

SANDYSTON TOWNSHIP

133 Route 645 - Sandyston, NJ 07826

Tel: 973.948.3520 • Fax: 973.948.0783

www.sandystontownship.com

December 11, 2025

Mr. Thomas Cawley

opra+request-84176-691cebc3@requests.opramachine.com

RE: OPRA Request of Tuesday, December 9, 2025

Dear Mr. Cawley:

The Township of Sandyston received your Open Public Records Act (OPRA) request via email on Tuesday, December 9, 2025. The official Records Custodian, Amanda F. Lobban, received your OPRA request on that same date. As such, the seven (7) business day deadline to respond to your request is Thursday, December 18, 2025. This response to your request is being provided to you on the second business day after the custodian's receipt of said request.

The records you request are as follows:

"Records requested: any liens of any kind including taxes; underground storage tank presence, removal, remediation; open and closed permits; encumbrances to the land located at 237 US 206, Sandyston, NJ 07826."

Response:

1. Please find attached a status of taxes print out for Block 1104 Lot 2.01, also known as 237 US 206, Sandyston, NJ 07826.
2. With regard to underground storage tanks, if there was a permit taken out for the removal or abandonment of an underground/above ground storage tank it would be with the copies of the closed permits on file with the Construction Department.
3. Enclosed please find copies of closed permits on file with the Construction Department.
4. Encumbrances to the land located at 237 US 206, Sandyston, NJ 07826, you would need to be more specific as to what you are looking for; for example, easements, deed restrictions, rights of way would be found at the Sussex County Clerk's Office, Hall of Records, Spring Street, Newton, NJ.

If your request for access to a government record has been denied or unfilled within the seven (7) business days required by law, you have a right to challenge the decision to deny access. At your option, you may either institute a proceeding in the Superior Court of New Jersey or file a complaint with the Government Records Council (GRC) by completing the Denial of Access Complaint Form. You may contact the GRC by toll-free telephone at 866-850-0511, by mail at P.O. Box 819, Trenton, NJ, 08625, by e-mail at grc@dca.state.nj.us, or at their web site at www.state.nj.us/grc. The GRC can also answer other questions about the law. All questions regarding complaints filed in Superior Court should be directed to the Court Clerk in your County.

Sincerely,

Amanda F. Lobban, RMC

Municipal Clerk

AGENCY USE ONLY

Est. Document Cost _____
 Est. Delivery Cost _____
 Est. Extras Cost _____
 Total Est. Cost _____
 Deposit Amount _____
 Estimated Balance _____
 Deposit Date _____

AGENCY USE ONLY

Disposition Notes

Custodian: If any part of request cannot be delivered in seven business days, detail reasons here.

In Progress - Open 12/9/2025
 Denied - Closed
 Filled - Closed 12/11/2025
 Partial - Closed

AGENCY USE ONLY

Tracking Information

Tracking # _____
 Rec'd Date 12/9/2025
 Ready Date 12/11/2025
 Total Pages 157

Final Cost

Total _____
 Deposit _____
 Balance Due _____
 Balance Paid _____

Records Provided

Tax Information
 Construction Permits

Amanda L. Plan 12/11/2025
 Custodian Signature Date

 Outlook

OPRA request - any liens of any kind including taxes; underground storage tank presence, removal, remediation; open and closed permits; encumbrances to the land. located at 237 US 206 Sandyston NJ 07826

From Thomas Cawley <opra+request-84203-8b07805c@requests.opramachine.com>

Date Tue 12/9/2025 3:19 PM

To Amanda <clerk@sandystontownship.com>

RECEIVED

DEC 09 2025

SANDYSTON TOWNSHIP

Dear Sandyston Township,

I apologize for my last request being too broad. I hope this is a better summary. Thank you again for all the help.

Please accept this electronic request for public records made under OPRA and the common law right of access. I am not required to fill out an official form or use a particular software platform to submit my request per NJSA 47:1A-6(f), which states that an email from a requestor including all of the information required on the adopted form shall suffice in place of a completed form as a valid government record request.

Records requested:

any liens of any kind including taxes; underground storage tank presence, removal, remediation; open and closed permits; encumbrances to the land.

My preferred delivery method for response(s) to this request is by E-mail as attachments. Please confirm you have received this request. If you are not the custodian of records, please forward my request to that person and provide their email address to me for future reference.

Yours faithfully,

Thomas Cawley

Please deliver records electronically via email to the below UNIQUE address for all replies to this request:

opra+request-84203-8b07805c@requests.opramachine.com

Is clerk@sandystontownship.com the wrong address for OPRA requests to Sandyston Township? If so, please contact us using this form:

https://opramachine.com/change_request/new?body=sandyston_township

Disclaimer: This message and any reply that you make will be published on the internet. Our privacy and copyright policies:

<https://opramachine.com/help/officers>

View this OPRA request & responses online:

https://opramachine.com/request/any_liens_of_any_kind_including

Please note that in some cases publication of requests and responses will be delayed.

If you find this service useful as an OPRA custodian, please ask your web manager to link to us from your organisation's website.

"OPRAMachine's mission is to give people easy and affordable access to New Jersey public records.

For more information, contact us at: (732) 707-1628 or PO Box 3180, New Brunswick, NJ 08903."

December 11, 2025
10:23 AM

Sandyston Township
Tax Account Detail Inquiry

Page No: 1

BLQ: 1104. 2.01
Owner Name: MSC PROPERTIES, LLC

Tax Year: 2025 to 2025
Property Location: 237 ROUTE 206 S

Tax Year: 2025	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,858.22	2,858.22	3,180.22	3,180.22	12,076.88
Payments:	2,858.23	2,858.21	3,180.22	3,180.22	12,076.88
Balance Adjust:	0.01	0.01-	0.00	0.00	0.00
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2025 Prin Balance
		Description								
		Original Billed						12,076.88		12,076.88
12/02/24	1	Payment	001	2708	CK	162	2 T122	0.01	0.00	12,076.87
02/04/25	1	Payment	001	2716	CK	216	43 T2425	2,858.22	0.00	9,218.65
		homeowner								
03/24/25	1	Adjustment	063			266	54 TDOYLE	0.01	0.00	9,218.66
		Transfer Balance								
03/24/25	2	Adjustment	063			266	55 TDOYLE	0.01-	0.00	9,218.65
		Transfer Balance								
05/07/25	2	Payment	001	2730	CK	306	22 T5725	2,858.21	0.00	6,360.44
		homeowner								
05/07/25	3	Payment	001	2730	CK	306	21 T5725	0.01	0.00	6,360.43
		homeowner								
08/13/25	3	Payment	001	2749	CK	426	6 T81325	3,180.21	0.00	3,180.22
		homeowner								
11/10/25	4	Payment	001	2763	CK	558	7 T111025	3,180.22	0.00	0.00
		homeowner								

Total Principal Balance for Tax Years in Range: 0.00

December 11, 2025
10:22 AM

Sandyston Township
Tax Account Detail Inquiry

Page No: 1

BLQ: 1104. 2.01
Owner Name: MSC PROPERTIES, LLC

Tax Year: 2025 to 2026
Property Location: 237 ROUTE 206 S

Tax Year: 2025	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,858.22	2,858.22	3,180.22	3,180.22	12,076.88
Payments:	2,858.23	2,858.21	3,180.22	3,180.22	12,076.88
Balance Adjust:	0.01	0.01-	0.00	0.00	0.00
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2025 Prin Balance
		Description								
		Original Billed						12,076.88		12,076.88
12/02/24	1	Payment	001	2708	CK	162	2 T122	0.01	0.00	12,076.87
02/04/25	1	Payment	001	2716	CK	216	43 T2425	2,858.22	0.00	9,218.65
		homeowner								
03/24/25	1	Adjustment	063			266	54 TDOYLE	0.01	0.00	9,218.66
		Transfer Balance								
03/24/25	2	Adjustment	063			266	55 TDOYLE	0.01-	0.00	9,218.65
		Transfer Balance								
05/07/25	2	Payment	001	2730	CK	306	22 T5725	2,858.21	0.00	6,360.44
		homeowner								
05/07/25	3	Payment	001	2730	CK	306	21 T5725	0.01	0.00	6,360.43
		homeowner								
08/13/25	3	Payment	001	2749	CK	426	6 T81325	3,180.21	0.00	3,180.22
		homeowner								
11/10/25	4	Payment	001	2763	CK	558	7 T111025	3,180.22	0.00	0.00
		homeowner								

Tax Year: 2026	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	3,019.22	3,019.22	0.00	0.00	6,038.44
Payments:	0.00	0.00	0.00	0.00	0.00
Balance:	3,019.22	3,019.22	0.00	0.00	6,038.44

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2026 Prin Balance
		Description								
		Original Billed						6,038.44		6,038.44

Total Principal Balance for Tax Years in Range: 6,038.44



THIS DOCUMENT IS NOT A BUILDING PERMIT

SANDYSTON TOWNSHIP

ZONING PERMIT

Tuesday - Thursday 2 pm to 4 pm
Monday Evening 5:30 to 7 pm

No. 961

Date of Application 11/16/04 Block No. 1104 Lot No. 2.01

Owner Susan Cunico Applicant Cunico Chiropractic

Address of premises 237 Route 206

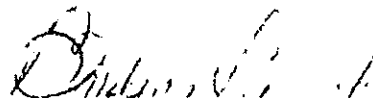
Telephone No. 973/948-7595 Zoning District C/I

This is to certify that the above described premises, together with any buildings thereon, are used or proposed to be used for or as:

Temporary sign.

which is a

- ☒ use permitted by ordinance.
- ☐ use permitted by variance approved on _____ subject to any conditions attached to the grant thereof.
- ☐ valid non-conforming use established by:
 - ☐ the Zoning Board of Adjustment or Planning Board.
 - ☐ the undersigned Land Use Administrator on the basis of evidence supplied by the applicant as specified below or on the addendum attached hereto, along with a description of the non-conforming conditions.
 - ☐ use that is conforming but with a structure on the premises that is non-conforming by reason of: 11 -


Land Use Administrator

Special conditions:

THIS DOCUMENT IS NOT A BUILDING PERMIT



THIS DOCUMENT IS NOT A BUILDING PERMIT

SANDYSTON TOWNSHIP

ZONING PERMIT

Tuesday - Thursday 2 pm to 4 pm
Monday Evening 5:30 to 7 pm

No. 798

Date of Application 11/7/02 Block No. 1104 Lot No. 2.01

Owner MSC Properties, LLC Applicant Cunico Chiropractic

Address of premises 237 Route 206 So.

Telephone No. 973/948-7595 Zoning District C/I

This is to certify that the above described premises, together with any buildings thereon, are used or proposed to be used for or as:

Temporary Sign

which is a

- ☒ use permitted by ordinance.
- ☐ use permitted by variance approved on _____ subject to any conditions attached to the grant thereof.
- ☐ valid non-conforming use established by:
- ☐ the Zoning Board of Adjustment or Planning Board.
 - ☐ the undersigned Land Use Administrator on the basis of evidence supplied by the applicant as specified below or on the addendum attached hereto, along with a description of the non-conforming conditions.
 - ☐ use that is conforming but with a structure on the premises that is non-conforming by reason of:

Barbara Liscia
Land Use Administrator

Special conditions:

THIS DOCUMENT IS NOT A BUILDING PERMIT

SANDYSTON TOWNSHIP

APPLICATION FOR ZONING PERMIT

INSTRUCTIONS:

- * Please use ball pen or typewriter do not use pencil. Please answer all questions.
- * Attach a plot plan or survey showing size of plot, bounding streets, size, type and location of existing and proposed structures and distances to all property lines.
- * If application is for a Sign, attach a sketch of the sign and all dimensions, as well as a plot plan or survey showing location of sign in relation to streets, buildings, driveways, etc. If sign is to be illuminated, lighting details must be shown.

ATC CONCRETE CONSTRUCTION MSC Properties LLC
Name of Applicant Name of Owner (if different)
237 RT 2063, BRANCHVILLE NJ 3 RT 560 BRANCHVILLE NJ
Address of Applicant Address of Owner (if different)
973 948 7595 973 948 5207
Phone Phone

Office
What is present use of the principal building?

What is the proposed use of the principal building?

What is the present use(s) of any accessory building(s)?

What is the proposed use(s) of any accessory building(s)?

What are the proposed uses of any new structures or additions for which a zoning permit is requested?

Temporary Sign
What is the height of any new structure to the highest point of construction for a flat roof, or to a point midway between the peak of the roof and the uppermost plate, in the case of a sloping roof.

237 Route 206 1104 2.01 CT
Road address of premises Block No. Lot No. Zone

I hereby make application for a zoning permit for the changes described above and on the attached plot plan or survey map. I understand that before starting construction, a building permit is required. Answers to the above questions and representations made on any attachments to this application are true and complete to the best of my knowledge.

Date 11/4/02

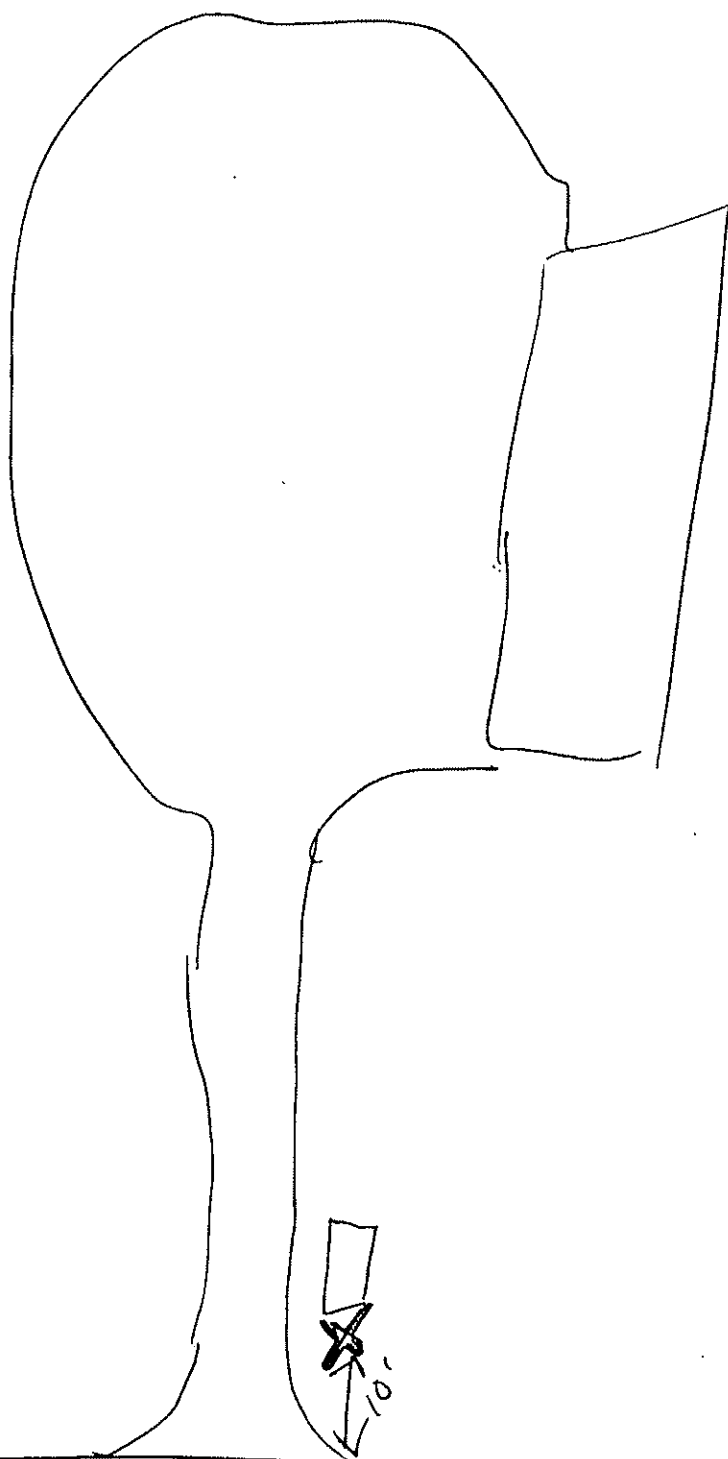
[Signature]
Signature of Applicant

798 Tuesday-Thursday 2 pm to 4 pm

Monday Evening 5:30 pm to 7 pm

FEE: \$10.00





Rtc 206



THIS DOCUMENT IS NOT A BUILDING PERMIT

SANDYSTON TOWNSHIP

ZONING PERMIT

Tuesday - Thursday 2 pm to 4 pm
Monday Evening 5:30 to 7 pm

No. 880

Date of Application 11/6/03 Block No. 1104 Lot No. 2.01

Owner Susan Cunico Applicant Cunico Chiropractic

Address of premises 237 Route 206

Telephone No. 973/948-7595 Zoning District C/I

This is to certify that the above described premises, together with any buildings thereon, are used or proposed to be used for or as:

Temporary Sign.

which is a

- ☒ use permitted by ordinance.
- ☐ use permitted by variance approved on _____ subject to any conditions attached to the grant thereof.
- ☐ valid non-conforming use established by:
- ☐ the Zoning Board of Adjustment or Planning Board.
 - ☐ the undersigned Land Use Administrator on the basis of evidence supplied by the applicant as specified below or on the addendum attached hereto, along with a description of the non-conforming conditions.
 - ☐ use that is conforming but with a structure on the premises that is non-conforming by reason of:

Land Use Administrator

Special conditions:

THIS DOCUMENT IS NOT A BUILDING PERMIT

SANDYSTON TOWNSHIP

APPLICATION FOR ZONING PERMIT

INSTRUCTIONS:

- * Please use ball pen or typewriter do not use pencil. Please answer all questions.
- * Attach a plot plan or survey showing size of plot, bounding streets, size, type and location of existing and proposed structures and distances to all property lines.
- * If application is for a Sign, attach a sketch of the sign and all dimensions, as well as a plot plan or survey showing location of sign in relation to streets, buildings, driveways, etc. If sign is to be illuminated, lighting details must be shown.

Chiropractic
Name of Applicant

Sharon C. Lingo
Name of Owner (if different)

237 Rte 206
Address of Applicant

Address of Owner (if different)

773/348-7595
Phone

Phone

Offices
What is present use of the principal building?

What is the proposed use of the principal building?

What is the present use(s) of any accessory building(s)?

What is the proposed use(s) of any accessory building(s)?

