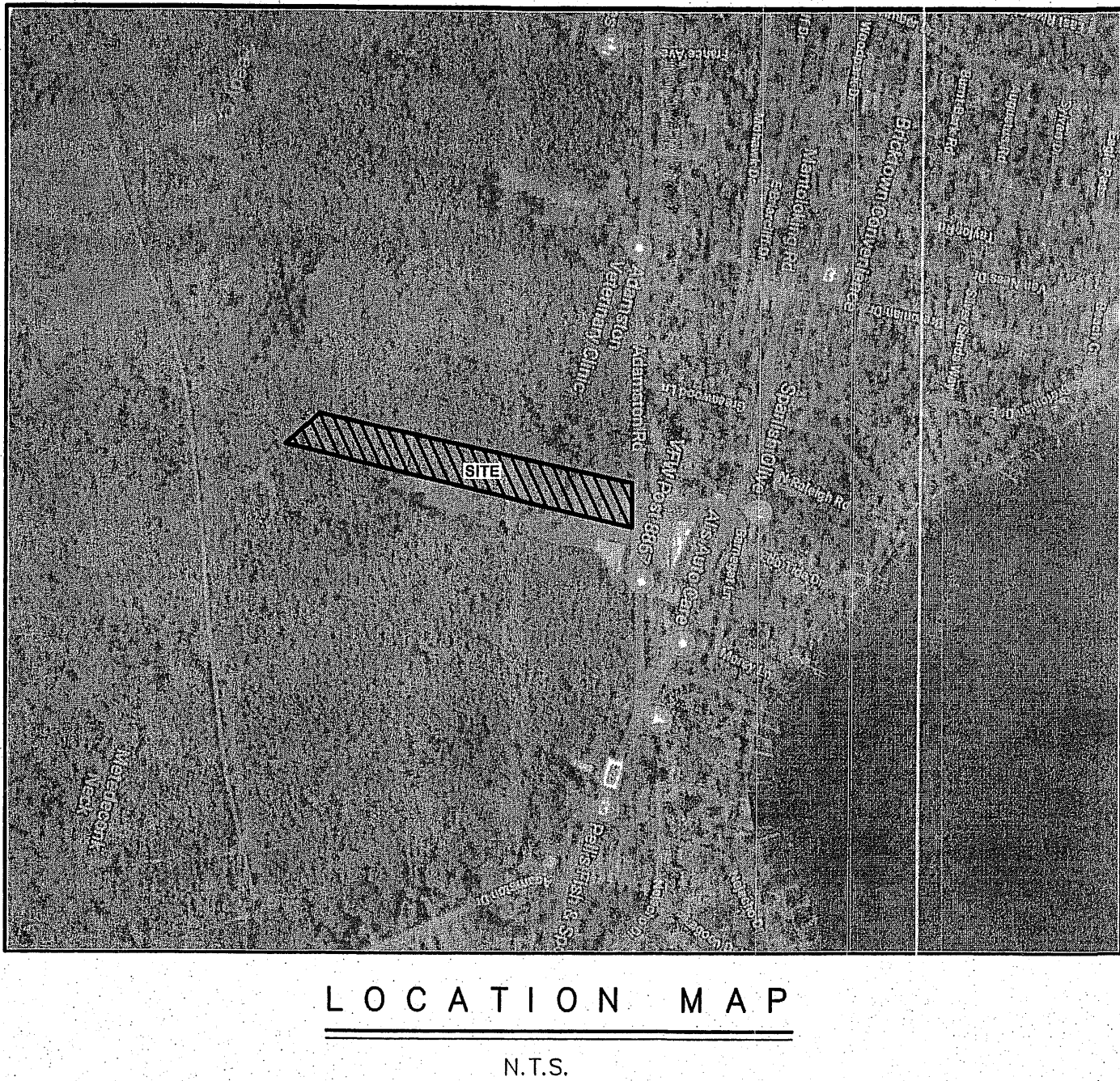
