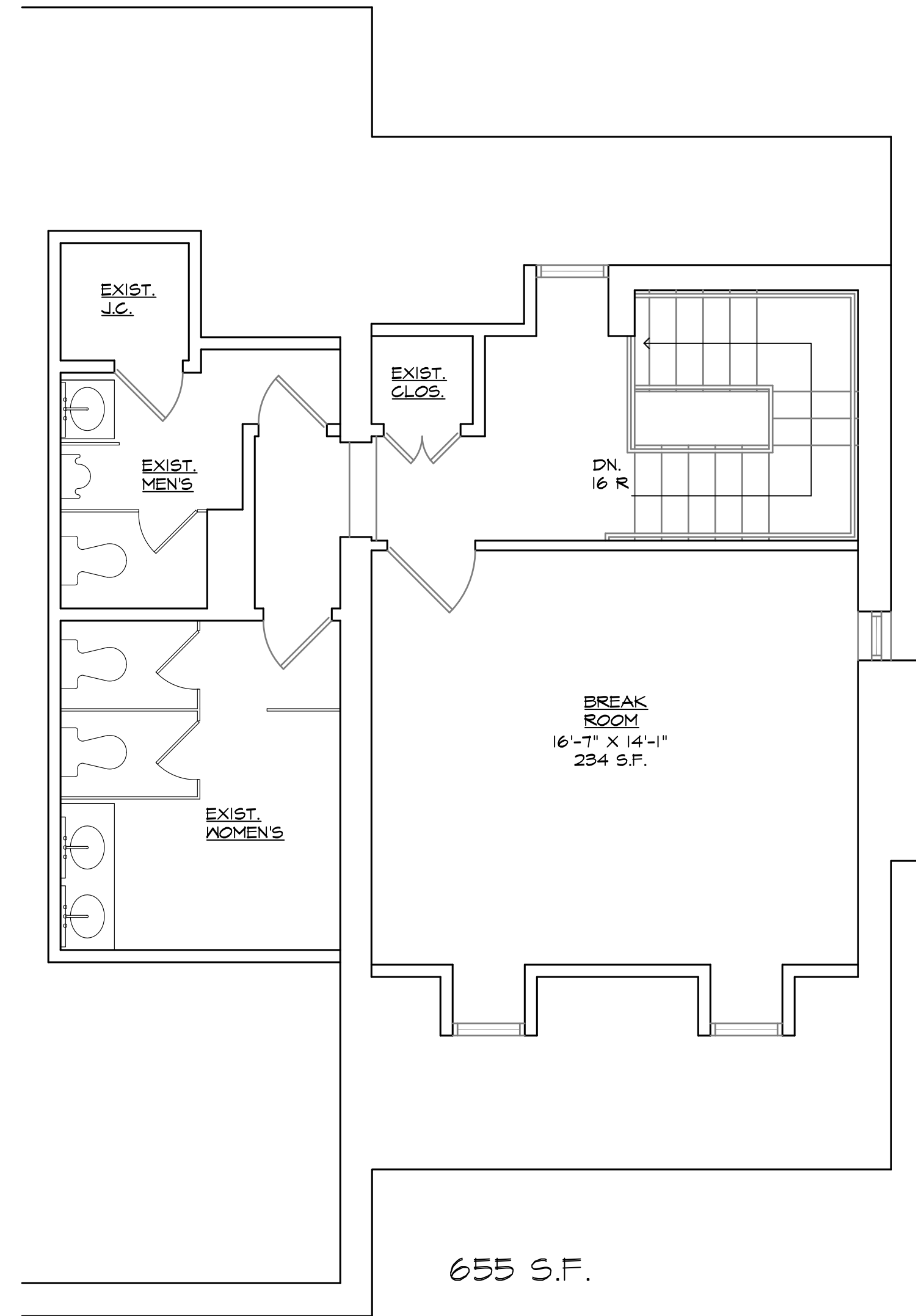
A-1

PROJECT NO.
23005

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1
A-2
EXISTING BASEMENT FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



2
A-2
EXISTING SECOND FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

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Woodbury Heights, New Jersey, 08097
(856)-845-7500 FAX:(856)-853-0528
N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

AI-21235 NJ

SHEET TITLE
EXISTING BASEMENT &
SECOND FLOOR PLANS

LICENSED ARCHITECTS:
N.J. AT-14155 J.P. PA. RA0163428
N.J. AT-14155 U-06439
DE. SS-0008149 FL. AR100412
JOHN S. DESCARO, AIA, LEED AP
N.J. AT-21235 U-06439