Temp Sign Permit
What are the proposed uses of any new structures or additions for which a zoning permit is requested?

What is the height of any new structure to the highest point of construction for a flat roof, or to a point midway between the peak of the roof and the uppermost plate, in the case of a sloping roof.

237 Rte 206
Road address of premises

1104 3.01 E/I
Block No. Lot No. Zone

I hereby make application for a zoning permit for the changes described above and on the attached plot plan or survey map. I understand that before starting construction, a building permit is required. Answers to the above questions and representations made on any attachments to this application are true and complete to the best of my knowledge.

Date 11/6/03

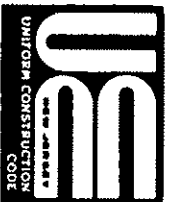
[Signature]
Signature of Applicant

Tuesday-Thursday 2 pm to 4 pm

Monday Evening 5:30 pm to 7 pm

FEE: \$10.00





CONSTRUCTION PERMIT APPLICATION

Applicant Completes: Sections I,II,III (optional), IV, VI, and VII

I. IDENTIFICATION

1. Proposed Work Site at: 287 Route 206

2. Name of Owner in Fee: William Thompson Tel. (93) 293-8252
Address: 5 Myrtle Dr Hempstead NJ 07827
Street Municipality zip code

3. Ownership in Fee: Public Private X

4. Principal Contractor: Mace Clunio Tel. (93) 948-5207
Address: 3 Route 560
Blanchville NJ 07826

License No. OR, if new home, Builder Reg. No. Exp. Date
Federal Employee No. 22-2449159 Fax ()

5. Architect or Engineer Tel. ()
Address

6. Responsible Person in Charge of Work Mace Clunio
Tel. () Fax ()

OPTIONAL (for office use only)

II. PROPOSED WORK

	Est. Cost
1. ☐ Minor Work	
2. ☐ New Building	
3. ☐ Addition	
4. ☐ Alteration	
5. ☐ Fire Protection	
6. ☐ Plumbing	
7. ☐ Electrical	
8. ☐ Elevator Devices	
9. ☐ Asbestos Abat. Subch. 8	
10. ☐ Lead Hazard Abatement	
11. ☐ Demolition	
TOTAL COSTS	

III. DO YOU WANT: (optional)

1. ☐ Partial Releases 2. ☐ Prototype Processing

IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

- ☐ Elevators/Escalators/Lifts/
Dumbwaiters/Moving Walks
- ☐ Pressure Vessels
- ☐ Refrigeration Systems
- ☐ Cross-Connections/Backflow
Preventers
- ☐ High Pressure Boilers
- ☐ Hazardous Uses/Places of Assembly
- ☐ Smoke Control Systems in Open Wells
- ☐ Underground Storage Tanks

VI. BUILDING/SITE CHARACTERISTICS

- Number of Stories
- Height of Structure ft.
- Area - Largest Floor sq. ft.
- New Building Area sq. ft.
- Volume of New Structure cu. ft.
- Construction Classification
- Total Land Area Disturbed sq. ft.
- Flood Hazard Zone
- Base Flood Elevation ft.
- Wetlands yes no sq. ft.
- Max. Live Load
- Max. Occupancy Load

VII. DESCRIPTION OF BUILDING USE

A. RESIDENTIAL

- ☐ Hotels (R-1)
- ☐ Multi-Family (R-2)
- ☐ Two-Family (R-3) BOCA
- ☐ Two-Family (R-4) CABO
- ☐ One-Family (R-3) BOCA
- ☐ One-Family (R-4) CABO
- No of dwelling units:
- Before Construction
- After Construction
- Net gain or loss

B. NON-RESIDENTIAL

1. State Specific Use:
2. Use Group:
3. Change in Use Group. Indicate Former:

V. FEE SUMMARY (for office use only)

	Update	Update
1. Building	\$ <u>35.00</u>	
2. Electrical	\$ <u>38.00</u>	
3. Plumbing		
4. Fire Protection		
5. Elevator Devices		
6. Subtotal	\$ <u> </u>	
7. Less 20% for State Plan Review	\$ <u> </u>	
8. Subtotal	\$ <u> </u>	
9. DCA Training Fee	\$ <u>3.00</u>	
10. Subtotal	\$ <u> </u>	
11. Cert. of Occupancy	\$ <u> </u>	
12. Other	\$ <u> </u>	
13. TOTAL	\$ <u>760.80</u>	

2890

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

- A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

- B. ☐ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.vii:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

- C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☐ Building C.2. ☐ Fire Protection

I further certify that I will perform the following work.

C.3. ☐ Electrical C.4. ☐ Plumbing

- D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:32-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☒ Check if contractor.

Agent Name Marc Conico

Address 3 Route 560

BRANFORD NJ 07820

Telephone (973) 888-5607

Signature [Signature]

- III. ☐ LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



PLUMBING
SUBCODE
TECHNICAL SECTION

Date Received 6-21-99
Date Issued
Control #
Permit # 54-98

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION, WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1108 Lot 201
Work Site Location 237 Rouse Ave

Owner in Fee WILLIAM T. ROYCE
Address 5447 E DR
Montebello, N.J. 07827
Tele. (908) 293-8252
Contractor K.B. LITTLE P+P
Address P.O. Box 110
Swartswood NJ 07877
Tele. () 383-5170
Lic. No. 9690
Federal Emp. No. or Social Security No. 151-70-1405

B. PLUMBING CHARACTERISTICS

Use Group Present _____ Proposed _____
Building Sewer Size _____ Public Sewer _____ Private Septic _____
Water Service Size _____ Public Water _____ Private Well _____
Estimated Cost of Plumbing Work \$ _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW:		INSPECTIONS		Dates (Month/Day)	
Type:	Slab	Type:	Slab	Failure	Approval
☐ No Plans Required	☐ Bidg. [] Elec.	Type: <td>Rough</td> <td>Failure<td>Approval</td></td>	Rough	Failure <td>Approval</td>	Approval
☐ Joint Plan Review Required:	☐ Fire [] Elevator	Type: <td>Water</td> <td>Failure<td>Approval</td></td>	Water	Failure <td>Approval</td>	Approval
☐ Plumb. Plans Approved	☐ Plumb. Plans Approved	Type: <td>Sewer</td> <td>Failure<td>Approval</td></td>	Sewer	Failure <td>Approval</td>	Approval
Date:	Approved by:	Type: <td>Fixtures</td> <td>Failure<td>Approval</td></td>	Fixtures	Failure <td>Approval</td>	Approval
		Type: <td>Gas Equipment</td> <td>Failure<td>Approval</td></td>	Gas Equipment	Failure <td>Approval</td>	Approval
		Type: <td>Gas Piping</td> <td>Failure<td>Approval</td></td>	Gas Piping	Failure <td>Approval</td>	Approval
		Type: <td>Solar</td> <td>Failure<td>Approval</td></td>	Solar	Failure <td>Approval</td>	Approval
		Type: <td>TCO</td> <td>Failure<td>Approval</td></td>	TCO	Failure <td>Approval</td>	Approval

SUBCODE APPROVAL:
[] CO [] COC [] COA
Approved By: [Signature]
Date: 6/24/99

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

[] Licensed Plumbing Contractor [] Exempt Applicant
Signature—Contractor Seal

D. TECHNICAL SITE DATA (List all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Water Cooled A/C or Refrigeration Unit	
	Sewer Connection	
	Water Service Connection	
	Active Solar System	
	Other <u>Photo-Exray Processor</u>	
	<u>Drain Line 1 1/2"</u>	

Paid [] Check # 1005 Administrative Surcharge \$ 38
Minimum Fee \$
DCA Training Fee \$
Collected by: [Signature] TOTAL \$

7-24-97. FIRE PROTECTION REVIEW

Block 1104 LOT 2.01 Thompson

THEY MUST Fill out FIRE

PROTECTION SUBCODE APP.

MUST SHOW EMG LIGHTING
ON PLAN.

IS THERE A ALARM SYS going
IN. IF SO MUST SHOW IT ON PLAN
AND NEED PAPER WORK ON IT

IS HEATING SYS OIL FIRED OR
GAS FIRED AND WHAT SIZE
TANK IF ANY.

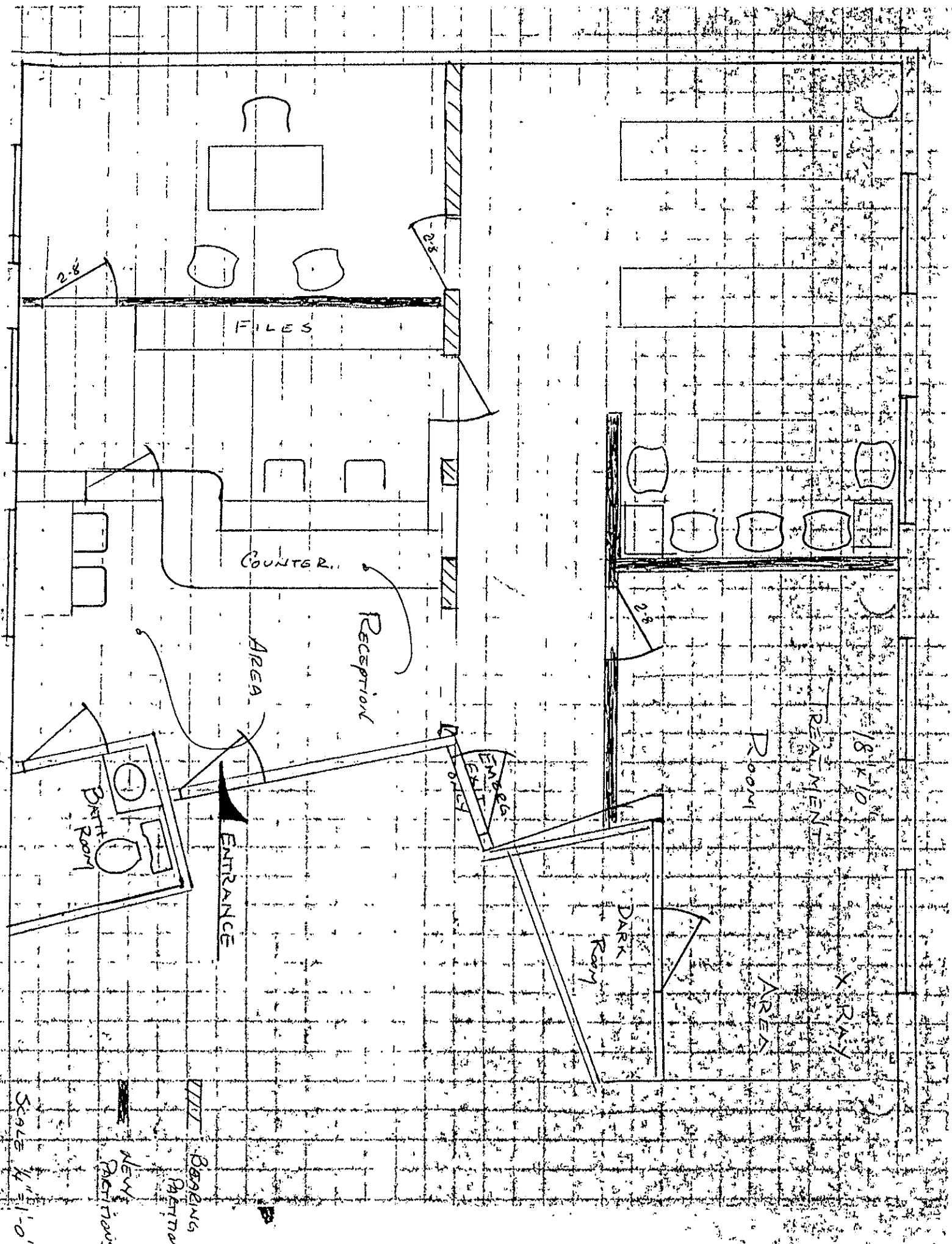
B USE HAS 1-HR FIRE RATING
WALL NOT SHOWING 1HR

DOORS O.K.

CAN NOT DO FIRE PERMIT NEED DEPT OF LABOR.

O.K.

UNDER STEP NOT FIRE STOP + MOST FIRE HOLES IN UNLAGEING
BUILDING LOOK LIKE WIRE FOR ALARM SYS.
10 ROOM WERE THERE'S





SUSSEX COUNTY SOIL CONSERVATION DISTRICT

186 Halsey Road, Suite 2, Newton, New Jersey 07860

Telephone: 973-579-5074 Fax: 973-579-7846 E-Mail Address: SussexSCD@Juno.com

June 1, 1999

TO: William Thompson 5 Myrtle Drive
Montague, NJ 07827

FROM: Wini Straub, District Manager

SUBJECT: Thompson Office Building
Block 1104, Lot 2.01
Sandyston Township
Soil Erosion and Sediment Control Plans #SA-24

SECOND NOTICE

As you are aware, the Soil Erosion and Sediment Control Plan Certification for the subject site has expired. In order to maintain an active status and be in compliance with the Standards for Soil Erosion and Sediment Control in NJ, it is necessary to submit a Request for Recertification (copy enclosed). We have also enclosed our Fee Schedule for your use when determining the proper fee to be submitted to this agency.

If your present Certified Plan adequately details the work to be accomplished within the next three and one half years you needn't pay a fee for Certification. However, a fee for inspection shall be paid at the earliest possible date along with a Recertification Fee of \$100.00.

If we receive no response by June 15, 1999, the subject plan will be classified as dormant. Therefore, any construction activity after June 15, 1999, could result in the issuance of a Stop Work Order by this agency.

c: Township Construction Official/Planning Board

Please review the enclosed inspection report.

WITH THE RIGHT TO OWN GOES THE DUTY TO CONSERVE



SUSSEX COUNTY SOIL CONSERVATION DISTRICT

186 Halsey Road, Suite 2, Newton, NJ 07860 (201) 579-5074

INSPECTION REPORT

This inspection has been conducted to insure compliance with the provisions of the Soil Erosion and Sediment Control Plan as certified by the Sussex County Soil Conservation District and pursuant to the requirements of the N.J. Soil Erosion and Sediment Control Act (Chapter 251, P.L. 75 and Amendments).

Project Thompson Office Bldg. Application SA024 Date 04-26-99

Municipality Sandyston Inspector Graybush Minutes 45

Block 1104 Lot 2.01 ☐ Block & Lot # to be posted

- ☐ No Certified Plan ☐ No Stormwater Permit (RFA) ☒ Fees Exhausted ☐ Recertification Required
- ☐ No Start ☐ No Further Development ☐ No Site Work ☐ Site Stable. SCD Compliance
- ☐ Construction Started ☐ Trees Being Cleared
- ☐ Final Report of Compliance ☐ Issued ☒ Not Ready ☐ Conditional Report of Compliance Issued
- ☒ Deviations from Plan are as follows: ☐ Refer to Certified Plan
- ☐ No Copy of Plan on Site
- ☐ Construction Entrance ☐ Improperly Constructed ☐ Wrong Size Stone
- ☐ 50 ft ☐ 100 ft ☐ Add Fabric ☐ Tracking Off Site ☐ Add Stone ☐ Replace Stone
- ☐ Erosion ☐ Sediment Loss
- ☐ Sediment Removal Required ☐ Channel ☐ Stream ☐ Roadway ☐ Basin
- ☐ Sediment Barrier ☐ Silt Fence ☐ Earthen Berm/Wick ☐ Hay/Straw Barrier
- ☐ Improper Installation ☐ Maintenance Required
- ☐ Basins ☐ Catch Basins
- ☐ Improper Installation ☐ Maintenance Required ☐ Stabilization Required ☐ As Built Required
- ☐ Berms ☐ Improper Installation ☐ Maintenance Required
- ☐ Swale ☐ Improper Construction ☐ Proper Grading Required
- ☐ Channel ☐ Improper Construction ☐ Proper Stabilization Required
- ☐ Outlet Structure Improperly Installed
- ☐ No Conduit Outlet Protection
- ☐ Rip Rap ☐ Improper Installation ☐ Maintenance Required ☐ Add Fabric
- ☐ Headwall ☐ Stabilization Required
- ☐ Stockpiles ☐ Remove ☐ Stabilization Required
- ☒ Grading ☐ Lots ☐ Side Slopes
- ☐ Inlet Protection ☐ Improper Installation ☐ Maintenance Required
- ☐ Temporary Stabilization ☐ Seed ☐ Mulch ☐ Tack ☐ Fertilize ☐ Lime
- ☒ Permanent Stabilization ☐ Seed ☒ Mulch ☒ Tack ☒ Fertilize ☒ Lime
- ☐ Crop Stabilization ☐ Immediate Winter Stabilization Needed
- ☐ Soil Erosion & Sediment Control Plan Revised: Recertification Required
- ☐ Notify SCD of Action Taken ☐ Contact SCD Immediately
- ☐ Stop Work Order to be Issued ☐ Stop Work Order Still in Effect
- ☒ Copy Sent to Owner

Comments: Finish grading and stabilize remaining bare areas to rear & side of building.

Mini

5-14-99

I estimate the remaining disturbed soil area to be between 2500 - 3000 sq. ft.

(Signature)

CONSTRUCTION PERMIT APPLICATION

I. IDENTIFICATION

6. Responsible Person in Charge of Work
 (11/11/11) M. Thompson
 Tel: 073 2933822

III. DO YOU WANT: (optional) 1 ☐ Partial Releases 2 ☐ Prototype Processing

3. ☒ Pressure vessels

6. ☐ Hazardous Uses/Places of Assembly

C.C. Form E-100B

13. TOTAL

.....

3. Change in Use:
Indicate Former:

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. ☐ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.vii:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☐ Building C.2. ☐ Fire Protection

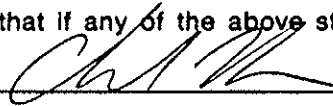
I further certify that I will perform the following work:

C.3. ☐ Electrical C.4. ☐ Plumbing

D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature  Date July 28/97

II. AGENT SECTION

(to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:32-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☐ Check if contractor.