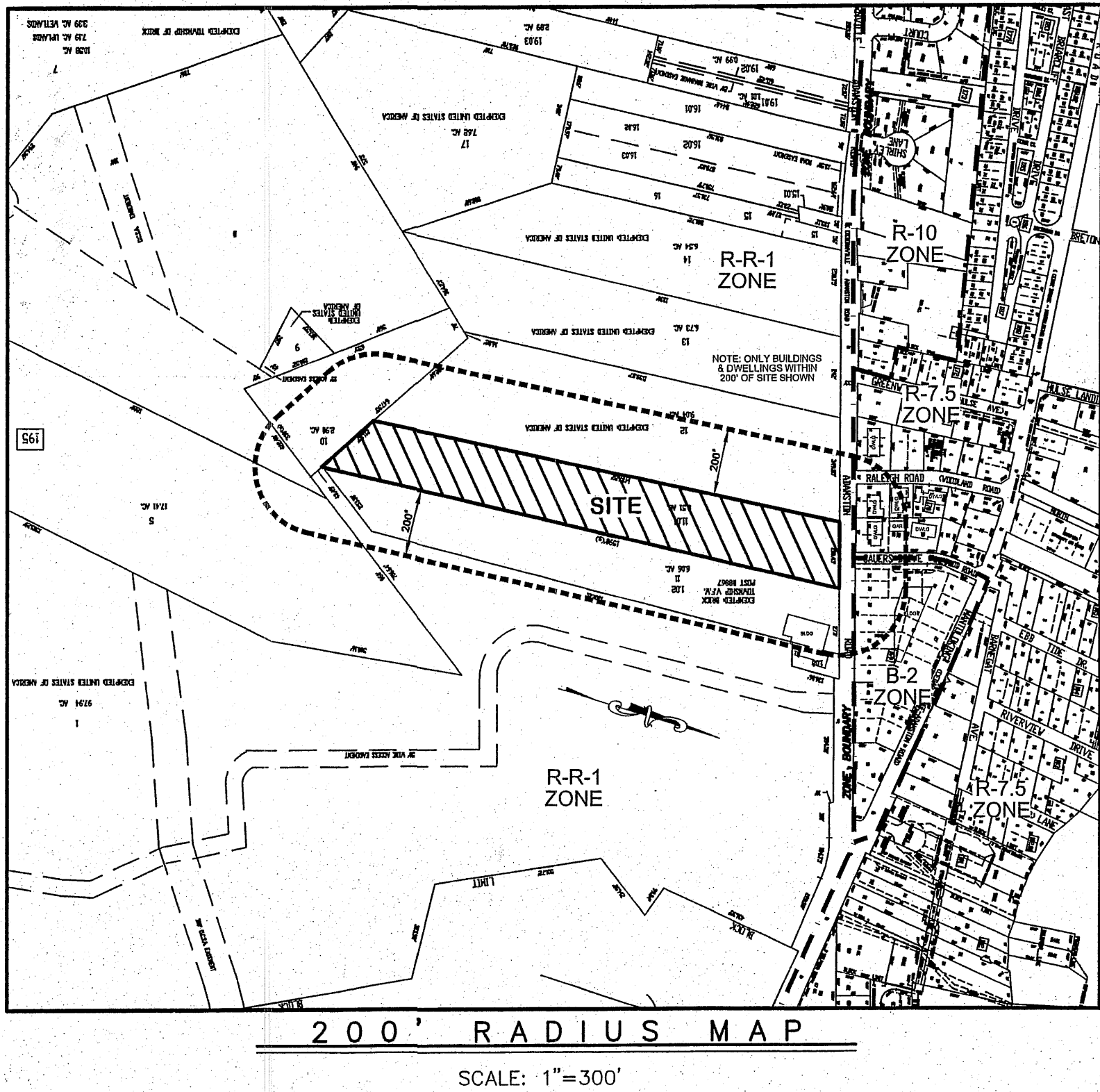