PROJECT
PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

OWNER
KALPESH SHAH
330 ROYAL COURT
ELLICOTT CITY, MD 21043

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REVISIONS DESCRIPTION	DATE

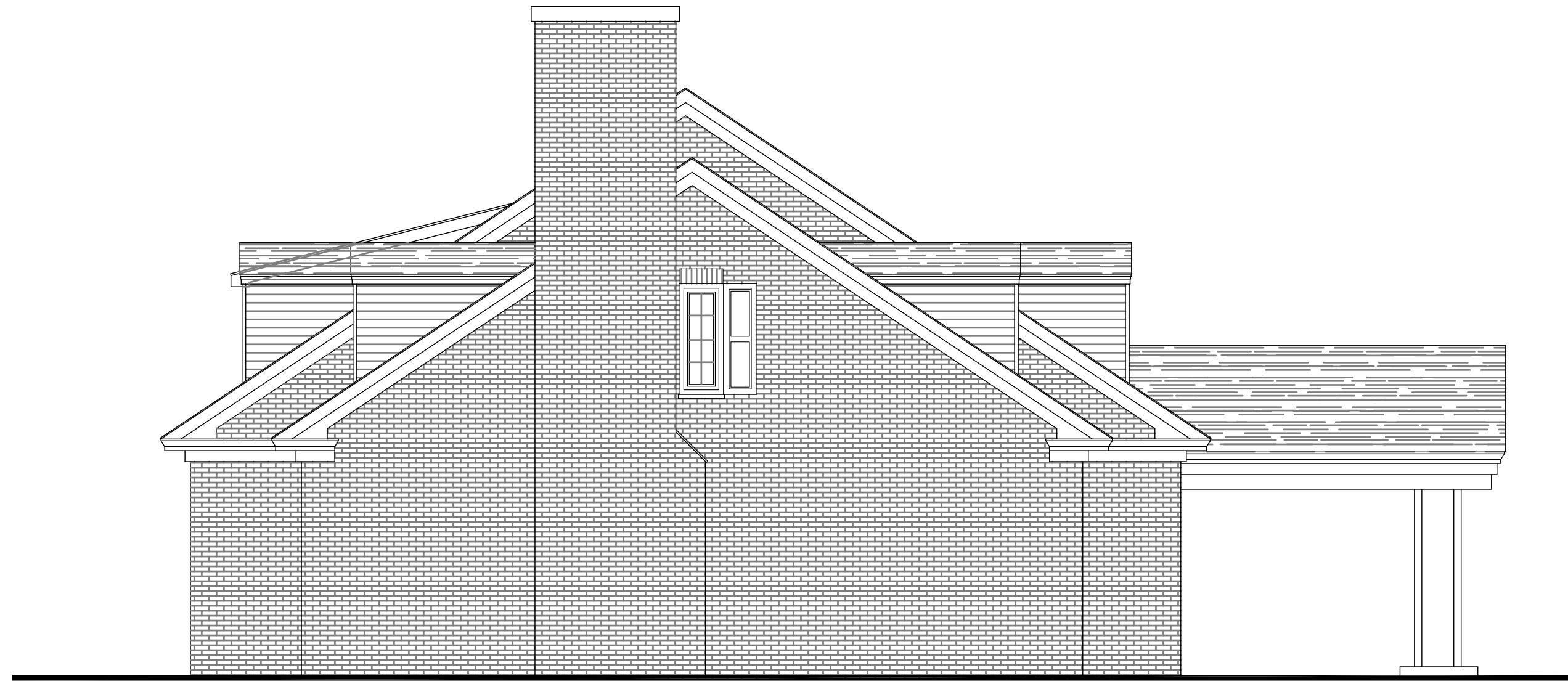
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MARCH 24, 2023
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A-2
11 of 12

PROJECT NO.
23005

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4
A-3

RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



3
A-3

REAR ELEVATION

SCALE: 3/16" = 1'-0"



1
A-3

FRONT (MANTUA PIKE) ELEVATION

SCALE: 3/16" = 1'-0"



2
A-3

ALLIANCE ST. ELEVATION

SCALE: 3/16" = 1'-0"



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N.J. LIC. NO. 21AC00069700 NCARB CERT. NO. 52314 PA. LIC. NO. AX004265L

SHEET TITLE:
BUILDING ELEVATIONS

PROPOSED SITE PLAN FOR:
SUMMIT WELLNESS, LLC
1002 MANTUA PIKE
WOODBURY HEIGHTS, NJ 08097

OWNER:
KALPESH SHAH
330 ROYAL COURT
ELLICOTT CITY, MD 21043

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REVISIONS:
DESCRIPTION DATE
1. ADDED PER PROFESSIONALS' REVIEW COMMENTS 5/12/23

ISSUE DATE:
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DRAWN: JSO CHKD: RJC

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PROJECT NO. **23005**
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