Agent Name _____

Address _____

Telephone (_____) _____

Signature _____ Date _____



**FIRE PROTECTION
SUBCODE
TECHNICAL SECTION**

Date Received _____
Date Issued _____
Control # _____
Permit # _____

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block _____ Lot _____
Work Site Location _____
Owner in Fee _____
Address _____
Tele. (____) _____
Contractor _____
Address _____
Tele. (____) _____
Lic. No. _____
Federal Emp. No. _____ or Social Security No. _____

B. FIRE PROTECTION CHARACTERISTICS

Use Group Present _____ Proposed _____
Constr. Class. Present _____ Proposed _____
Heating Systems [] New [] Existing
Type: [] Gas [] Oil [] Electrical [] Solar
[] Other _____
Location: _____

Total Est. Cost of Fire Prot. Work \$ _____ [] Other _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW:		INSPECTIONS:		Dates (Month/Day)	
[] No Plans Required	Type:	Suppression Test	Initial	Failure	Approval
[] Bldg. [] Plumb.	Fire Alarm Test				
[] Elec. [] Elevator	Smoke Test				
[] Fire Plans Approved	Mechanical				
Date: 7-26-97	TCO				
Approved by: [Signature]	Other				
SUBCODE APPROVAL:					
[] CO [] CCO [] CA	Other				
Date: _____					
Approved by: _____					

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

SIGNATURE _____

D. TECHNICAL SITE DATA

Description of Work

Water Supply Source _____
Method of Valve Supervision _____
Local Alarm Supervision _____
Central Supervision _____
Proprietary Supervision _____

Flammable Liquid Storage Tanks _____
Combustible Liquid Storage Tanks _____
L.P.G. Storage Tanks _____
L.N.G. Storage Tanks _____

() Capacity _____ Fuel _____
() Capacity _____ Fuel _____
() Capacity _____ Fuel _____
() Capacity _____ Fuel _____

Number

Wet Sprinkler Heads _____
Dry Sprinkler Heads _____
TOTAL _____

Smoke Detectors _____
Heat Detectors _____
TOTAL _____

Stand Pipes _____
Kitchen Hood Exhaust Systems _____

Pre-Engineered Systems _____
CO₂ Suppression _____
Halon Suppression _____
Foam Suppression _____
Dry Chemical _____
Wet Chemical _____

Gas or Oil Fired Appliance _____
OTHER _____

FEE (Office Use Only)

Paid () Check # _____ Administrative Surcharge \$ _____
Minimum Fee \$ _____
DCA Training Fee \$ _____
Collected by: _____ TOTAL FEE \$ _____

BLC. 1109 LOT. 2.01 - SANDY OREN Twp
TO Revin Plumbing: a NJ

Plumbing application is ^{July} 22-97
required, signed and sealed
by current licensee (1997-1999)
master plumber

② The Plumbing Permit diagram
as shown on Page A-7 - is not
in compliance with Plb. Code
Venting is in violation with Code

Provide a Plumbing Application
signed and sealed by master plumber
with a N.J. STATE LICENSE

Joe:

Rec'd 7/22/97

I have a Plan Review for you
Thompson - Route 206 - I will
leave it on my desk - Any questions
Please call me -

Thanks
Pat

Received 7/24/97

Pat. Please see my attached note
RE: Review - plumbing. 7/24/97

fire sub code. 7-24-97 y.
AS PER note add to sub code app. ✓

ERG	X-LOC	REACT	SIZE	REQD	TOP	#1	#2	#3
1	0-1-12	2067	3.50"	2.44"	CHOD	204	204	204
2	31-3-12	2067	3.50"	2.44"	BOT	204	204	204
					WEB			

TC	1	2	3	4	5	6
FORCE	-4007	-5798	-2759	-2959	-3802	-4007
AXL	.22	.13	.09	.09	.13	.22
BND	.40	.43	.43	.43	.43	.40
CSI	.62	.56	.52	.52	.56	.62

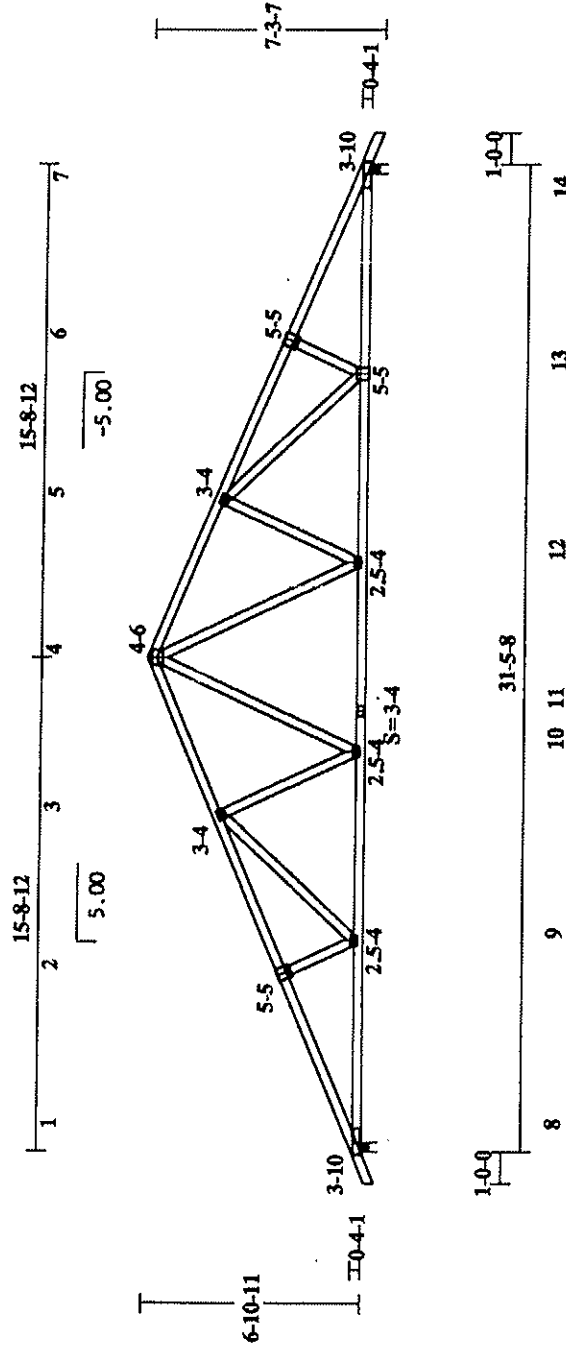
BC	1	2	3	4	5	6
FORCE	3609	2659	2221	2221	2659	3609
AX	72	59	45	45	59	72
BD	13	12	12	12	13	
SI	88	78	88	88	78	88

MB	FORCE	CSI
1	-453	09
2	700	24
3	-795	36
4	954	53
5	5	09
6	7	24
7	8	36
8	-453	53

TRUSWAL SYSTEMS CORPORATION
Christy J. DiRenzo Cert. # 37992
PROFESSIONAL ENGINEER - NJ

PROFESSIONAL ENGINEER - NJ
Christy J. DiCenzo
8-20-97

MAX DEFLECTION (SP8N) :-
L/999 IN MEM 11-12 (LIVE)
L₁ = -26" D₁ = -13" T₁ = -50"

[illegible]

8/19/97

All plates are 20 gauge Trusval Connectors unless preceded by "18" for 18 gauge or "H" for 16 gauge.

WARNING! Read all notes on this sheet and give a copy of it to the Erecting Contractor.

This design is for an individual building component. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer shall ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code. It is assumed that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid abutting material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood exceed 19% and/or cause component plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: "TRUSSCOM MANUAL", by Truswal, "QUALITY CONTROL STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES" - (Q3T-88), "HANDLING INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" - (HIB-91) and "HIB-91 SUMMARY SHEET" by TPI. The Truss Plate Institute (TPI) is located at 583 D'Oroffo Drive, Madison, Wisconsin 53719. The American Forest and Paper Association (AFPA) is located at 1250 Connecticut Ave, NW, Ste 200, Washington, DC 20036.



1610 Thomas Road, Hubbard OH 44425

Seqn 09.27.96-- 53073

Chk: CL	WO: C7080703
Dsgnr: CL	Customer Name: BILL THOMPSON
TC Live	40.0 psf
TC Dead	10.0 psf
BC Live	.0 psf
BC Dead	10.0 psf
TOTAL	60.0 psf
	DurFacs L=1.15 P=1.15 Rep Mbr Bnd 1.15 O.C.Spacing 2- 0- 0 Design Spec TPI TW Customer:CL

TOP CHORD
BOT CHORD
GABLE BLK

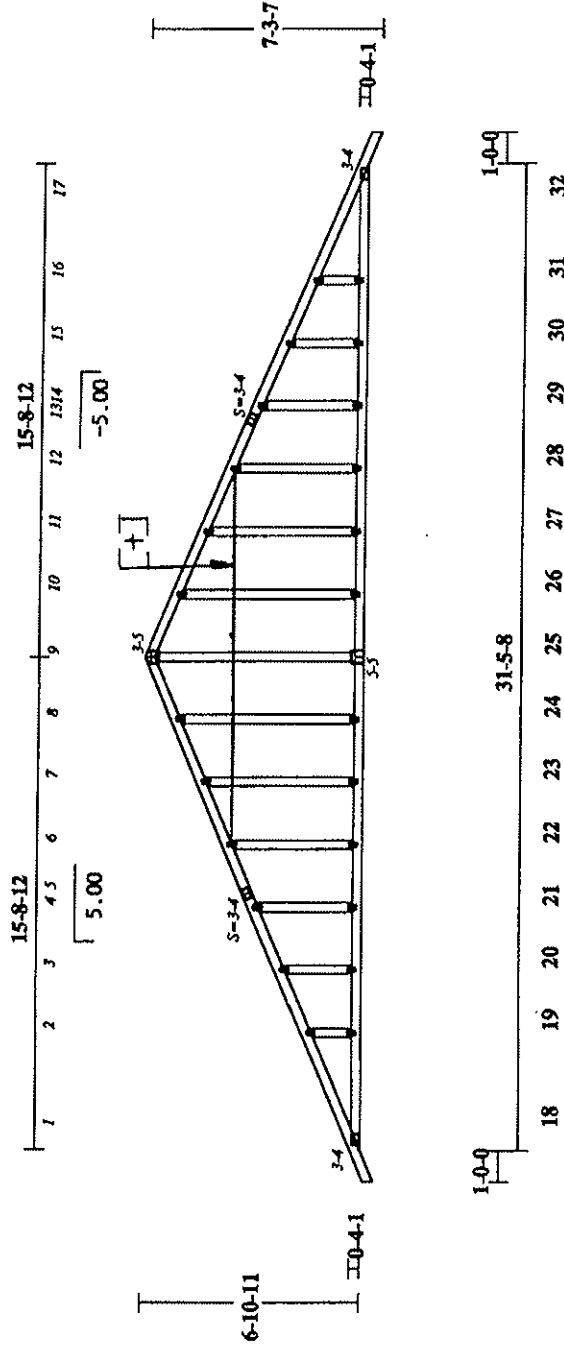
2x4 S# #2
2x4 S# #2
2x4 S# #3

Top chord supports 24.0 in of uniform load at 40 psf live load and 10 psf dead load. Additional design considerations may be required if sheathing is attached. (+) indicates the requirement for lateral support (designed by others) perpendicular to the plane of the truss, at 4' intervals. Bracing is a result of wind load applied to member. (Combination axial plus bending). This truss requires adequate sheathing, as designed by others, applied to the truss face providing lateral support for webs in the truss plane and creating shear wall action to resist diaphragm loads.

TRUSWAL SYSTEMS CORPORATION
Christy J. DiRenzo Cert. # 37992
PROFESSIONAL ENGINEER - NJ

Christy J. DiRenzo
8-20-97

Joint	Location
1	0-0
2	0-0
3	0-0
4	0-0
5	0-0
6	0-0
7	0-0
8	0-0
9	0-0
10	0-0
11	0-0
12	0-0
13	0-0
14	0-0
15	0-0
16	0-0
17	0-0
18	0-0
19	0-0
20	0-0
21	0-0
22	0-0
23	0-0
24	0-0
25	0-0
26	0-0
27	0-0
28	0-0
29	0-0
30	0-0
31	0-0
32	0-0



TYPICAL PLATE: 15-3

ALL plates are 20 gauge Truswal Connectors unless preceded by "18" for 18 gauge or "H" for 16 gauge.

OVER CONTINUOUS SUPPORT

8/19/97

WARNING Read all notes on this sheet and give a copy of it to the Erecting Contractor.
This design is for an individual building component. It has been based on specifications provided by the component manufacturer and does not conform with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer shall ascertain that the loads utilized on sheathing and the bottom chord is laterally braced by the roof or floor support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: "TRUSWAL MANUAL"; by Truswal, "QUALITY CONTROL STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES" (QST-88), "HANDLING INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" (HIB-91) and "HIB-91 SUMMARY SHEET" by TPI. The Truswal Institute (TPI) is located at 883 D'Osoffio Drive, Madison, Wisconsin 53719. The American Forest and Paper Association (AFPA) is located at 1250 Connecticut Ave, NW, Ste 200, Washington, DC 20036.



1610 Thomas Road, Hubbard OH 44425

Seqn 09.27.96- 53074

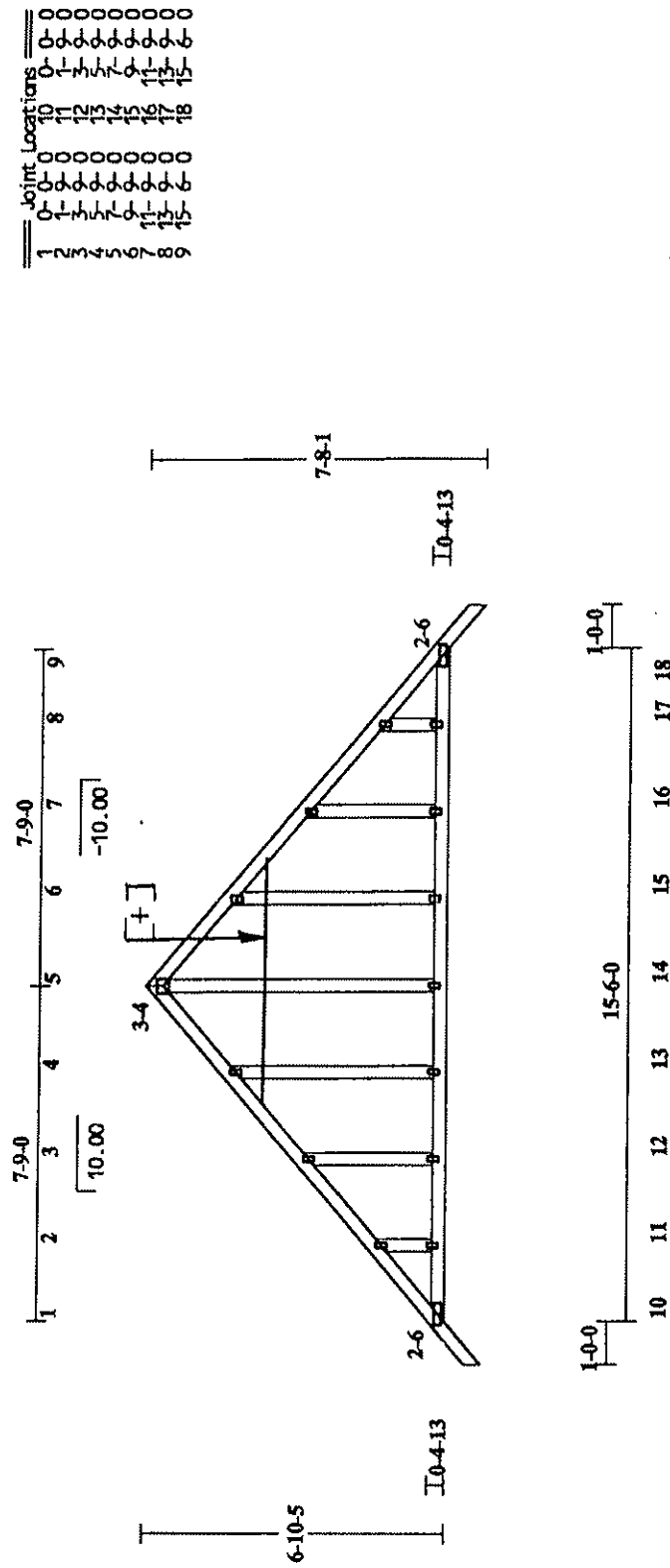
Chk: CL	Dsgnr: CL
TC Live	40.0 psf
TC Dead	10.0 psf
BC Live	.0 psf
BC Dead	10.0 psf
TOTAL	60.0 psf

UO: C7080703	Customer Name: BILL THOMPSON
Surfacs L=1.15	P=1.15
Rep Mbr Bnd	1.15
O.C. Spacing	2-0-0
Design Spec	TPI
TV Customer:	CL

Top chord supports 24.0 in of uniform load at 40 psf live load and 10 psf dead load. Additional design considerations may be required if sheathing is attached.

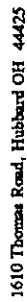
[+] Indicates the requirement for lateral support (designed by others) perpendicular to the plane of the truss, at 4' intervals. Bracing is a result of wind load applied to member. (Combination axial plus bending). This truss requires adequate sheathing, as designed by others, applied to the truss face providing lateral support for webs in the truss plane and creating shear wall action to resist diaphragm loads.

Christy J. Dilange
PROFESSIONAL ENGINEER - NJ
8-20-97



ALL PLATES ARE 20 GAUGE TRUSVAL CONNECTORS UNLESS PRECEDED BY "18" FOR 18 GAUGE OR "H" FOR 16 GAUGE.

8/19/97



Seqn 09.27.96*** 53076

THIS MANUFACTURER READS AND MAKES ON THIS SHEET AND GIVE A COPY OF IT TO THE ERECTING CONTRACTOR.

This design is for an individual building component. It has been based on specifications provided by the component manufacturer and done in accordance with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer shall ascertain that the loads utilized on this design meet or exceed the loading imposed by the local building code. It is assumed that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached, unless otherwise noted. Bracing shown is for lateral support of components members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood exceed 19% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with the following standards: "TRUSSMAN MANUAL" by Truswell, "QUALITY CONTROL STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES" - (QST-89), "HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" - (HIB-91) and "HIB-91 SUMMARY SHEET" by TPI. The Truss Plate Institute (TPI) is located at 383 D'Oroville Drive, Madison, Wisconsin 53719. The American Forest and Paper Association (AFPA) is located at 1250 Connecticut Ave, NW, Ste 200, Washington, DC 20036.