200 Foot Property Owners List			
Certified by the Township of Brick on March 29, 2018			
27	169	Property Owner 393 MANTO INC 393 MANTOLOKING ROAD BRICK, NJ 08723	
18	170	EMILY READAN & APRIL LIMOR 408 SAUERS DRIVE BRICK, NJ 08723	
19.01	170	DIANA FLORES 409 HALEIGH ROAD BRICK, NJ 08723	
22	170	JAMES P. JR & MARY ANN EARLY 392 ADAMSTON ROAD BRICK, NJ 08723	
23	170	MICHAEL P & CORY L DOLMA8 541 WESTBROOK ROAD RINGWOOD, NJ 07466	
8	171	WILLIAM M & MIKALA E TRUEX 404 ADAMSTON ROAD BRICK, NJ 08723	
1	185	UNITED STATES OF AMERICA 300 WEST GATE CENTER DRIVE HADLEY, MA 01035-8589	
1.02	185	BRICK TOWNSHIP VFW POST #8867 373 ADAMSTON ROAD BRICK, NJ 08723	
5	195	BRICK WENZEL PO BOX 69 LAVALLETTIE, NJ 08735	
6	195	ROBERT & DOROTHY ANN ENGELHARDT 245 PRINCETON AVENUE BRICK, NJ 08724	
10	195	AREF & AHA FAYED 488 AURORA DRIVE BRICK, NJ 08723	
12	195	UNITED STATES OF AMERICA 300 WEST GATE CENTER DRIVE HADLEY, MA 01035-8589	
OCEAN COUNTY PLANNING BOARD 129 HOOPER AVENUE TOMES RIVER, NJ 08753			
COMCAST CABLE COMMUNICATIONS, INC. 781 BRICK BLVD. BRICK, NJ 08723 ATTN: TERRY CLARK			