Chk: CL		
Dsgnr: CL		
TC Live	40.0 psf	
TC Dead	10.0 psf	
BC Live	.0 psf	
BC Dead	10.0 psf	
TOTAL	60.0 psf	



ELECTRICAL
SUBCODE
TECHNICAL SECTION



Date Received 7-28-97
Date Issued
Control # 67-97
Permit #

IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1104 Lot 2.01
Work Site Location 237 Rt 206 South

Owner in Fee William R. Thompson
Address 54 Myrtle Dr. Montague NJ 07827

File (201) 293-8252
Contractor M & B ELECTRICAL
Address 10 NEW MARKET DRIVE
MONTAGUE, N.J. 07827

File (201) 293-7213
2. No. 6786
Federal Emp. No. 22-3302161 or Social Security No.

ELECTRICAL CHARACTERISTICS

Electric Group Present Proposed
1 Pole/Pad # 1 Temporary 1 Other GPU
Building Occupied as OFFICE Utility Co.
Est. Cost of Elec. Work \$ 8000.00

JOB SUMMARY (Office Use Only)

PLAN REVIEW:
No Plans Required
Joint Plan Review Required:
1 Bldg. 1 Plumb.
1 Fire 1 Elevator
1 Elec. Plans Approved
Date: 7/25/97
Approved by: [Signature]
SUBCODE APPROVAL
CO 1 COO/189CA
Date: 5/17/97
Approved by: [Signature]

INSPECTIONS
Type: Rough Failure Approval Initial
* Temporary Failure Approval Initial
Constr. Serv. Failure Approval Initial
TCO Failure Approval Initial
Other Failure Approval Initial
Service Failure Approval Initial
Final Failure Approval Initial
Temp. Cut-in-Card Date Issued 2-6-98
Final Cut-in-Card Date Issued 2-6-98

CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Licensed Electrical Contractor [] Exempt Applicant

Signature—Contractor Seal

[Signature]

D. TECHNICAL SITE DATA

NO.	SIZE	ITEM
52		Fixtures (1)
33		Receptacles (2)
14		Switches (3)
68	14-102	Total 1 + 2 + 3
		Kw Range
		Kw Oven(s)
		Kw Surface Unit
		hp Dishwasher
		hp Garbage Disposal
		Kw Dryer
2	1.5	Kw A/C Unit
		Burglar Alarms
		Intercoms Panels
		Smoke Detectors
		hp Whirlpool/spa
		Pool Bonding
		hp Pool Filter Motor
		Pool Lights
2	11.5	Kw Water Heater(s)
		Central heat:
		oil, gas or elec.
		Kw Baseboard Heat Units
		Thermostats
1	1/2	hp Heat Pump
		hp Pump(s) To Pressures Switch
		Amp Motor Control Center/Sub Panels
		Signs
		Light Standards
1	1/2	hp Motors—Fractional H.P.
		hp Motors—All Others
		Kw Transformers
		Kw Generators
2	150	Amp Service Entrance
		Other

Paid [] Check #
Collected by:
Administrative Surcharge \$
Minimum Fee \$
DCA Training Fee \$
TOTAL FEE \$

FEE (Office Use Only)
48-
20-
92-
24-
160-
174-



ELECTRICAL
SUBCODE
TECHNICAL SECTION



IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Owner in Fee WILLIAM THOMPSON
Address 5 MARLBOROUGH AVE 07807
City SPRING HOUSE State PA
County DADE Zip 33446

Contractor M & B ELECTRIC
Address 10 NEW MYRTLE DRIVE
City DADE State PA
County DADE Zip 33446

Telephone 293-7213
Fax 293-7213

Permit No. 6786
Permit Fee 22-3302161

or Social Security No. CHANGES FROM 2150 AMP SERVICES TO 3-100 AMP SERVICES

ELECTRICAL CHARACTERISTICS
Type: ☒ Residential ☐ Commercial ☐ Industrial ☐ Other

Building Occupied as COMMERCIAL Utility Co. CP&U
Cost of Elec. Work \$ INCLUDED IN ORIGINAL

JOB SUMMARY (Office Use Only)
PLAN REVIEW:
☐ No Plans Required
Joint Plan Review Required:
☐ Bldg. ☐ Plumb.
☐ Fire ☐ Elevator
☐ Elec. Plans Approved

Date: _____
Approved by: _____

SUBCODE APPROVAL
COG ☐ CC ☐ CA
Date: 5/1/99
Approved by: [Signature]

CERTIFICATION IN LIEU OF OATH
I hereby certify that I am the (agent of) owner of _____
and am authorized to make this application _____
and perform the work listed on this application.

Signature—Contractor Seal
[Signature]
Signature—Contractor Seal
[Signature]

Licensed Electrical Contractor ☐ Exempt Applicant

D. TECHNICAL SITE DATA

NO. SIZE ITEM

Fixtures (1)

Receptacles (2)

Switches (3)

Total 1 + 2 + 3

Kw Range

Kw Oven(s)

Kw Surface Unit

hp Dishwasher

hp Garbage Disposal

Kw Dryer

Kw A/C Unit

Burglar Alarms

Intercoms/Panels

Smoke Detectors

hp Whirlpool/spa

Pool Bonding

hp Pool Filter Motor

Pool Lights

Kw Water Heater(s)

Kw Central heat:

oil, gas or elec.

Kw Baseboard Heat Units

Thermostats

hp Heat Pump

hp Pump(s)

3 100 Amp Motor Control Center/Sub Panels

Signs

Light Standards

hp Motors—Fractional H.P.

hp Motors—All Others

Kw Transformers

Kw Generators

13 100 Amp Service Entrance

Other

Administrative Surcharge

Minimum Fee

DCA Training Fee

TOTAL FEE

Collected by: MW

U.D.C. Form F-1208

GARDEN STATE CODE



**FIRE PROTECTION
SUBCODE
TECHNICAL SECTION**



Date Received	Date Issued	Control #	Permit #

INFORMATION, WHEN CHANGING
-272-1000.

D. TECHNICAL SITE DATA

Description of Work

Water Supply Source
Method of Valve Supervision
Local Alarm Supervision
Central Supervision
Proprietary Supervision

Flammable Liquid Storage Tanks
Combustible Liquid Storage Tanks
L.P.G. Storage Tanks
L.N.G. Storage Tanks

() Capacity _____	Fuel _____
() Capacity _____	Fuel _____
() Capacity _____	Fuel _____
() Capacity _____	Fuel _____

Wet Sprinkler Heads	
Dry Sprinkler Heads	
TOTAL	
	Number

FREE (Office Use Only)

Smoke Detectors
Heat Detectors
TOTAL

Stand Pipes
Kitchen Hood Exhaust Systems

Pre-Engineered Systems
CO₂ Suppression
Halon Suppression
Foam Suppression
Dry Chemical
Wet Chemical

Gas or Oil Fired Appliance
OTHER

Paid [	] Check # _____	
		Administrative Surcharge \$
		Minimum Fee \$
		DCA Training Fee \$
Collected by:		TOTAL FEE \$

U.C.C. Form F-140B

1 White = Inspector Copy	2 Canary = Office Copy
3 Pink = Office Copy	4 Gold = Absentee Copy

They must Fill out Fire
Protection subcode app.
must show emg lighting
in plan.

IS THERE A ALARM SYS GOING
IN. IF SO MUST SHOW IT ON PAPER
AND NEED PAPER WORK ON IT
IS HEATING SYS OIL FIRED ON
GAS FIRED AND WHAT SIZE
TANK IF ANY.

- use HAS 1-HR FIRE RATING
wall not showing L&R
Doors o.k.

Doors o.k.

Joint Plan Review required.	Suppression Test	ire	Dates (Month/Day)	Initial
☐ Bldg. ☐ Plumb.	Fire Alarm Test	_____	Failure _____ Approval _____	_____
☐ Elec. ☐ Elevator	Smoke Test	_____	_____	_____
☐ Fire Plans Approved	Mechanical	_____	_____	_____
Date: 7-24-97	TCO	_____	_____	_____
Approved by: [Signature]	Other _____	_____	_____	_____
SUBCODE APPROVAL: [Signature]	Other _____	_____	_____	_____
☐ CO ☐ CCO ☐ CA	Other _____	_____	_____	_____
Date: _____				
Approved by: _____				

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

SIGNATURE



PLUMBING
SUBCODE
TECHNICAL SECTION

Date Received 7-28-97
Date Issued
Control #
Permit # 67-97

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1164 Lot 201
Work Site Location 237 Rt 206 Harpersville, W.V.
Owner in Charge William B. Thompson
Address 3 Myrtle Dr. Montague, W.V. 26027
Tele. (913)(201) 293-8252
Contractor R. Seaback + son Plumbing + Heating
Address 37 Rural Dr. Montague, W.V. 26027
Tele. (201) 293-7276
Lic. No. 8373
Federal Emp. No. _____ or Social Security No. 137-58-5837

B. PLUMBING CHARACTERISTICS

Use Group _____ Present ☒ Proposed _____
Building Sewer Size 4" PVC Public Sewer _____ Private Septic ☒
Water Service Size 1" Public Water _____ Private Well _____
Estimated Cost of Plumbing Work \$ _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW:		INSPECTIONS		Dates (Month/Day)	
Type:	Slab	Failure	Failure	Approval	Initial
☐ No Plans Required					
Joint Plan Review Required:					
☐ Bldg. [] Elec.					
☐ Fire [] Elevator					
☐ Plumb. Plans Approved					
Date: _____					
Approved by: _____					
SUBCODE APPROVAL:					
☐ CO [] CCO [] CA					
Approved By: _____					
Date: _____					

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of _____
record and am authorized to make this application _____
and perform the work listed on this application.

☒ Licensed Plumbing Contractor [] Exempt Applicant
Signature—Contractor Seal Robert Seaback

D. TECHNICAL SITE DATA (List all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
<u>3</u>	Water Closet	<u>27</u>
	Urinal/Bidet	
<u>3</u>	Bath Tub	<u>27</u>
	Lavatory	
<u>3</u>	Shower	<u>27</u>
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
<u>1</u>	Hose Bibb	<u>9</u>
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Water Cooled A/C	
	or Refrigeration Unit	
	Sewer Connection	
	Water Service Connection	
	Active Solar System	
	Other	
Paid [] Check # _____		Administrative Surcharge \$ _____
		Minimum Fee \$ _____
Collected by: _____		DCA Training Fee \$ _____
		TOTAL \$ <u>90</u>

Garden State Electrical Inspection Services, Inc.

MUNICIPALITY Sandy Hook



ELECTRICAL SUBCODE TECHNICAL SECTION



Date Received 7-28-97
Date Issued
Control #
Permit # 67-97

IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION WHEN CHANGING CONTRACTORS. NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 104 Lot 2.01
Work Site Location 237 Rt 206 South

Owner in Fee William R. Thompson
Address 5 Myrtle Dr. Montague NJ 07827

File (201) 293-8752
Contractor M+B ELECTRIC

Address 10 NEW MYRTLE DRIVE
MONTAGUE, NJ 07827

File (201) 293-7213
No. 6786 or Social Security No. 22-3302161

ELECTRICAL CHARACTERISTICS

Group Present Proposed
[] Pole/Pad # [] Temporary [] Other []
Building Occupied as OFFICE Utility Co. GPU
Cost of Elec. Work \$ 8000.00

JOB SUMMARY (Office Use Only)

PLAN, REVIEW:		INSPECTIONS		Dates (Month/Day)	
Type	Failure	Failure	Approval	Initial	
[] No Plans Required					
Joint Plan Review Required:					
[] Bldg. [] Plumb.					
[] Fire [] Elevator					
[] Elec. Plans Approved					
Date: <u>7/28/97</u>					
Approved by: <u>[Signature]</u>					
SUBCODE APPROVAL		Temp. Cut-in-Card Date Issued			
[] CO [] CCO [] CA		Final Cut-in-Card, Date Issued			
Date:					
Approved By:					

CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Licensed Electrical Contractor [] Exempt Applicant

Signature—Contractor Seal

[Signature]

D. TECHNICAL SITE DATA

NO.	SIZE	ITEM
<u>52</u>		Fixtures (1)
<u>32</u>		Receptacles (2)
<u>14</u>		Switches (3)
<u>90</u>	<u>14+102</u>	Total 1 + 2 + 3
		Kw Range
		Kw Oven(s)
		Kw Surface Unit
		hp Dishwasher
		hp Garbage Disposal
		Kw Dryer
<u>2</u>	<u>1.5</u>	Kw A/C Unit
		Burglar Alarms
		Intercoms Panels
		Smoke Detectors
		hp Whirlpool/spa
		Pool Bonding
		hp Pool Filter Motor
		Pool Lights
		Kw Water Heater(s)
<u>2</u>	<u>0.3</u>	Kw Central heat
		oil, gas or elec.
		Kw Baseboard Heat Units
		Thermostats
		Heat Pump
<u>1</u>	<u>1/2</u>	hp Pump(s) <u>TO PRESSURE SWITCH</u>
		Amp Motor Control Center/Sub Panels
		Signs
		Light Standards
		hp Motors—Fractional H.P.
<u>1</u>	<u>1/2</u>	hp Motors—All Others <u>SOURCE PUMP</u>
		Kw Transformers
		Kw Generators
<u>2</u>	<u>150</u>	Amp Service Entrance
		Other

FEE (Office Use Only)

<u>48</u>	
<u>20</u>	
<u>92</u>	
<u>24</u>	
<u>160</u>	
<u>184</u>	

Paid [] Check #	Administrative Surcharge
Minimum Fee	
DCA Training Fee	
TOTAL FEE	
Collected by:	

U.C.C. Form F-120B

OFFICE COPY

Garden State Electrical
Inspection Services Inc.



CUT-IN-CARD

MUNICIPALITY SANDYSTON

LOCATION 237 RT 206

UTILITY CO. _____

BLK 1104 LOT 201

OWNER WILLIAM THOMPSON OCCUPANT _____

"Installation in the above premises has been inspected and is
in accordance with N.E.C. and DCA requirements."

☒ FINAL ☐ TEMPORARY This approval void after _____ days

DESCRIPTION OF SERVICE 300AMP WG (3 METER) 1P

INSTALLED BY MTB ELECTRIC LICENSE NO 6786

DATE 2-6-98 PERMIT # 6797 INSPECTOR Bill Kuchel

☐ CALLED IN _____

Lic. No: 4019

#1 WR 190573 #2 WR 249847 #3 WR 249849

U.C.C. Form F-350B 1 WHITE-UTILITY 2 CANARY-OFFICE/FILE 3 PINK-OFFICE/CONTRACTOR

**GARDEN STATE ELECTRICAL
INSPECTION SERVICES, INC.**

11 Deer Park Drive, Suite 201
MONMOUTH JUNCTION, NJ 08852
(732) 438-9300 FAX (732) 438-9393

Memo

LETTER

Date 2-10-98

To SENDYSTON TOWNSHIP BLDG. DEPT.

Subject FEE CORRECTION

P.O. BOX 102

PERMIT # 67-97 +

LAYTON, NJ. 07851

67-97-A

237 ROUTE 206

1- 300 AMP SERVICE ENTRANCE

92-

3- 100 AMP SUBPANELS

138-

2- 1.5 KW OIL

20-

52- PICTURES

32- RECEPTACLES

14- SWITCHES

2- OIL OR GAS HEAT

1- 1/2 HP WELL PUMP

1- 1/2 HP SEPTIC PUMP

TOTAL DEVICES = 102

54-

TOTAL AMT DUE GARDEN STATE

304-

PAID 160-7-28-97

PAID 184-2-2-98

TOTAL

344-

THERE IS A 40- OVERCHARGE

GARDEN STATE WILL BILL A TOTAL OF 304-

Thompson Bldg.

Bill Kirchbaum

SIGNED

☒ Please reply

☐ No reply necessary

Garden State Electrical Inspection Services, Inc.



ELECTRICAL
SUBCODE
TECHNICAL SECTION



IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION, WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

City Site Location 1104 237 ROUTE 206 Lot 2.01

Owner in Fee WILLIAM THOMPSON

Address 5 MYRTLE DRIVE

City MONTAGUE, NJ 07827

Contractor M & B ELECTRIC

Address 10 NEW MYRTLE DRIVE

City MONTAGUE, NJ 07827

Telephone (973) 293-7213

License No. 6786 or Social Security No. 22-3302161

ELECTRICAL CHARACTERISTICS CHANGES FROM 2-150 AMP SERVICES TO 3-100 AMP SERVICES

Group Present Proposed [] Temporary [] Other

Building Occupied as COMMERCIAL Utility Co. GPU

Cost of Elec. Work \$ INCLUDED IN ORIGINAL

JOB SUMMARY (Office Use Only)

PLAN REVIEW:		DATES (Month/Day)	
Type:	Failure	Approval	Initial
Rough			
Temporary			
Constr. Serv.			
TCO			
Other			
Service			
Final			
Temp. Cut-in-Card Date Issued			
Final Cut-in-Card Date Issued			

Approved by: _____ Date: _____

Subcode Approval [] CO [] CCO [] CA

Approved By: _____ Date: _____

CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of _____ and am authorized to make this application and perform the work listed on this application.

Signature—Contractor Seal M. A. Lott

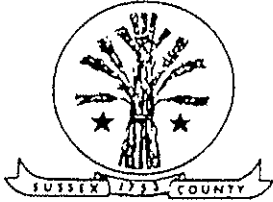
Licensed Electrical Contractor [] Exempt Applicant

D. TECHNICAL SITE DATA

NO. SIZE ITEM

Fixtures (1) _____
Receptacles (2) _____
Switches (3) _____
Total 1 + 2 + 3 _____
Kw Range _____
Kw Oven(s) _____
Kw Surface Unit _____
hp Dishwasher _____
hp Garbage Disposal _____
Kw Dryer _____
Kw A/C Unit _____
Burglar Alarms _____
Intercoms Panels _____
Smoke Detectors _____
hp Whirlpool/spa _____
Pool Bonding _____
hp Pool Filter Motor _____
Pool Lights _____
Kw Water Heater(s) _____
Kw Central heat: _____
oil, gas or elec. _____
Kw Baseboard Heat Units _____
Thermostats _____
hp Heat Pump _____
hp Pump(s) _____
3 100 Amp Motor Control Center/Sub Panels _____
Signs _____
Light Standards _____
hp Motors—Fractional H.P. _____
hp Motors—All Others _____
Kw Transformers _____
Kw Generators _____
13 100 Amp Service Entrance _____
Other _____

Paid ☒ Check 1201 Administrative Surcharge \$ _____
Minimum Fee \$ _____
DCA Training Fee \$ _____
TOTAL FEE \$ _____
Collected by: MW



DEPARTMENT OF PLANNING
AND DEVELOPMENT
Administration Building
Plotts Road
Newton, New Jersey 07860
Phone: (201) 579-0500
Fax: (201) 579-0513

FRED F. SULJIC
Administrator

County of Sussex

July 10, 1995

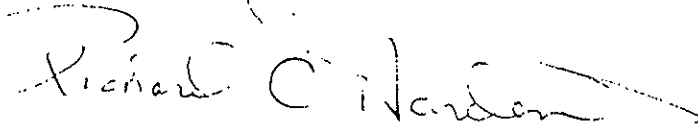
Wayne T. McCabe
83 Main Street
Newton, NJ 07860

Re: Application: Preliminary Site Plan
SCPB#: 51(PSP)95
Applicant: William Thompson
Premise: Block: 1104 Lot: 2.01
Address: State Route 206 and County Route 645 (MM 2)
Sandyston Township

Dear Mr. McCabe:

1. Under Provisions of the County & Regional Planning Enabling Act and the Sussex County Land Development Standards all subdivision applications shall be submitted to the County Planning Board for review and for those applications that affect County Roads, County Property and/or County Drainage, County Planning Board Approval is required. As this premise fronts on County Route 645 and affect County Drainage Sussex County Planning Board Approval is required.
2. Submitted in support of this application were plans entitled "Site Plan" consisting of 5 sheets, prepared by Wayne T. McCabe & Associates, dated 3-6-95, with revisions through 5-26-95.
3. This application was received on 6-1-95, was found complete on 6-22-95, and was "Conditionally Approved" by the County Planning Board's Development Review Committee on 7-10-95, in accordance with the attached Sussex County Engineer and Planning Department reports.

For the Sussex County Planning Board's
Subdivision Review Committee


Richard C. Harden Sr.
Senior Planning Aide

cc: County Engineer
Sandyston Township Planning Board Secretary
John O'Krepky
William Thompson
Ted Brace



County of Sussex

FRED F. SULLIVAN
Administrator

To: Sussex County Planning Board's
Development Review Committee

From: Richard C. Harden, Sr. *Rich*

Subject: Sussex County Planning Department Review

Date: June 22, 1995

I. The Planning staff has reviewed the following Application:

Re: Application: Preliminary Site Plan
SCP#/: 51(PSP)95
Applicant: William Thompson
Premise: Block: 1104 Lot: 2.01
Address: State Route 206 and County Route 645 (MM 2)
Sandyston Township

II. The following conditions shall be accomplished by the applicant/owner in order to secure County Planning Board Approval:

1. The plat shows Ted Brace as owner and William Thompson as applicant. The Township and the County Application both show William Thompson as owner/applicant. This difference shall be addressed.
2. A 33 foot right-of-way, measured from the centerline of County Route 645 shall be dedicated to the County of Sussex by the Applicant/owner.
3. Deed Descriptions for the right-of-way shall be prepared by the applicants surveyor and the description shall be forwarded to the Sussex County Planning Department (County Administration Bldg, Platts Rd., Newton, NJ 07860) for Review, Approval of the County Engineer and Preparation of a Deed by the County Counsel. After the deed is executed by the applicant, it shall be returned to the Sussex County Planning Department for recordation.
4. If an L.O.I. has been obtained from the D.E.P.E., the number shall be added to the plat and copy shall be submitted to the Sussex County Planning Board.

III. The following Comments should be considered by the applicant and the Municipality:

None

IV. County Land Development Standards required one (1) copy of the revised Subdivision Plan to be submitted to the County Planning Board for approval. Additional copies shall be submitted to the Municipal Planning Board as required.

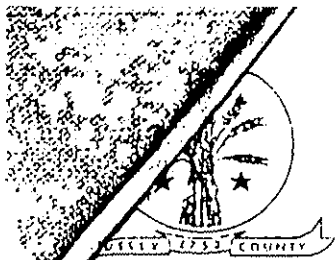
V. The following Conditions must be addressed by the Applicant/Owner prior to commencement of any construction:

None

VI. The County Planning Board reserves their right to establish additional conditions or make other comments when revised plans are submitted.

VII. The Applicant shall be responsible to file a new application with the Sussex County Planning Board when :

- a. The Municipality's Classification differs from the classification shown above.
- b. Any Municipal Approval expires



County of Sussex

DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING
Administration Building
Plotts Road
Newton, New Jersey 07860
(201) 579-0430
FAX: (201) 579-0444

Eric G. Grove, P.E.
Administrator of DPW/County Engineer
John C. Risko, P.E., P.L.S., P.P.
Assistant County Engineer

05 JULY 1995

TO: SUSSEX COUNTY PLANNING BOARD DEVELOPMENT REVIEW COMMITTEE

REFERENCE: APPLICATION No. 51(PSP)95

This proposed Site Plan

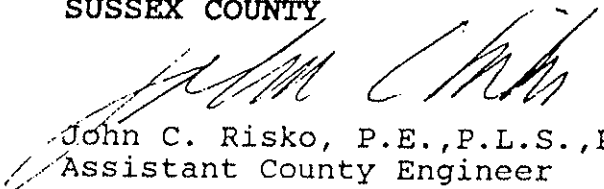
 X has frontage on Sussex County Route 645
 requires access new intersecting street
 new driveway
 existing driveway

 X is within the subwatershed of a County
 X bridge no. P-20
 stormwater collection system
 in Sussex County Route
 is adjacent to County property
 Block Lot
 Municipality

Pursuant to N.J.S.A. 40:27-6.6, this application requires the approval of the Sussex County Planning Board. We have the following comments as it regards this application:

1. The source document of the right-of-way of CR 645 shall be noted on the plans.
2. Access shall be precluded from this lot to CR 645. This shall appear as a note on the plans and as shall be included as a restrictive covenant in any deeds for this property.
3. The impact of this development on Sussex County Bridge P-30 shall be addressed.

Very truly yours,
SUSSEX COUNTY


John C. Risko, P.E., P.L.S., P.P.
Assistant County Engineer

SUSSEX COUNTY PLANNING BOARD
57 HIGH STREET
NEWTON, NEW JERSEY 07860
201 - 383 - 2820

DATE PROCESSED JUN 22 1995
REVIEW DATE JUL 10 1995
ACTION DATE JUL 10 1995

PRIOR
APPLICATIONS

COUNTY NUMBER

ACTION TAKEN

DATE

APPLICATION BY William Thompson

FOR

- ☐ CONCEPTUAL REVIEW
☒ NEW APPLICATION
☐ REQUIRED REVISION
☐ REVISION BY APPLICANT
☐ REVISION AFTER DISAPPROVAL

MUNICIPALITY Sandyston Township

BLOCK NUMBER 1104

LOT(S) NUMBER 2.01

ZONE (EXISTING) CI Commercial Industrial

TAX MAP NUMBER 11

STREET ADDRESS Route 206 South

SITE ABUTS

PRIVATE STREET OR RIGHT OF WAY

MUNICIPAL STREET

COUNTY ROAD NUMBER 645 STATE HIGHWAY NUMBER 206

COUNTY PROPERTY BLOCK LOT

SITE EFFECTS

COUNTY BRIDGE NO. P20 P21 ON C R 645

DRAINAGE ON COUNTRY ROAD ROUTE NO.

SITE DEVELOPMENT IS

- ☐ RESIDENTIAL ☒ COMMERICAL ☐ INDUSTRIAL ☐ (QUASI) PUBLIC
☐ ROADS ☐ ADDITIONAL R.O.W. ☐ OPEN SPACE ☐ RECREATION AREAS
☐ DRAINAGE ☐ SLOPE ☐ SIGHT ☐ SIGHT TRIANGLES ☐ UTILITIES
☐ SIGHT DISTANCE ☐ SIGHT TRIANGLES ☐ OTHER
☐ FLOOD HAZARD AREAS ☒ WET LANDS ☐ OPEN WATER ☐ DETENTION BASINS

SITE REQUIRES
DEDICATION OF

SITE REQUIRES
EASEMENTS FOR

WAIVERS
REQUIRED FOR

SITE
CONTAINS

TOTAL CONTIGUOUS LAND AREA OWNED (UNDER CONTRACT) BY APPLICANT 3.304 acres ACRES

SUBDIVISION PROPOSES CREATION OF 0 NEW LOTS CONTAINING one lot total ACRES

SITE PLAN PROPOSES DEVELOPMENT (TOTAL DISTURBED AREA) OF less than one acre ACRES

DEVELOPMENT PROPOSES DEDICATION OF ADDITIONAL RIGHTS OF WAY ACRES

DEVELOPMENT PROPOSES DEDICATION OF OPEN SPACE OF ACRES

TYPE OF APPLICATION

SITE PLAN

☒ PRELIMINARY

☐ FINAL

FEE REQUIRED

\$ 550.00

PLANNED DEVELOPMENT

☐ PRELIMINARY

☐ FINAL

\$

SUBDIVISION MINOR

☐ AGRICULTURAL

☐ LOT

☐ LOT LINE RELOCATION

CONSOLIDATION

☐ UNPERFECTED SUBDIVISION

☐ MINOR

\$

SUBDIVISION TECHNICAL MAJOR

☐

\$

SUBDIVISION MAJOR

☐ PRELIMINARY

☐ FINAL

\$

Mailing Address 5 Myrtle Drive, Montague, NJ 07827

Corporate Representative _____

Telephone Number (201) 293-8252

Signature of Applicant *Wayne T. McCabe*

Date of application 5/7/95

print name of person completing application

signature of person completing application *Wayne T. McCabe*

Owner's Name William Thompson

Mailing Address 5 Myrtle Drive, Montague, NJ 07827

Corporate Representative _____

Telephone Number (201) 293-8252

I / we hereby authorize the above named applicant to submit this application for the proposed development on my /our property.

Date _____

Land Surveyor's Name Richard Tully

License No. 36282

Firm or Company McCabe & Associates, Inc.

Mailing Address 83 Main Street, Newton, NJ 07860

Telephone Number (201) 579-2525

Engineer / Architect Name Peter W. Shelton

License No. 18674

Firm or Company McCabe & Associates, Inc.

Mailing Address 83 Main Street, Newton, NJ 07860

Telephone Number (201) 579-2525

PLANNER'S NAME Wayne T. McCabe, P.P., A.I.C.P.

License No. 2009

Firm McCabe & Associates, Inc.

Mailing Address 83 Main Street, Newton, NJ 07860

Telephone Number (201) 579-2525

Realtor of other Representative _____

Title _____

Firm _____

Mailing Address _____

Telephone Number () _____

Comments or Notes _____

COUNTY PLANNING BOARD REVIEW ACTION

This application has been acted upon in accordance with the N. J. County Planning Enabling Act R. S. 40:27-6-2 through 40:27-6.4 or 40:27-6.6 as follows:

- ☐ Received & Filed - Application stands (Approved) (Conditionally Approved) (Disapproved)
- ☐ Previewed - comments on conceptual plan are attached.
- ☐ Exempt - site plan will have no adverse affect on any County Property.
- ☐ Reviewed - subdivision will have no adverse affect on any County Property.
- ☐ Approved as it relates to County roads, bridges, drainage structures, and / or property.
- ☒ Approved subject to compliance with recommendations (see attached).
- ☐ Disapproved for a number of reasons (see attached).



**FIRE PROTECTION
SUBCODE
TECHNICAL SECTION**



Date Received 6-28-99
Date Issued _____
Control # _____
Permit # 54-99

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION, WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1900.

Block _____
Work Site Location Sandyson Lot 201
Owner in Fee William R Thompson
Address 5 Myrtle Drive
Montague NJ 07827
Tele. (973) 293-8252
Contractor _____
Address _____
Tele. (____) _____
Lic. No. _____
Federal Emp. No. _____ or Social Security No. _____

B. FIRE PROTECTION CHARACTERISTICS

Use Group Present _____ Proposed _____
Constr. Class. Present _____ Proposed _____
Heating Systems ☒ New ☐ Existing
Type: ☒ Gas ☐ Oil ☐ Electrical ☐ Solar
☐ Other _____
Location: 1st floor
Total Est. Cost of Fire Prot. Work \$ _____ [] Other _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW:		INSPECTIONS:		Dates (Month/Day)	
		Type:	Failure	Failure	Approval
☐ No Plans Required		Suppression Test			Initial
Joint Plan Review Required:		Fire Alarm Test			
☐ Bldg. ☐ Plumb.		Smoke Test			
☐ Elec. ☐ Elevator		Mechanical			
☐ Fire Plans Approved		TCO			
Date: _____		Other			
Approved by: _____		Other			
SUBCODE APPROVAL:		Other			
☐ CO ☐ CCO ☐ CA		Other			
Date: _____					
Approved by: _____					

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of _____
record and am authorized to make this application.

[Signature]
SIGNATURE

D. TECHNICAL SITE DATA

Description of Work

Water Supply Source well
Method of Valve Supervision _____
Local Alarm Supervision _____
Central Supervision _____
Proprietary Supervision _____

Flammable Liquid Storage Tanks _____
Combustible Liquid Storage Tanks _____
L.P.G. Storage Tanks _____
L.N.G. Storage Tanks _____

() Capacity _____ Fuel _____
() Capacity _____ Fuel _____
() Capacity 1000 Fuel _____
() Capacity _____ Fuel _____
* 500 gal to be installed
Number _____
FEE (Office Use Only) _____

Wet Sprinkler Heads _____
Dry Sprinkler Heads _____
TOTAL _____

Smoke Detectors _____
Heat Detectors _____
TOTAL _____

Stand Pipes _____
Kitchen Hood Exhaust Systems _____

Pre-Engineered Systems _____
CO₂ Suppression _____
Halon Suppression _____
Foam Suppression _____
Dry Chemical _____
Wet Chemical _____

Gas or Oil Fired Appliance _____
OTHER new bldg

Paid ☒ Check # 1199 Administrative Surcharge \$ 85.00
Minimum Fee \$ _____
DCA Training Fee \$ _____
Collected by: MMW TOTAL FEE \$ _____

U.C.C. Form F-1408

1 White = Inspector Copy
2 Canary = Office Copy
3 Pink = Applicant Copy
4 Gold = Applicant Copy

SUSSEX COUNTY HEALTH DEPARTMENT
- CERTIFICATE OF COMPLIANCE -

Issued to Bill Thompson (Owner)

This is to certify that:

- (x) The individual sewage disposal system
(x) The potable water supply

installed in the municipality of Sandyton Township

at Block 1104 Lot 2.01 (No. & Street) Route 206

has/have been approved by the Sussex County Health Department.

June 29, 1999

Date

Remarks:

Sanitary Inspector

1917 1104/2.01

() A sample of the water exceeded the recommended standard for _____

() The Septic System has been Revised () as per the approved design.
Altered ()

()

The issuance of this certificate shall not be construed as a guarantee that the system(s) will function satisfactorily, nor shall it in any way restrict the powers or responsibilities of the Board of Health in the enforcement of any ordinance or law relating to the public health.

SUSSEX COUNTY DEPARTMENT OF HEALTH & PUBLIC SAFETY

STANDARD FORM FOR CERTIFICATE OF COMPLIANCE
N.J.A.C. 7:9A

PART A - - GENERAL INFORMATION

1. PERMITTED ACTIVITIES (CHECK APPLICABLE CATEGORIES)

PERMIT # _____

DATE: 6/25/99

- ☒ NEW CONSTRUCTION
☐ ALTERATION/NO EXPANSION OR CHANGE OF USE
☐ ALTERATION/EXPANSION OR CHANGE OF USE
☐ ALTERATION/MALFUNCTIONING SYSTEM
☐ DEVIATION FROM STANDARDS
☐ REPAIR TO EXISTING SYSTEM

2. LOCATION OF PROJECT:

MUNICIPALITY SANDYSTON TWP BLOCK 1104 LOT 2.01

STREET ADDRESS RT 206 - THOMPSON/BRACE SITE PLAN

3. NAME AND PRESENT ADDRESS OF APPLICANT: _____

Bill Thompson
5 MYRTLE DRIVE - MONTAGUE N.J. 07827

PART B - - PROFESSIONAL ENGINEERS CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THE SUBSURFACE SEWAGE DISPOSAL SYSTEM LOCATED AT THE ABOVE PROJECT LOCATION HAS BEEN LOCATED, CONSTRUCTED, INSTALLED OR ALTERED IN COMPLIANCE WITH THE REQUIREMENTS OF N.J.A.C. 7:9A-1 AND THE APPLICATION TO CONSTRUCT/ALTER/REPAIR AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM WHICH WAS APPROVED BY THE ADMINISTRATIVE AUTHORITY. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT.

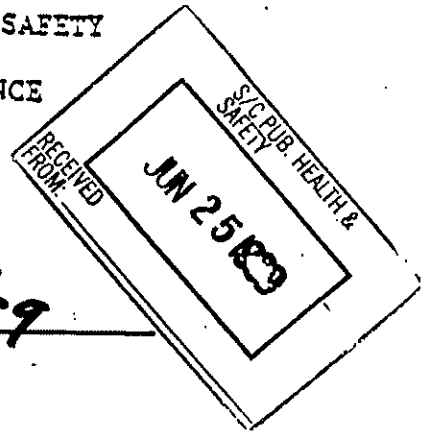
SEE FIELD LOCATION BY DECKER NJLS
ORIGINAL PLANS BY SHELTON & TULLY NJPE
AS BUILT CONFORMS TO APPROVED PLANS & SCHED
INSPECTION REPORTS.