- GENERAL NOTES:**
- PROPERTY BEING KNOWN AND DESIGNATED AS LOT 11.01 IN BLOCK 195 AS DESCRIBED IN DEED BOOK 14769, PAGE 810. ALSO BEING KNOWN LOT 11.01 IN BLOCK 195 ON THE OFFICIAL TAX MAP SHEET 19 OF TOWNSHIP OF BRICK, OCEAN COUNTY, NEW JERSEY.
 - OUTBOUND INFORMATION TAKEN FROM A MAP ENTITLED "SURVEY OF PROPERTY, LOT 11.01, BLOCK 195, TOWNSHIP OF BRICK, COUNTY OF NEW JERSEY", PREPARED BY MORGAN ENGINEERING & SURVEYING, DATED 4/18/2017. TOPOGRAPHIC INFORMATION TAKEN FROM A MAP ENTITLED "TOPOGRAPHIC SURVEY LOT 11.01 BLOCK 195, TOWNSHIP OF BRICK, OCEAN COUNTY, NEW JERSEY" PREPARED BY LINDSTROM, DIESSNER & CARR, P.C., DATED 3/9/2018. ERROR OF CLOSURE MEETS OR EXCEEDS 1:10,000. ELEVATIONS BASED ON NAVD 88 DATUM UTILIZING GPS RTK OBSERVATIONS.
 - THE TOTAL TRACT AREA IS 281,326 SQUARE FEET (6.458 ACRES).
 - PROPERTY LOCATED IN FLOOD ZONE SHADED X (0.20%), COMMUNITY NUMBER 345285 MAP NUMBER 34029C0212F, EFFECTIVE DATE SEPTEMBER 2006. PROPERTY LOCATED IN FLOOD ZONE SHADED X (0.20%), BASED ON FEMA PRELIMINARY FLOOD INSURANCE RATE MAPS REVISED JANUARY 2015.
 - OWNER/APPLICANT: 385 ADAMSTON, LLC
74 BRICK BOULEVARD, BLDG 2, SUITE 103
BRICK, NJ 08723
 - THE PROPERTY IS LOCATED IN THE R-R-1 ZONE.
 - THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL, AND SHALL BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVALS HAVE BEEN SATISFIED ON THE DRAWINGS. THIS PLAN IS FOR SITE PLAN PURPOSES ONLY AND SHALL NOT CONSTITUTE A SURVEY DRAWING.
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK A MINIMUM OF THREE (3) DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK IN STREETS WHERE UTILITIES HAVE NOT BEEN LOCATED OR MARKED BY UTILITY COMPANIES.
 - ALL CURBS SHALL BE DEPRESSED WHERE SIDEWALKS AND CROSSWALKS INTERSECT AND WHERE HANDICAP RAMPS ARE INSTALLED.
 - ALL TRAFFIC SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - ALL FIRE LANES, ZONES, SIGNAGE AND STRIPING SHALL BE INSTALLED BY THE DEVELOPER AT THE REQUEST OF THE BUREAU OF FIRE SAFETY IN ACCORDANCE WITH THE TOWNSHIP ORDINANCE CHAPTER 191.
 - ADJACENT FEATURES SHALL NOT BE SCALED AS THEY MAY BE SCHEMATIC, EXCEPT WHERE DIMENSIONS MAY BE SHOWN.
 - CONSTRUCTION DETAILS ARE INTENDED TO CONFORM TO TOWNSHIP REQUIREMENTS. IN THE EVENT OF DISCREPANCY, THE TOWNSHIP STANDARDS SHALL GOVERN.
 - ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2007, AS SUPPLEMENTED.
 - CURRENT, PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
 - CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED BY THE TOWNSHIP ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS.
 - ALL SUBGRADE SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS.
 - THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTORS OPINION WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
 - THE DEVELOPER IS REQUIRED TO OBTAIN A PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS OR SOIL EROSION CONTROL MEASURES WITHIN THE COUNTY RIGHT-OF-WAY.
 - THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEER FOR THE ROAD IMPROVEMENTS PRIOR TO THE COMPLETION OF SAID IMPROVEMENT.
 - ALIGNMENT AND GRADE FOR CURB AND ROAD IMPROVEMENTS ALONG THE COUNTY ROAD SHALL BE ESTABLISHED BY THE DEVELOPER'S ENGINEER APPROVED BY THE OCEAN COUNTY ENGINEER. STAKEOUT OF ALL CURB AND ROAD IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE EXECUTED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR. CURB AS-BUILTS SHALL BE SUBMITTED TO THE OCEAN COUNTY ENGINEER PRIOR TO ANY PAVING OPERATIONS. FINAL AS-BUILT INFORMATION SHALL BE SUPPLIED ON A REPRODUCIBLE MEDIUM, WILL INCLUDE TOP AND BOTTOM OF CURB, CENTERLINE AND QUARTER CROWN GRADES. MONUMENTS WHERE APPLICABLE SHALL BE SET AND SEALED BY A LICENSED NEW JERSEY PROFESSIONAL LAND SURVEYOR AND ACCOMPANIED BY A MONUMENT CERTIFICATION WHERE APPLICABLE.
 - COUNTY ROAD IMPROVEMENTS MUST HAVE BASE PAVEMENT COURSE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCIES.
 - ALL EXISTING SITE LIGHTING SHALL REMAIN. ALL SITE LIGHTING SHALL BE TURNED OFF ONE HOUR AFTER CLOSE OF BUSINESS WITH THE EXISTING SECURITY LIGHTING.
 - NO NEW GROUND OR BUILDING MOUNTED SIGNS ARE PROPOSED. ALL EXISTING SIGNS TO REMAIN UNLESS NOTED OTHERWISE. SIGN FACES TO REMAIN UNLESS NOTED OTHERWISE.
 - THESE GENERAL NOTES APPLY TO ALL SHEETS IN THE SET.

PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

385 ADAMSTON

LOT 11.01 BLOCK 195

TOWNSHIP OF BRICK, OCEAN COUNTY, NJ

R-R-1 ZONE REQUIREMENTS:

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	281,326 S.F.	281,326 S.F.
MINIMUM LOT WIDTH	150 FT.	199.7 FT.	199.7 FT.
MINIMUM LOT DEPTH	150 FT.	1,500± FT.	1,500± FT.
MINIMUM FRONT SETBACK	50 FT.	65.1 FT.	65.1 FT.
MINIMUM SIDE SETBACK	25 FT.	19.5 FT. *	19.5 FT.*
MINIMUM REAR SETBACK	50 FT.	1,188± FT.	377± FT.
MAXIMUM BUILDING COVERAGE	25%	0.9%	18.0%
MAXIMUM IMPERVIOUS COVERAGE	65%	12.6%	45.3%
MINIMUM FLOOR AREA	2,000 S.F.	2,578 S.F.	68,675 S.F.
MAXIMUM BUILDING HEIGHT	25 FT (EAVES)	9.7 FT.	24 FT.

* SIDE YARD SETBACK TO EXISTING BUILDING (FORMER BANK)

VARIANCES REQUIRED:

- SIDE YARD SETBACK TO EXISTING BUILDING 25 FT. REQUIRED; WHEREAS 19.5 FT. IS EXISTING (NO CHANGE).
- MAXIMUM FREESTANDING SIGN AREA 4 SF. ALLOWED; WHEREAS 40 SF.± IS EXISTING (NO CHANGE).
- MAXIMUM DIRECTIONAL SIGN AREA 3 SF. ALLOWED; WHEREAS 10 SF. IS EXISTING (NO CHANGE).
- 25 FT. BUFFER TO RESIDENTIAL USES OR ZONES; WHEREAS NONE IS PROPOSED (EXISTING CONDITION)

PERMITTED SIGN REQUIREMENTS:

THE FOLLOWING SIGNS ARE PERMITTED IN RESIDENTIAL ZONING DISTRICTS:

ONE ILLUMINATED WALL OR GROUND IDENTIFICATION SIGN NOT EXCEEDING FOUR SQUARE FEET IN AREA, PROVIDED THAT SUCH SIGN IS ERECTED OR DISPLAYED NOT LESS THAN FIVE FEET INSIDE THE PROPERTY LINE.

ONE NONILLUMINATED IDENTIFICATION GROUND SIGN MAY BE ERECTED FOR ANY CONDITIONAL USE IN THE RESIDENTIAL ZONES IN WHICH IT IS PERMITTED. SUCH SIGN SHALL NOT EXCEED 25 SQUARE FEET IN AREA ON EITHER SIDE NOR A HEIGHT OF 12 FEET, PROVIDED THAT SUCH SIGN IS ERECTED OR DISPLAYED NOT LESS THAN 10 FEET INSIDE THE PROPERTY LINE.

PARKING REQUIREMENTS:

OFFICES - ONE SPACE PER 300 S.F. FLOOR AREA
AGRICULTURAL, WAREHOUSE - 1 SPACE PER EMPLOYEE ON MAXIMUM SHIFT

REQUIRED: OFFICE - 2,578 S.F./300 = 9
AGRICULTURAL/WAREHOUSE - 18 EMPLOYEES ON MAXIMUM SHIFT = 18

27 SPACES REQUIRED

EXISTING: 30 SPACES

PROPOSED: 48 SPACES

STATUS OF AGENCY APPROVALS:

OCEAN COUNTY PLANNING BOARD
OCEAN COUNTY SOIL CONSERVATION DISTRICT
BT/MUA

PENDING
PENDING

THIS IS TO CERTIFY THAT THE WATER AND SEWER DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.

STEPHEN T. SPECHT, P.E.
DIRECTOR OF ENGINEERING
DATE: _____
MUA # _____

THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION # _____ DATED _____ SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

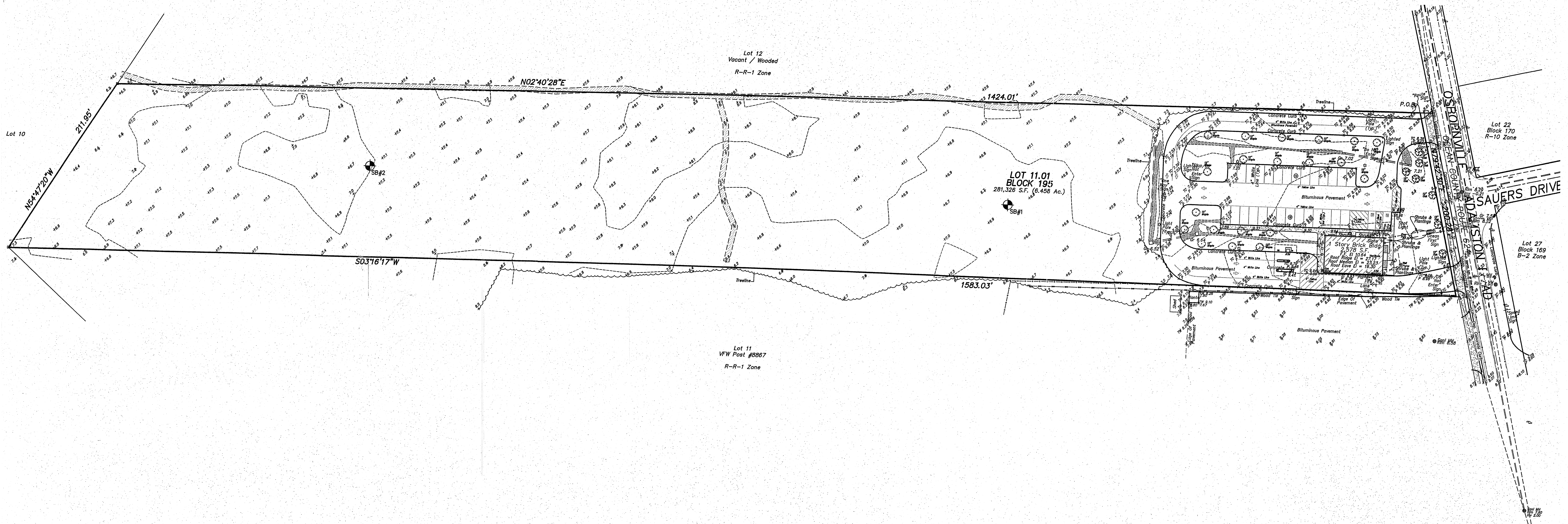
APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO. _____)