PROFESSIONAL ENGINEER'S SIGNATURE & LICENSE #

John E. O'Keefe
NJPE 22211

SEAL

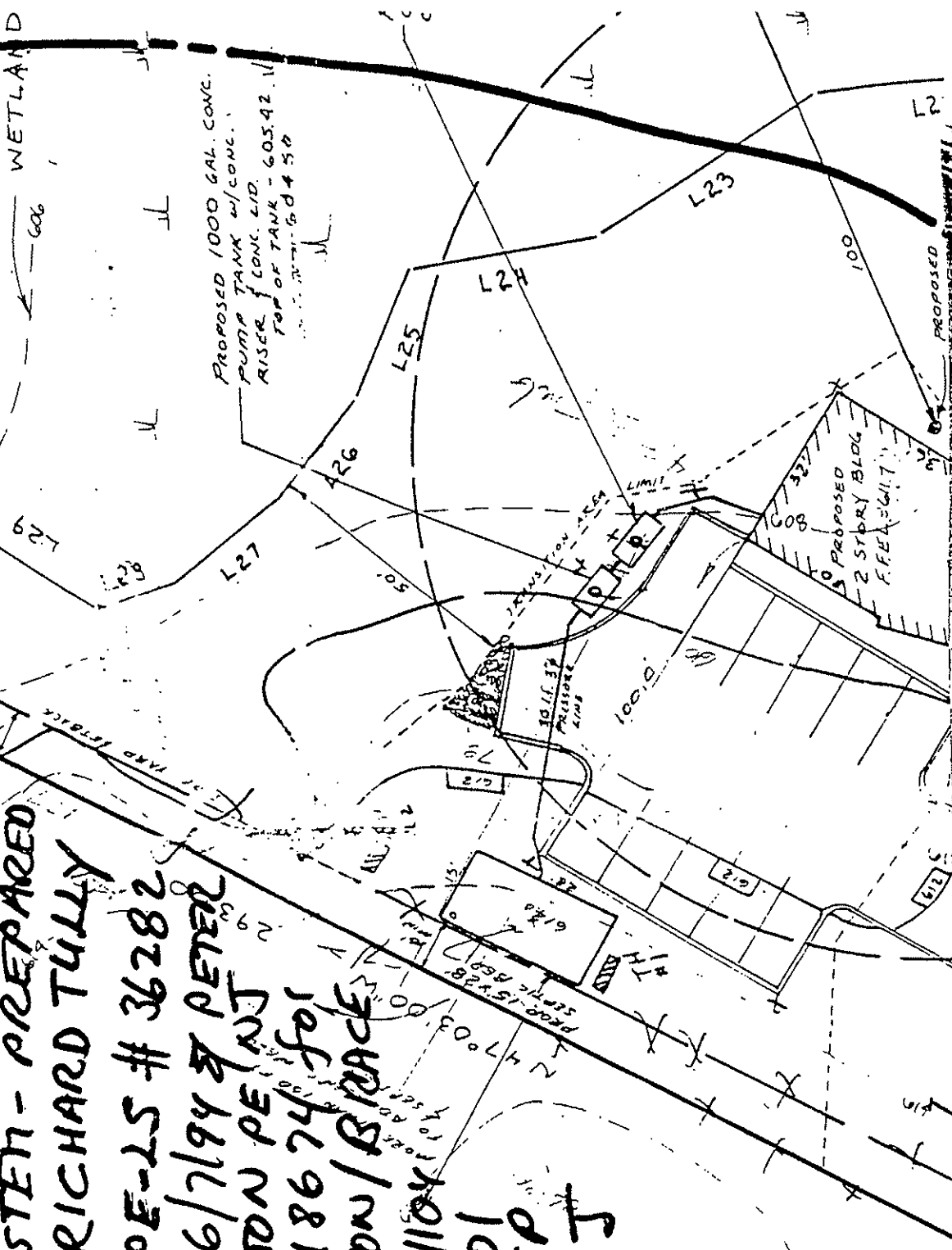
CERTIFICATION.COC



6/26/99
60

PROPOSED SEPTIC
 SYSTEM - PREPARED
 BY RICHARD TULLY
 NJPE-LS # 36282
 DTD 6/7/94 BY PETER
 SHELTON PE NJ
 LIC # 18674 for
 THOMASON / BRACE
 BLOCK 1104
 LOT 2.01
 SANDYSTON TWP
 SUSSEX CO - NJ

CIC



PROJECT

RICHARD TULLY, P.E.
 N.J. Lic. no. GS 36282

Wayne J. McCabe, P.E.
 N.J. Lic. no. 2009

PETER W. SHELTON, P.E.
 N.J. Lic. no. 18674

WETLANDS

WT 25 19015 51061 57 SN for 66/226 6/22/99

子

THOMPSON / BRACE
LOT 2.01 BLOCK 1104
SANDYSTON TWP
545547 CO-NJ

~~PUMP 1000 GAL SEPTIC
CONC TANKS
ACCESS COVER
LOCATED~~

REC'D 15 CLEARED 11 23

PETER W. SHELTON PE
NJ Lic No 18674

— c/22/99

1 N.J. 210.00. 14013
Jack E. Deeken



BUILDING SUBCODE TECHNICAL SECTION

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1104 Lot 2.01
Work Site Location 237 Route 206
Owner in Fee WILLIAM THOMPSON
Address 5 HARTIS DR.
Tele. (973) 293-8252
Contractor ALDO LUNICO
Address 3 ROUTE 560
Tele. (973) 948-5207 Fax ()
Lic. No. or Bldrs. Reg. No.
Federal Emp. No. 02-2449159

JOB SUMMARY (Office Use Only)

PLAN REVIEW		Date	Initial	INSPECTIONS		Dates (Month/Day)	
☐	No Plans Required			Type:	Failure	Approval	Initial
☐	All			Footings			
☐	Footings			Foundation			
☐	Foundation			Slab			
☐	Frame			Frame			
☐	Other			Barrier-Free			
Joint Plan Review Required:				Insulation			
☐	Elec.	☐	Plumb.	☐	Fire	☐	Elevator
SUBCODE APPROVAL				Energy			
☐	CO	☐	CCO	☐	CA		
Date:				Mechanical			
Approved by:				TCO			
				Other			
				Final			
				Barrier-Free			

B. BUILDING CHARACTERISTICS

Use Group	Present	Proposed	Est. Cost of Bldg. Work:
Constr. Class	Present	Proposed	1. New Bldg. \$
No. of Stories	2 1/2		2. Alteration \$ 3,100.00
Height of Structure	28.30		3. Total (1+2) \$ 3,100.00
Area — Largest Floor	1200		
New Bldg. Area/All Floors			
Volume of New Structure			
Total Land Area Disturbed			



Date Received
Date Issued
Control #
Permit #

6-21-99
54-96

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

INSTALL OPENINGS IN BEARING WALL
CONSTRUCT INTERIOR PARTITION
WALLS FOR OFFICE/TREATMENT ROOMS.
CONSTRUCT RECEPTION COUNTER
AS PER ATTACHED DRAWINGS

TYPE OF WORK:

☐ New Building
☐ Addition
☒ Alteration
☐ Roofing
☐ Siding
☐ Fence
☐ Sign
☐ Pool
☐ Asbestos Abatement Subchapter 8
☐ Lead Haz. Abatement NJAC 5:17
☐ Other
☐ Demolition

FEE (Office Use Only)

\$ 35.00

Administrative Surcharge \$
Minimum Fee \$
DCA Training Fee \$
TOTAL FEE \$



CONSTRUCTION PERMIT

Date Issued 7-28-97
Control # 67-97
Permit # 67-97

IDENTIFICATION Block 1104 Lot 2.01

Work Site Location 237 Rt 206 South

Owner in Fee William Thompson
Address 54 West 113 St.
Manhattan N.Y. 10027
Tele. (212) 1793-8252

is hereby granted permission to perform the following work:

☒ BUILDING ☐ PLUMBING ☐ OTHER
☐ ELECTRICAL ☐ FIRE PROTECTION

DESCRIPTION OF WORK:

new office building

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 130,000.00

U.C.C. Form F-170A

CONSTRUCTION OFFICIAL

1 WHITE—INSPECTOR 2 CANARY—OFFICE 3 PINK—OFFICE 4 GOLD—APPLICANT

PAYMENTS (Office Use Only)	
Building	<u>4134</u>
Plumbing	<u>80.</u>
Electrical	<u>1874</u>
Fire Protection	<u>708</u>
Other	
DCA Training Fee	<u>46</u>
Cert. of Occ.	<u>80.</u>
Other	
Total	<u>834</u>
Check No.	<u>1014</u>
Cash	
Collected By:	<u>[Signature]</u>

(see reverse side)

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that work installed conforms to the approved plans and the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval given.

☐ Required inspections for all subcodes for one and two family dwellings are the following:

1. The bottom of footing trenches before placement of footings, except that in the case of pile foundations, inspections shall be made in accordance with the requirements of the building subcode;
2. Foundations and all walls up to grade level prior to back filling
3. All structural framing and connections prior to covering with finish or infill material; plumbing underground services, rough piping, water service, sewer septic services and storm drains; electrical rough wiring, panels and service installations; insulation installations;
4. Installation of all finished materials, sealings of exterior joints; plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

- ☐ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. Any violations of the approved plans and/or permit will be noted and the holder of the permit notified of discrepancies.
 - ☐ A complete copy of approved plans must be kept on the job site.
- If you do not understand any of this information, please ask



CONSTRUCTION PERMIT

Date Issued 6-21-99
Control # 5499
Permit # 5499

IDENTIFICATION Block 1104 Lot 2.01

Work Site Location 237 Route 206

Owner in Fee William Thompson
Address 5 Maple Dr.
Monticello N.J. 07827
Tele. (973) 893-8252

is hereby granted permission to perform the following work:

☐ BUILDING ☐ PLUMBING ☐ OTHER
☐ ELECTRICAL ☐ FIRE PROTECTION

DESCRIPTION OF WORK:

Install Openings in Bedroom Wall
Construct Interior Partitions

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 3,000.00

U.C.C. Form F-170A

CONSTRUCTION OFFICIAL

1 WHITE—INSPECTOR 2 CANARY—OFFICE 3 PINK—OFFICE 4 GOLD—APPLICANT

PAYMENTS (Office Use Only)	
Building	<u>35</u>
Plumbing	<u>34.00</u>
Electrical	<u>84.00</u>
Fire Protection	
Other	
Other	
DCA Training Fee	<u>31</u>
Cert. of Occ.	
Other	
Total	<u>160.00</u>
Check No.	<u>1005</u>
Cash	
Collected By:	<u>J. P. [Signature]</u>

(see reverse side)



**BUILDING
SUBCODE
TECHNICAL SECTION**

Date Received 7-28-97
Date Issued _____
Control # 67-97
Permit # _____

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 1164 Lot 2.01
Work Site Location 237- 24706 South
Owner in Fee William Ingrosso
Address 5 Myrtle Dr. Montague W.J. 07827
Tele. (913) 293-8252
Contractor William Ingrosso
Address 5 Myrtle Dr. Montague W.J. 07827
Tele. (913) 293-8252
Lic. No. or Bldrs. Reg. No. _____
Federal Emp. No. _____ or Social Security No. _____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature _____

D. TECHNICAL SITE DATA
DESCRIPTION OF WORK

Office Building

JOB SUMMARY (Office Use Only)

PLAN REVIEW		Date		INSPECTIONS		Dates (Month/Day)		Initial	
☐	No Plans Req.								
☐	All								
☒	Footing								
☒	Foundation								
☐	Frame								
☐	Other								
Joint Plan Review Required:									
☐	Elec.	☐	Plumb.	☐	Fire				
SUBCODE APPROVAL									
☐	CO	☐	CCO	☐	CA				
Date: _____									
Approved By: _____									

TYPE OF WORK:

☒ New Building
☐ Addition
☐ Alteration
☐ Roofing
☐ Siding
☐ Fence
☐ Sign
☐ Pool
☐ Asbestos Abatement
☐ Other
☐ Other
☐ Demolition

(Office Use Only)

\$ 434

B. BUILDING CHARACTERISTICS

Use Group Present _____ Proposed BB
Constr. Class Present _____ Proposed BB
No. of Stories _____
Height of Structure _____ Ft.
Area—Largest Floor 1292 Sq. Ft.
New Bldg. Area/All Floors 2524 Sq. Ft.
Volume of New Structure 2894 Cu. Ft.
Total Land Area Disturbed _____ Sq. Ft.

Est. Cost of Bldg. Work:

1. New Bldg. \$ _____
2. Alteration \$ _____
3. Total (1+2) \$ 100,000.00

Paid ☐ Check # _____
Collected by: _____
Administrative Surcharge \$ _____
Minimum Fee \$ _____
DCA TRAINING FEE \$ _____
TOTAL FEE \$ _____



CERTIFICATE

Date Issued 10-25-99
Control #
Permit # 67-97

IDENTIFICATION

Block 1104 Lot 2.01
Work Site Location 237 Rt. 206 South
Owner in Fee/Occupant William Thompson
Address 5 Myrtle Drive
Montague, N.J. 07827
Tele. (973) 293-8252
Contractor Self
Address _____
Tele. (_____) _____ Fax (_____) _____
Lic. No. or Bldrs. Reg. No. _____
Federal Emp. No. _____

Home Warranty No. N/A
Type of Warranty Plan: + State + Private
Use Group B
Maximum Live Load 50 psf
Construction Classification 5B
Maximum Occupancy Load _____
Description of Work/Use: _____

Office Building

☒ CERTIFICATE OF OCCUPANCY

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☐ CERTIFICATE OF APPROVAL

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ TEMPORARY CERTIFICATE OF OCCUPANCY/COMPLIANCE

If this is a temporary Certificate of Occupancy or Compliance, the following conditions must be met no later than _____, 19____ or the owner will be subject to fine or order to vacate:

☐ CERTIFICATE OF CLEARANCE — LEAD ABATEMENT 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC 5:17, to the following extent:

☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period (_____ years); see file

☐ CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ CERTIFICATE OF COMPLIANCE

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until _____

Fee \$ 0
Paid ☐ Check No. _____
Collected by: _____

CONSTRUCTION OFFICIAL

WAYNE T. McCABE & ASSOCIATES, INC.

83 MAIN STREET, NEWTON, NEW JERSEY 07860
(201) 579-2525 FAX (201) 579-2849

PLANNING • ARCHITECTURE • SURVEYING • ENGINEERING

WAYNE T. McCABE, P.P., A.I.C.P.
FRANK JOSEPH BELL, ARCHITECT

R1

March 28, 1995

Mr. Al Ivany, Construction Official
Sandyston Township Municipal Building
122 Route 560
Layton, New Jersey 07851

RE: THOMPSON PROPERTY - BLOCK 1104, LOT 2.01, ROUTE 206, SANDYSTON
TOWNSHIP - APPROVED SOIL EROSION & SEDIMENT CONTROL PLAN

Dear Al:

Enclosed with this letter please find the municipal copy of the Soil Erosion & Sediment Control Plan that has been approved by the Sussex County Soil Conservation District Office. The application has been assigned number SA24, and was approved on March 24, 1995.

Should you have any questions regarding the enclosed plan that has been approved, please contact me at your convenience. With this, I remain,

Most respectfully yours,

McCABE & ASSOCIATES, INC.



Wayne T. McCabe, P.P., A.I.C.P.
President

WTM:dsk
enclosure
cc: W. Thompson

SUSSEX COUNTY SOIL CONSERVATION DISTRICT

88 PLOTS ROAD, NEWTON, N.J. 07860
TELEPHONE: (201) 579-5074

SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION STATUS REPORT

TO: William Thompson MUNICIPALITY: Sandyston

PROJECT: Thompson Office Building

Application No. SA 24

Block No.(s) 1104 Lot No.(s) 2.01

Block No.(s) _____ Lot No.(s) _____

The Soil Erosion and Sediment Control Plan for the above designated block and lot numbers has been evaluated, as indicated below, by the Sussex County Soil Conservation District, as required by the Soil Erosion and Sediment Control Act of 1975 and amended. (N.J.S.A. 4:24-39 et.seq.)

CERTIFIED ☒

*CONDITIONALLY CERTIFIED ☐

Date 3/24/95

Authorized Signature Robert G. Vainot RGN

*Subject to conditions as follows:

NOTE: The "district" must be notified at least 48 hours prior to the start of construction. A Post Card has been enclosed for this purpose.

Distribution: White-Developer, Green-Municipality, Yellow-County, Pink-Construction Official, Goldenrod -District

SUSSEX COUNTY SOIL CONSERVATION DISTRICT

88 PLOTTS ROAD, NEWTON, N.J. 07860
TELEPHONE: (201) 579-5074

SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION STATUS REPORT

TO: William Thompson MUNICIPALITY: Sandyton

PROJECT: Thompson Office Building

Application No. SA 24

Block No.(s) 1104 Lot No.(s) 2.01

Block No.(s) _____ Lot No.(s) _____

The Soil Erosion and Sediment Control Plan for the above designated block and lot numbers has been evaluated, as indicated below, by the Sussex County Soil Conservation District, as required by the Soil Erosion and Sediment Control Act of 1975 and amended. (N.J.S.A. 4:24-39 et.seq.)

CERTIFIED ☒

*CONDITIONALLY CERTIFIED ☐

Date 3/24/95

Authorized Signature Robert E. Vaight *R. V.*

*Subject to conditions as follows:

NOTE: The "district" must be notified at least 48 hours prior to the start of construction. A Post Card has been enclosed for this purpose.

Distribution: White-Developer, Green-Municipality, Yellow-County, Pink-Construction Official, Goldenrod -District

8. The proposed crossing has been designed so as to minimize the disturbance upon freshwater wetlands through the use of best management practices, including, but not limited to: minimizing the carlway and shoulder widths and side slopes of the roadway; stabilization of all disturbed areas in accordance with the standards of the Soil Erosion & Sediment Control Act of New Jersey; using suitable, clean and non-toxic fill material.

"THIS CERTIFICATION IS LIMITED TO THE CONTROLS SPECIFIED IN THE PLAN. IT DOES NOT CONSTITUTE AN INTENTION TO ENGAGE IN ANY OTHER ACTS OR OMISSIONS UNLESS SUCH USE HAS BEEN PREVIOUSLY APPROVED BY THE MUNICIPALITY OR OTHER CONTROLLING AGENCY."

SANDYSTON TOWNSHIP SOIL EROSION DISTRICT

5A 24

THE FOLLOWING ARE THE CONDITIONS (See attached Conditions)

☒ CORRECTED

☐ CORRECTED

☐ CORRECTED

As to the conditions, the applicant for

Soil Erosion & Sediment Control (See attached)

Dellant S. Vairant

Authorized Signature

3/24/95

Date

OWNER/APPLICANT

TED BRACE
R.D. 5 BOX 875
MONTAGUE, NEW JERSEY 07827

WILLIAM THOMPSON
R.R. 4 BOX 390
MONTAGUE, NJ 07827

N/BRACE PROPERTY	SOIL EROSION CONTROL PLAN	
	TITLE	
McCabe & Associates, Inc. Street, Newton, New Jersey 07860 9-2525 FAX (201) 579-2849 TECHNICAL • SURVEYING • ENGINEERING	BLOCK no. 1104 LOT no. 2.01 W.O. 844	3-6-95 date
	MUNIC. SANDYSTON TOWNSHIP COUNTY of SUSSEX, N.J.	DWG. no.