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

2	3/06/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	K
1	10/2/18	REVISED PER TWP FIRE SAFETY 8/23/18, TWP PLANNING 9/5/18, OCSO 8/28/18	J
NO.	DATE	REVISION DESCRIPTION	
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8026 • Info@LDcpc.com			
PRELIMINARY & FINAL MAJOR SITE PLAN COVER SHEET & GENERAL NO 385 ADAMSTON LOT 11.01 BLOCK 195 TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY			
JEFFREY J. CARR PROFESSIONAL ENGINEER N.J. LIC. NO. 246020815800 PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400	DRAWN BY: JSM	SCALE: AS NOTED	DATE: 8/8/2018
SHEET: 1 OF 13		PRC	



Project No. 18001

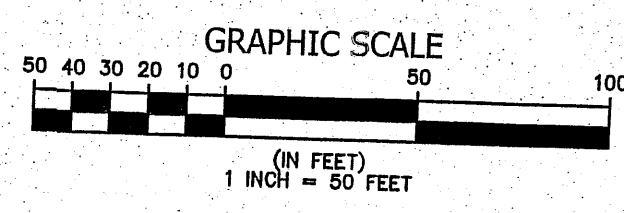
Soil Log
Soil Boring No. 1
Lot 11.01, Block 195
Township of Brick, NJ
Date Performed 07.29.2018

DEPTH	DESCRIPTION
From To	
0 0.25'	LOAMY SAND, BLACK 10 YR 2/1. ROOTS, NO STONE.
0.25' 1.0'	MEDIUM SAND, DARK GRAYISH BROWN 10 YR 4/2 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
1.0' 1.5'	MEDIUM SAND, LIGHT GRAY 10 YR 8/1 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
1.5' 2.5'	LOAMY SAND, DARK BROWN 10 YR 3/3 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
2.5' 3.0'	MEDIUM TO FINE SAND, DARK YELLOWISH BROWN 10 YR 4/4 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
3.0' 4.0'	VERY COARSE TO MEDIUM SAND, YELLOWISH BROWN 10 YR 5/4 WELL GRADED STRUCTURE WITH PEBBLES. NO ROOTS, FEW STONE, WET.
OBSERVED WATER @ 3.0'	
SHWT @ 3.5'	
SOIL PERMEABILITY RATING 24" PER HOUR	

Project No. 18001

Soil Log
Soil Boring No. 2
Lot 11.01, Block 195
Township of Brick, NJ
Date Performed 07.29.2018

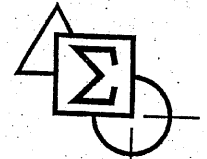
DEPTH	DESCRIPTION
From To	
0 0.25'	LOAMY SAND, BLACK 10 YR 2/1. ROOTS, NO STONE.
0.25' 1.0'	MEDIUM SAND, LIGHT GRAY 10 YR 6/1 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
1.0' 1.5'	MEDIUM TO FINE SAND, YELLOWISH BROWN 10 YR 5/4 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
1.5' 3.0'	MEDIUM TO FINE SAND, DARK YELLOWISH BROWN 10 YR 4/6 SINGLE GRAIN STRUCTURE. NO ROOTS, NO STONE, MOIST.
3.0' 4.5'	VERY COARSE TO MEDIUM SAND, YELLOWISH BROWN 10 YR 5/4 WELL GRADED STRUCTURE WITH PEBBLES. NO ROOTS, FEW STONE, WET.
OBSERVED WATER @ 4.5'	
SHWT @ 4.0'	
SOIL PERMEABILITY RATING 24" PER HOUR	