COUNTY/MUNICIPALITY SUSSEX / SANDYSTON TWP.

Page 1 of 9

APPLICATION FOR PERMIT TO CONSTRUCT/ALTER/REPAIR
AN INDIVIDUAL SUBSURFACE SEWAGE DISPOSAL SYSTEM

Form 1 - General Information

1. Type of Permit Needed (Check applicable categories):

- ☒ New Construction ☐ Alteration/No Expansion or Change of Use
☐ Alteration/Expansion or Change in Use ☐ Alteration/Malfunctioning System
☐ Deviation from Standards ☐ Repairs to Existing System

2. Location of Project:

Municipality SANDYSTON TOWNSHIP Block No. 1104 Lot No. 2.01

3. Name of Applicant (print): WILLIAM THOMPSON

SEPTIC TANK MUST BE PUMPED EVERY
3 YEARS TO PREVENT SYSTEM MALFUNCTION

4. Applicant's
Present Address:

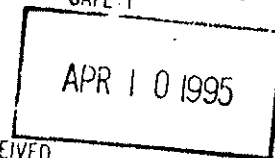
5 MYRTLE DRIVE
MONTAGUE, N.J. 07827

5. Applicant's Phone Number: (201) 293-8252

6. Type of Facility:

- ☐ Residential
☒ Commercial/Institutional

Specify Type of Establishment: BEER & ICE BUILDING



7. Type of Wastes to be Discharged:

- ☒ Sanitary Sewage
☐ Industrial Wastes
☐ Other - Specify Type

ALL ELEVATIONS ARE
IN CONFORMANCE WITH THE
APPROVED PLAN WITH REVISION DRAWING.

8. Other Approvals/Certifications/Waivers/Exemptions (Attach to Application):

- ☐ Pinelands Commission
☐ U.S. Army Corps of Engineers
☐ NJDEP - Bureau of Flood Plain Management
☐ Other - Specify:

8. I hereby certify that the information furnished on Form 1 of this application is true. I am aware that false swearing is a crime in this State and subject to prosecution.

Signature of Applicant: [Signature] Date: 3-6-95

FOR AGENCY USE ONLY

☐ Application Denied - Reason for Denial/Citation of Rules Violated:

☒ Application Approved

☐ Application Approved Subject to Approval By NJDEP

Date of Action: 4/10/95 Signature of Authorized Agent: [Signature]

Name and Title:

4000.
CK #1011

The rights accorded and obligations imposed by this permit are binding upon all successors in interest in the lot referenced below.

PERMITTOR: NEW JERSEY DEPARTMENT OF TRANSPORTATION
1035 Parkway Avenue
Trenton, NJ 08625

PERMITTEE: William R. Thompson
5 Myrtle Drive
Montague, NJ 07827

PERMIT TYPE: Commercial Use

ACCESS TYPE: Minor

LOCATION: MUNICIPALITY: Sandyston
ROUTE: 206
BLOCK: 1104

COUNTY: Sussex
DIRECTION: SB MILEPOST: 122.00
LOT: 2.01 CONTROL SECTION: 1912

The permittee is hereby granted the right to construct, maintain, and use access connecting to a State highway under the terms and conditions of this permit and attached plan, which is made a part hereof entitled:

This is for 1 driveway(s) which provides access to this site:

Description: Industry, General Light - Size: 611 SQ. FEET.

TRAFFIC VOLUMES: This permit is valid for 0 peak hour trips.

These are the highest two-way AM, PM, or Weekend peak traffic volumes. These traffic volumes are based upon the ITE (5th Edition) average trip generation rates for Land Use Code 110 or superseding rates adopted or approved by the Department. The actual traffic volumes generated by this lot for this use may differ from those listed. This permit addresses traffic which directly access the State Highway.

A violation of this permit will occur if there is an expansion or change in use which will result in traffic volumes exceeding one of the peak hour and one of the daily volumes listed below:

PEAK HOUR VOLUME:	100 AM	100 PM	100 WEEKDAY
DAILY TRAFFIC VOLUME:	4 WEEKDAY		0 WEEKEND

CONDITIONS: Additional conditions are attached hereto and incorporated herein.

William R. Thompson 07-07-97 owner
** William R. Thompson Date Title
☒ Power of Attorney (check here) Include copy of Department POWER OF ATTORNEY DECLARATION (Form MT-156)

(Do Not Write Below) DEPARTMENT USE ONLY
PREPARED AND S.G. Sheldon Date: 7/2/97
APPROVED BY: ** Scott G. Sheldon **
** Project Engineer **

CALL BEFORE YOU DIG
1-800-272-1000
FOR UTILITY LOCATIONS.

Permit Expiration

This permit shall expire if:

1. the Permittee violates any permit condition;
2. the Permittee:
 - A. changes the number of driveways,
 - B. changes the width of any driveway by more than 5 feet,
 - C. changes the location of any driveway by more than 10 feet,
 - D. locates any driveway within 12 feet of the extended property line,
 - E. locates any driveway within 24 feet of another driveway,
 - F. changes the materials which comprise the driveway;
3. the use of the lot served by the permit is expanded or changes resulting in a significant increase in traffic;
4. The lot covered by the permit is subdivided or consolidated with another lot;
5. Work is not started within two years of the date this permit was issued unless stated otherwise in this permit.

When the construction work under this permit is started within two years of the date of permit issuance but cannot be completed in the indicated time, the permit shall expire or the Permittee shall request an extension of time in writing from the appropriate Regional Maintenance Office and submit the required renewal fee in the form of a check or money order. The Department may approve one one-year extension.

This permit is issued in accordance with the State Highway Access Code, and is based upon the information submitted by Permittee. Any changes in traffic volumes, drainage, type of traffic or other operational aspects may cause this permit to expire, requiring a new permit to be issued based upon existing conditions. This permit is only for the use and purpose stated in the application and permit.

Access Construction

All work shall be done to the satisfaction of the Department.

No work in connection with this permit shall be started until the permit is effective.

The Permittee shall notify the Department's Regional Permits Office at least 72 hours prior to beginning any work authorized by this permit.

The Permittee shall complete the access in an expeditious and safe manner and according to the terms and conditions of this permit.

After the Permittee constructs the access and meets all conditions of the permit, the Permittee shall notify the Regional Maintenance Office, in

writing. Within 30 calendar days of its receipt of the notice, the Regional Maintenance Office will notify the Permittee if any corrective action is required by the Permittee.

Permit Scope

This permit is for only the lot noted above. The Permittee is responsible for all traffic crossing the frontage of the lot regardless of the origin or destination of the traffic. This includes all traffic crossing the lot frontage over an easement.

The Permittee agrees to comply with the rules and regulations of the New Jersey Department of Transportation as set forth in the State Highway Access Code, N.J.A.C. 16:47, and the conditions included on this permit. This permit is only for the use and purpose stated in the application and permit. In addition, the Permittee understands N.J.S.A. 27:7-44.1 makes any violation of the provisions of this permit subject to a fine (not exceeding \$100 per day) and civil action for the costs of prosecution as well as civil action for trespass to remove any access which does not meet these requirements.

This permit is granted subject to the covenants, premises, terms and conditions set forth herein and made a part of this revocable permission or privilege.

This permit cancels and supersedes any and all permits that may have been previously issued for this lot.

This permit does not relieve the Permittee from obtaining necessary permits from other agencies or governments.

All conditions of this permit are subject to modification by the Department to suit any unforeseen traffic and/or field conditions.

When work authorized herein is not performed in conformance with the required conditions of this permit, the Department may order the Permittee and his contractor to cease work and remove his equipment from Department right of way.

Access Maintenance

The Permittee may perform maintenance and in-kind replacement of the driveways.

Maintenance work may be done anytime within daylight hours as long as no interference to traffic is caused.

No changes or alterations to driveways may be made at any time without permission from the Department.

The Permittee shall be responsible for perpetual maintenance of curb and sidewalk and for landscape maintenance including irrigation, litter removal, weed control and mowing from edge of pavement to the right-of-way

line.

Traffic Protection

Adequate advance warning for motorists approaching the construction site is required at all times during access construction, in conformance with the "Manual on Uniform Traffic Control Devices for Streets and Highways". This may include the use of signs, flashers, barricades, drums, and flaggers.

Permit Display

The Permittee shall make a copy of this permit available for review at the construction site.

Department Authority

The Department may revoke this permit; reconstruct, remove, or replace the access; and then issue a new permit, all without cost to the lot owner.

Costs

The cost of construction work and material shall be entirely at the Permittee's expense. The Department will not share in any expense whatsoever or do any construction work pertaining to access driveways.

Protection From Suits

The Permittee shall defend, indemnify, protect and save harmless the State and its agents, servants, and employees from and against any and all suits, claims, losses, demands, or damages of whatever kind or nature arising out of or claimed to arise out of, any negligent act, error, or omission of the Permittee, its agents, servants, and employees in the performance of the work covered by this permit.

Protection of the General Public

The Permittee shall properly safeguard all work performed under this permit and when necessary, maintain sufficient warning lights, and Department approved signs and safety devices for the protection of the general public until all work has been completed.

Protection of Structures and Drainage

There shall be no interference with structures on, over, or under the highway. Interference with drainage installations shall be avoided. The existing cross section and drainage of the highway shall not be disturbed. The longitudinal flow of water along the gutter line shall not be interrupted. The Permittee is responsible to make adequate provision for all transverse, lateral, and longitudinal drainage affected by construction.

Curb Depressions

Where it is necessary to depress existing curbs for the purpose of constructing access, the full section of curb shall be entirely removed and a depressed curb constructed in accordance with Department and standards. The top of the depressed section shall be 1-1/2 inches higher than, and parallel to, the established gutter grade. The dimensions shall be 4" x 9" x 16" and the concrete proportions shall consist of one part Portland cement, one and three-fourths parts sand, and three and one-half parts crushed stone or washed gravel. Curved sections of existing curbs shall not be broken or depressed except under very exceptional conditions.

Depressed curb shall be constructed as a continuation of the concrete vertical curb. Driveway curb returns (radii) shall be separated from the highway curb by means of a piece of 1/2" thick preformed expansion joint filler butting to the back of the longitudinal curb.

All existing curb depressions other than those covered by this permit shall be closed by the construction of standard (9" x 16") white concrete vertical curb, in accordance with the Department's specifications and attached details.

Driveways

Driveways shall be constructed in accordance with locations, dimensions, and materials shown on the attached plans.

Parking

There shall be no parking on unpaved portions of Department right of way.

Materials and Workmanship

Materials and workmanship used in construction within Department right of way shall be in accordance with the Department's Standard Specifications and are subject to inspection and approval of the Department. Where conditions warrant, the Department may assign an inspector to the project at the expense of the Permittee. The Department shall reserve the right to demand from the Permittee as a condition of this permit, a bond or certified check in an amount sufficient to guarantee or insure the proper maintenance or restoration of the area disturbed.

Traffic Signals

The construction of a driveway at a signalized intersection usually necessitates, for proper operating of the facility, the installation of additional signal equipment. The Department shall determine the additional facilities required. All equipment shall be installed in accordance with the Department Standards and Specifications under Department supervision. At the request of the Permittee, the Department may perform the signal modification. The cost of the signal modification work and all electrical equipment will be entirely at the Permittee's expense.

Any damages to Department traffic signal detection equipment or other electrical facilities will be repaired by the Department and the Permittee shall pay for the costs of the repairs.

Advertising Structures

Advertising signs shall not be erected on or overhang any portion of the Department right of way. Small signs with the message "Enter", "In", "Exit", "Out", designating access are permitted if shown on the attached plans. Signs shall be in accordance with all Department regulations including those for size, shape, color, and height.

Right of Entry

The Permittee authorizes Department representatives to enter upon the lot for the purpose of performing a site investigation. Furthermore, there are no objections in parking of a Department vehicle on the lot if necessary while taking field measurements and other data.

Landscape

Ground cover within Department right of way shall consist of topsoil, fertilizer, and seeding or topsoil and sodding. No shrubs, gravel, or railroad ties are permitted.

Curb

The Permittee shall remove all existing curb to the nearest expansion joint and replace it with new standard and depressed curb conforming to the approved plan. Curb, apron, gutter or sidewalk shall not be poured monolithically. Depressed curbing shall not be constructed as an integral part of concrete ramps.

When transition from 8" to 6" curb face is required, this will be accomplished within not less than 10', but not more than 20', as field conditions permit, or as directed by the permit inspector.

Curb, sidewalk, and other concrete facilities shall not be constructed within the Department right of way between November 1st and March 15th.

Sidewalk

When proposed sidewalk is to be placed adjacent to areas that have 8" curb face, the transition of the sidewalk will be at the same rate as the transition from the 8" to 6" curb face, or as directed by the permit inspector.

Sidewalk shall be Class B air entrained concrete, four inches thick, except at the driveway apron. This concrete shall be six inches thick on a properly prepared subbase and in accordance with

Department specifications and the attached detail.

Sidewalk disturbed by work related to this permit shall be replaced to match the adjacent existing sidewalk in width and color, and shall be Class B concrete at a minimum of four inches thick.

Drainage

No additional surface water will be accepted on the Department right of way. Surface water shall continue to follow its existing flow pattern.

Pavement Excavations

Excavations within the existing roadway or shoulder shall be sawcut on a line parallel to the curb prior to final restoration.

Pavement Grades

Existing cross slopes and gutter grades shall be maintained except where specifically approved to be changed.

Pavement Surface

All bituminous surfaces disturbed during the construction of curb shall be restored to original conditions or better.

Snow

In the event of a snow alert, the Permittee shall be required to take whatever steps are necessary to secure the traveled way for snow removal operations.

Work hours

The Department may restrict the hours of work on or immediately adjacent to a State highway due to peak-hour traffic demands or other pertinent roadway operations.

The Permittee shall not interfere with the normal flow of traffic, reduce the number of traffic lanes, or change any traffic pattern prior to 9:00 AM or beyond 3:30 PM on weekdays and all day on weekends and holidays. If work is performed during other than the normal weekday working day (8 am to 4:30 pm), the Permittee shall deposit sufficient funds with the Department to pay all costs for the time that is required to be spent on the job by the Department's Permit Inspector.

Traffic Directors

Competent uniformed traffic directors shall be employed at every location where equipment is working immediately adjacent to, or is entering, leaving, or crossing active traffic lanes. Traffic

directors shall be utilized while all such conditions exist.

Curb Ramps

Access Points with radius curbing within an area which has existing or proposed sidewalks shall be constructed or reconstructed to provide ramps for the handicapped conforming the Department's standard detail _____.

Utilities

The Permittee shall reimburse the Department for all costs incurred for the relocation and/or replacement of its utility lines and equipment.

Safety

The Permittee shall provide sufficient advance warning signs, lights, cones, barricades, and other approved safety devices in accordance with "The Manual on Uniform Traffic Control Devices."

Two-way traffic shall be maintained at all times.

Not more than one-half of the State highway shall be occupied at any time.

No portion of trench over 2 inches in depth shall be left open overnight, on weekends, or holiday. Any trench or excavation within 30 feet of the traveled way shall have escape ramps at 6:1 slope provided overnight.

Uniformed trained traffic directors are to be provided, as required or requested by Department representatives.

Tree Removal

The Department has no objection to the removal of the tree(s) as shown on the plans at the Permittee's cost and expense.

Two-Year Restoration Guarantee

The Permittee will properly restore to the satisfaction of the Department any portion of the State highway which it may have disturbed, and will maintain it to the satisfaction of the Department from any settlement or depression resulting from this work for a period of one year after approval of such restoration by the Department. If settlement occurs during the one-year period of time the Department will require that the necessary restoration be made by the Permittee.

Trees

The Department will hold the Permittee responsible for a period of two years to guarantee the life of the trees which are encountered within the limits of construction. Any tree that is destroyed shall be replaced by type of species. The size of the tree will be determined by the Department landscape forces.

Maintenance of Access Points

The Permittee is responsible for maintenance of the access point to the longitudinal gutterline of the State highway.

Maintenance of Drainage Facilities

The Permittee shall maintain any drainage facilities outside the Department right of way.

Additional Traffic Safety Conditions

The Permittee will not be permitted to store material or park equipment within Department right of way or within 30 feet of the edge of the traveled way except as necessary during actual working operations and then only by permission of the Permit Inspector.

All work is subject to inspection by Department personnel to insure that adequate traffic protection devices are being used and are properly placed and maintained. If it is found that insufficient traffic protection is provided, the Permit Inspector will advise the Permittee of the deficiencies. If the deficiencies are not immediately corrected, the Permit Inspector will advise the Permittee that he is prohibited from further work within the Department's jurisdiction until such time as approved and adequate traffic protection is provided.

Trenches shall not be left open overnight. Steel plating shall not be utilized between November 1st and April 30, inclusive.

The Permittee shall contact all utilities for location and mark out.

Plan Errors

All work shall conform to the plans on file with the Department (if discrepancies arise, this permit shall take precedence over plans). The Department plan review is only for the general conformance with the Department design and Access Code requirements. The Department is not responsible for errors, omissions, or the accuracy adequacy of the design, of dimensions, and elevations which shall be confirmed and correlated at the site. The Department through the approval of the permit, assumes no responsibility other than stated above and completeness and/or accuracy of the plans.

Specifications

The work shall follow the applicable construction specifications set

forth by the Department in the latest "Standard Specifications for Road and Bridge Construction", and the M.U.T.C.D.

Construction signs, when not in use, shall be covered as specified in the Standard Specifications.

Damages

Any damage to any present highway facilities shall be repaired immediately and prior to continuing other work. Any mud or other material tracked or otherwise deposited on the roadway shall be removed daily or as ordered by the Inspector.

Future Traffic Signal

If, at any time after the date of issuance of this permit, the Commissioner, in his sole discretion, determines that public safety or highway efficiency warrants the installation of a traffic signal at any access point that is the subject of the permit, the Permittee shall allow the placement of any component associated with such a traffic signal on the lot to which this permit pertains. If any such components are placed on the subject lot, the Permittee shall maintain its roadway pavement and property in a manner conducive with the satisfactory operation of the components and the signal. Further, prior to the installation of any such signal, the Permittee shall enter into an agreement with the Department incorporating other conditions pertaining to the cost, installation, and maintenance.

Maintenance Guarantee

The Permittee shall provide a bond or certified check to New Jersey Department of Transportation in the amount of \$_____ to guarantee or to insure proper maintenance or restoration of the area disturbed by the Permittee for a period of one year after the Department's acceptance of the construction. If it becomes necessary for Department forces or contractors to make such repairs, for any reason, the cost of such work shall be borne by the Permittee.

Encroaching Sign

The issuance of this permit in no way constitutes permission to maintain the sign shown on the plans attached hereto, since said sign constitutes an illegal encroachment prohibited by N.J.S.A. 27:7-44.1 and N.J.S.A. 27:7A-12 et seq.

Restoration Guarantee

A certified check, money order, or bond, in the amount of \$_____, shall be secured in the name of the New Jersey Department of Transportation to guarantee that all work (including restoration) will be in accordance with Department specifications. The Restoration Guarantee will be released upon the Department's acceptance of the construction.

Utility Poles

All utility poles shall be relocated behind the proposed curbline prior to the construction of new curb.

Traffic Stripe Removal

All traffic stripes to be removed or changed are to be removed by the grinding method only. Blacking out with paint is unacceptable.

Raised Pavement Marker

If traffic is diverted from normal travel lanes during the hours of darkness, raised pavement markers within the limits of the diversion shall be deactivated.

FFAdditional Traffic Safety Conditions

The Permittee shall maintain the uninterrupted flow of traffic at all times and no operation which will interfere with traffic or restrict the available pavement width shall be performed. On roadway widths of 40 feet or greater, two lanes of traffic will be maintained at a minimum of 10 feet each.

On roadway widths of less than 40 feet, when construction work necessitates the closing of one lane of traffic, thereby causing vehicles travelling in both directions to alternately use one lane, the Permittee shall insure that said vehicles will be delayed for a period not to exceed five minutes.

The Permittee shall be responsible for maintaining approved construction warning signs in each direction of travel. All signs and other protective devices provided by the Permittee, unless otherwise directed by the permit inspector, shall comply with the requirements of the "Manual on Uniform Traffic Control Devices for Streets and Highways", published by U.S.D.O.T, Federal Highway Administration. Competent uniformed traffic directors shall be employed at every location where the Permittee's equipment is working immediately adjacent to, where entering, leaving or crossing active traffic lanes. The traffic directors shall be employed continuously for the full time such conditions exist. Should it become necessary to leave a project unfinished, it shall be protected during the hours of darkness by flashing warning lights to be maintained by the Permittee at each location where it is necessary to warn oncoming traffic of any existing danger area. Lights shall also be used to define the edge of usable pavement throughout the construction area.

In addition, standard barricades or drums shall be utilized as required. When battery operated flashing warning lights are used, they shall conform to Department Standard Specifications. Inspection and cleaning shall be conducted daily to provide for optimum efficiency. When work is in progress during hours of darkness, special traffic protection precautions shall be in effect as deemed necessary by the permit inspector. In substance, the Permittee shall provide special signs approved by the permit inspector with a legend warning motorists that night work is in progress, and such shall be displayed in conjunction with high intensity flashing warning lights. Special

signs applying only to night time work shall be covered during the daylight hours.

If future traffic volumes could warrant installing a traffic signal at an access point covered by this permit and signalized spacing requirements cannot be met, the Department may, at such time as future traffic volumes are reached, close the left-turn access in accordance with N.J.A.C. 16:47-4.33(b).

If an undivided highway becomes divided, the Department may at such time close the left-turn access in accordance with N.J.A.C. 16:47-4.33(b).

1. Mile post is 125.0
2. Some clearing was done in the past at this area.
3. Curb, pavement, 10' taper detail needed, when sending back these permit forms after signature and fee.
4. Permit fee is \$85.00



State of New Jersey

Christine Todd Whitman
Governor

Department of Environmental Protection

Robert C. Shinn, Jr.
Commissioner

MAY 29 1997

Mr. Wade Wander
Wander Ecological Consultants
28 Warner Road
Newton, N.J. 07860

RE: Freshwater Wetlands Transition Area Waiver-Reduction
File No. 1917-90-0006.5-TW
Applicant: William Thompson
Project: Proposed Commercial Development
Block 1104, Lot 2.01
Sandyston Township, Sussex County
Flat Brook Watershed, Delaware Drainage Basin

Dear Mr. Wander:

This letter is in response to your request for a transition area waiver reduction to modify the standard transition area on the above referenced property. The referenced application was received by the Land Use Regulation Program on August 18, 1994. Please note the Program requested additional information from the applicant's previous consultant, Wayne McCabe, on October 7, 1994, and November 6, 1995. The requested information necessary to review this transition area waiver reduction request under the Freshwater Wetlands Protection Act Rules was received by the Program on May 23, 1997.

On June 14, 1990, the Land Use Regulation Program has determined that the freshwater wetlands present on or adjacent to the above referenced property are of intermediate resource value. Pursuant to N.J.A.C. 7:7A-6.1, a standard transition area of 50 feet is required adjacent to these wetlands. The applicant proposes to reduce this standard transition area through the means of a transition area waiver reduction, according to the submitted plan.

Section 7:7A-7 of the Freshwater Wetlands Protection Act Rules establishes the framework under which the standard transition area may be reduced if the Department determines that the reduction will result in minimal environmental impact and that the modified transition area will continue to feature the purposes and functions set forth in N.J.A.C. 7:7A-6.1(a) and (b).

In addition, the Department may only grant a waiver for a transition area adjacent to an intermediate resource value wetland if it is determined that no substantial impact will result to the wetland or that the waiver is necessary to avoid imposing a substantial hardship on the applicant N.J.A.C. 7:7A-7.3(b).

Based upon a review of the submitted information, the Department has determined that the reduced transition area (50 feet down to 35 feet) is consistent with the conditions discussed above and the denial of the request for a transition area waiver will result in a substantial hardship for the applicant. As a result, the Department approves of the proposed modified transition area boundary line as shown on the plan map entitled, "Site Plan, Thompson/Brace Property, Block 1104, Lot 2.01, Sandyston Township, County of Sussex", consisting of one sheet, dated May 20, 1997, unrevised and prepared by Jack E. Decker, L.S.

Waiver Conditions

In addition to the standard conditions set forth in section 7:7A-7.3, the following special conditions must be met for the activity authorized under this transition area waiver.

1. The transition area shall not be reduced to less than 35 feet in width as shown on the referenced plan.
2. The applicant shall sign a Department approved deed restriction for the subject parcel(s) in accordance with N.J.A.C. 7:7A-7.1(g). The restriction shall be included on the deed, and recorded in the office of the County Clerk (REGISTRAR OF DEEDS AND MORTGAGES), in the county wherein the lands included in the waiver are located. The restriction shall run with the land and be binding upon all successive owners. All individual lot surveys shall show the approved wetlands and transition area boundaries. Any regulated activities undertaken on the site before a copy of the recorded restriction is submitted to the Department will be considered in violation of the Freshwater Wetlands Protection Act.

3. In order to protect the trout population within the Flat Brook, any proposed grading or construction activities within the banks of this or any other stream on site are prohibited between September 15 through March 15 of each year. In addition, any activity on site which could introduce sediment into said stream or which could cause an increase in the natural level of turbidity is also prohibited during this period. The Department reserves the right to suspend all regulated activities on site should it be determined that the applicant has not taken proper precautions to ensure continuous compliance with this condition.

Failure to comply with these conditions shall constitute a violation of the Freshwater Wetlands Protection Act (N.J.S.A 13:9B-1 et seq)

You are entitled to rely upon this boundary determination for a period of five years from the date of this letter pursuant to the Freshwater Wetlands Protection Act Rules, N.J.A.C. 7:7A-7.8. This determination does not affect your responsibility to obtain any local, State, or Federal permits which may be required.

The freshwater wetlands and transition area boundary line, as determined in this letter, must be shown on any future site development plans. The line(s) should be labeled with the above LURP file number and the following note:

"Freshwater Wetlands and Transition Area Boundary line as approved by the NJDEP, on May 15, 1990, 1917-90-0006"

Appeal of Decision

In accordance with N.J.A.C. 7:7A-12.7, any person who is aggrieved by this decision may request a hearing within 30 days of the decision date by writing to: New Jersey Department of Environmental Protection, Office of Legal Affairs, Attention: Adjudicatory Hearing Requests, CN 402, Trenton, NJ 08625-0402. This request must include a completed copy of the Administrative Hearing Request Checklist.

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Transition Area Waiver

If you have any questions regarding this letter, please contact Terry Caruso, of my staff, at NJDEP, LURP, CN 401, Trenton, N.J. 08625, or by phone at (609)984-1903. Be sure to indicate the Program's file number in any communication.

Sincerely,

Eugene McColligan, Section Chief
Highlands Region
Land Use Regulation Program

c: NJDEP, Land Use Enforcement
Sandyston Township Planning Board
Sandyston Township Municipal Clerk
Sussex County Planning Board
Sussex County Soil Conservation District

0-2220-324

97-09572

Prepared by:

NJDEPE

File No. 1917-90-0006.5-TW

DECLARATION OF RESTRICTION FOR MODIFIED TRANSITION AREA

THE DECLARATION of Deed Restriction is made this _____ day of July 16, 1997, by William Thompson having an office at or residing at 5 Myrtle Drive, Montague NJ 07827 hereinafter referred to as "Declarant."

W I T N E S S E T H

WHEREAS, the Declarant is the owner of certain real property located in the Township of Sandyston, Sussex County, New Jersey, designated as Lot 2.01, Block 104, on the official Tax Map of the Township of Sandyston (hereinafter "the Property"); and

Whereas, wetlands play a significant role in the maintenance of environmental quality on a community, regional, and statewide level; and

Whereas, wetlands transition areas are integral portions of a freshwater wetlands ecosystem; and

WHEREAS, the Declarant has obtained a Freshwater Wetlands transition area waiver ("TA waiver"), #1917-90-0006.5, which establishes a modified transition area from the New Jersey Department of Environmental Protection & Energy ("DEPE") pursuant to the Freshwater Wetlands Protection Act, N.J.S.A. 13:9B-1 et. seq.; and

WHEREAS, the TA Waiver issued to the declarant is conditioned upon the Declarant's recording of a Department approved deed restriction, pursuant to N.J.A.C. 7:7A-7.1(g), for the modified transition area more particularly described on attachment A (hereinafter meets and bounds description of the "Modified Transition Area"), and upon the imposition by the Declarant of a deed restriction to preclude subsequent development of the Modified Transition Area without prior Department approval as outlined below; and

D-2088-263

Declaration of Restriction on Modified
Transition Area (Project Name)
Sandyston Township, Sussex County

Page 2

WHEREAS, the Declarant desires and intends to restrict subsequent development of the Modified Transition Area in accordance with the covenants, conditions, and restrictions set forth herein;

NOW THEREFORE, in consideration of the facts recited above and the mutual covenants, terms, conditions and restrictions contained herein, and pursuant to the Freshwater Wetlands Act, N.J.S.A. 13:9B-1 et seq., and associated regulations, N.J.A.C. 7:7A-1, the declarant, for itself, its successors and assigns, hereby covenants and agrees with the State of New Jersey, Department of Environmental Protection and Energy that the modified transition area is hereby made and declares to be subject in perpetuity to the following covenants and restrictions:

1. The following activities shall not occur within the Modified Transition Area, unless the Department makes the findings specified below.

1. Removal, excavation, or disturbance of the soil;
2. Dumping or filling with any materials
3. Erection of structures
4. Placement of pavements; and
5. Destruction of plant life which would alter the existing pattern of vegetation.
6. Any other activities constituting a prohibited activity under N.J.A.C. 7:7A-6.2, as amended

2. These activities shall only occur if the Department finds:

(a) There is compelling public need for the activity greater than the need to protect the modified transition area;

(b) That the activity has no practicable alternative which would;

i. Not involve a transition area;

ii. Involve a transition area but would have less adverse impact on the transition area and the adjacent wetland; and

iii. Not have other significant adverse environmental consequences, that is, it shall not merely substitute other significant environmental consequences for those attendant on the original proposal.

Declaration of Restriction on Modified
Transition Area (Project Name)
Sandyton Township, Sussex County

3. The covenants restrictions set forth herein shall run with the land and be binding in perpetuity upon the Declarant, its successors and assigns, in perpetuity, and all parties having or acquiring any right, title or interest in the property or any part thereof. Notice of this deed restriction shall be given to all holders of any easements in the Modified Transition Area by the Declarant within 30 days of recording by the County Clerk.

4. It is the purpose of the Declaration to assure that the modified transition area will be maintained as such and to prevent any disturbance or development of the property. To carry out this purpose, the following rights are granted to the State of New Jersey, Department of Environmental Protection and Energy, by this Declaration:

(a) To enter upon the property in a reasonable manner and at reasonable times so as to assure compliance with the provisions of said restrictions.

(b) In addition to the exercise of any other statutory or common law right, to enjoin any activity on, or use of, the property that is inconsistent with the purpose of these conservation restrictions and to enforce the restoration of such areas or features of the property that may be damaged by inconsistent activity or use.

5. The Declarant intends that enforcement of the terms and provisions of the deed restriction shall be at the discretion of the State of New Jersey and that any forbearance on behalf of the State of New Jersey to exercise its rights hereunder in the event of any breach hereof by the Declarant, its successors or assigns, shall not be deemed or construed to be a waiver of the State's rights granted hereunder in the event of any subsequent breach. This shall be true regardless of the number of breaches of the restriction, condition or covenant which occur, or the length of time it remains unenforced.

6. The Declarant reserves to itself, its successors or assigns, all rights as to owners of the property, including the right to engage in all uses of the property not inconsistent with the purpose of these restrictions and the right to the property in accordance with N.J.A.C. 7:7A-6.2(b).

7. No additional right of access by the general public to any portion of the property is conveyed by this instrument.

8. The Declarant agrees to bear all costs and liabilities of any kind related to the operation, upkeep and maintenance of the property. The Declarant shall be responsible for acts of its own negligence consistent with the provisions of the New Jersey Tort Claims Act, N.J.S.A. 59:8-1 et seq.

Declaration of Restriction on Modified
Transition Area (Project Name)

Page 4

Sandyston Township, Sussex County

9. All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor in interest.

10. The Declarant agrees that the terms, conditions, restrictions and purposes of this instrument will be inserted in any subsequent deed, lease, sub-lease or other legal instrument by which the Declarant divests itself of any interest in the property.

11. The NJDEPE agrees that it will assign its rights under this instrument only to another governmental body or a charitable conservancy, and only in accordance with N.J.S.A. 13:8B-1 et seq. and N.J.S.A. 13:9B-1 et seq.

12. Notwithstanding anything contained herein to the contrary, any modification or termination of this Declaration shall require the prior written approval of the NJDEPE, its successor or assign.

13. If any provision of this Declaration or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Declaration, and the application of such provision to persons or circumstances other than those as to which it is found to be invalid, shall not be affected thereby.

TO HAVE AND TO HOLD unto the New Jersey Department of Environmental Protection and Energy, its successors and assigns forever. The covenants, terms, conditions, restrictions and purposes imposed with this declaration shall not only be binding upon the Declarant but also upon its agents, personal representatives, assigns and all other successors to it in interest, and shall continue as a servitude running in perpetuity with the property.

D-2220-528

Declaration of Restriction on Modified
Transition Area (Project Name)

Page 5

~~Sandyston~~ Township, Sussex County

IN WITNESS WHEREOF, the Declarant has set its hand and seal
on the day and year first above written, and directs that this
instrument be recorded in the office of the Sussex County
Clerk.

(Declarant)

William R Thompson

Attest:

_____, Secretary

(signature names and
title)

[Seal]

STATE OF NJ

COUNTY OF SUSSEX

SS.:)

BE IT REMEMBERED that on this 10 day of JUNE,
1997 before me, the subscriber, a Notary Public of New Jersey,
personally appeared: William R Thompson

and he thereupon acknowledged that he signed the foregoing
instrument in such capacity, optional language to be inserted if
the deed restriction is being filed by a corporation (that the
seal affixed to said instrument is the corporate seal of said
corporation), and that said instrument is the voluntary act and
deed of said corporation or person, optional language to be
inserted if the deed restriction is being filed by a corporation
(made by virtue of authority from its Board of Directors).

Dawn M Benson
A Notary Public of NJ
My commission expires 1-17-2001

decdtaw - disk #65/92

William Thompson
5 Myrtle Drive
Montague NJ 07827

DAWN M. BENSON
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Jan. 17, 2001



State of New Jersey

Christine Todd Whitman
Governor

Department of Environmental Protection

Robert C. Shinn, Jr.
Commissioner

AUG 26 1994

Wayne T. McCabe, P.P., A.I.C.P.
Behre and McCabe, P.C.
43 Trinity Street
Newton, NJ 07860

Re: Application for Exemption from the Freshwater
Wetland Protection Act
File No.: 1917-90-0006.3
Applicant Name: Brace/Thompson Property
Block: 1104; Lot: 2.01
Sandyston Township, Sussex County
Flat Brook Watershed
Delaware River Drainage Basin

Dear Mr. McCabe:

Based upon the information received with your application for an exemption from the Freshwater Wetlands Protection Act (Act), the Land Use Regulation Program has decided to deny your request. At your request and prior to making this decision I have had your file reviewed by the Administrator at the Program, the Attorney General's Office and other management of the Department. This has resulted in considerable delay in issuing a final decision. However, at each step we have discussed the outcome and the Department's position has remained the same. The reason for denying your application is as follows:

1. The Township of Sandyston Planning Board approved a minor subdivision application to create one lot and two remainders on October 1, 1979. However, this subdivision approval pertained solely to the division of property and did not pertain to a project or to an economic development. Pursuant to N.J.A.C. 7:7A-2.7(d)1, a project which received subdivision or site plan approval before July 1, 1988 is exempt from the Act. Therefore, the minor subdivision approval of October 1, 1979 does not qualify the property for an exemption from the Act because no project received subdivision approval at that time.

In taking this position, the Department relies upon the Attorney General's Formal Opinion #3 (Dec. 1990) and his letter of reprise (April 19, 1991). These documents constitute the Attorney General's interpretation of the exemption provisions of the Act (See attached).