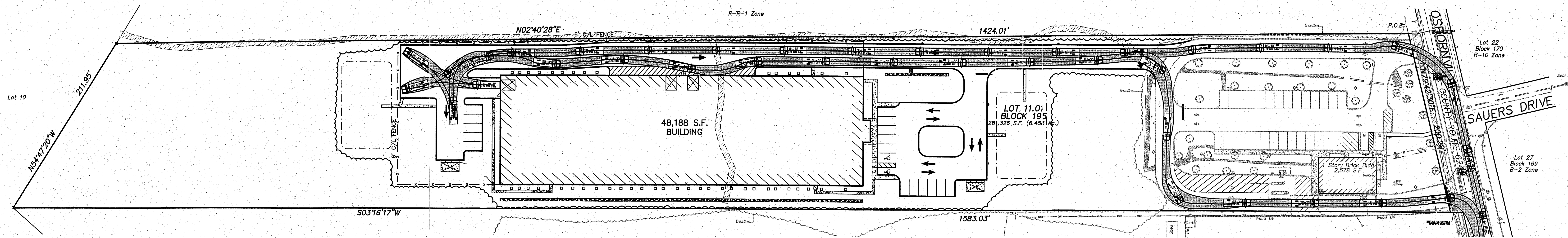


THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION # _____ DATED _____ SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO. _____)

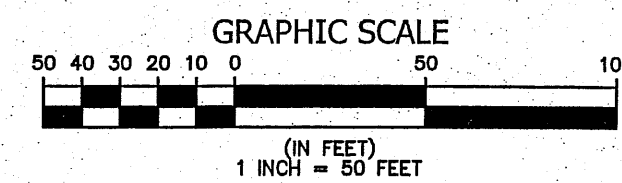
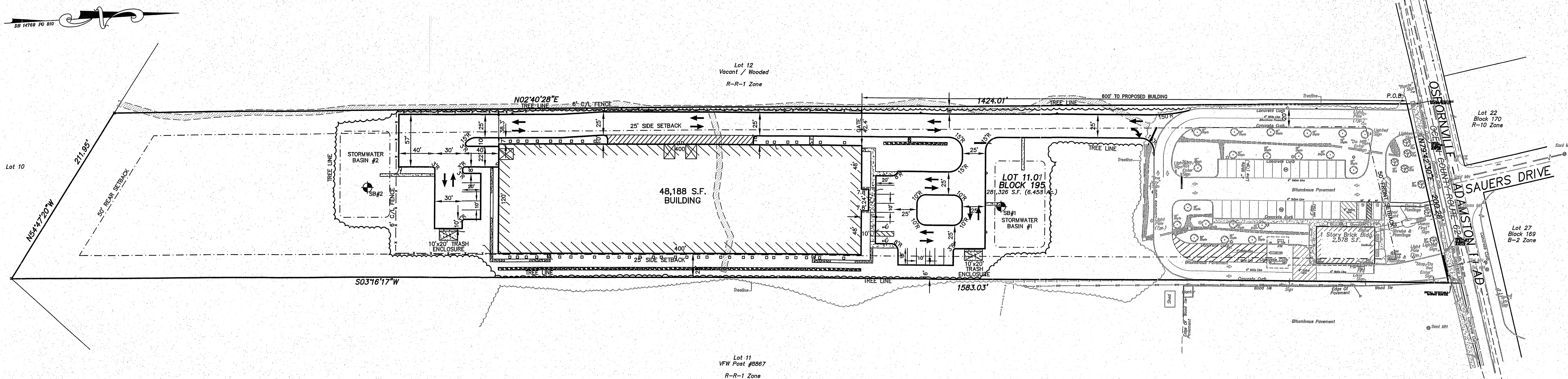
CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
ENGINEER _____ DATE _____

1	3/08/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	KJW
NO.	DATE	REVISION DESCRIPTION	BY
 Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel.(732)477-8900 • Fax.(732)477-8028 • Info@LDCpc.com			
 JEFFREY J. CARR PROFESSIONAL ENGINEER N.J. LIC. NO. 24GE02815800 PROFESSIONAL PLANNER N.J. LIC. NO. 33J00276400			
PRELIMINARY & FINAL MAJOR SITE PLAN EXISTING CONDITIONS PLAN 385 ADAMSTON LOT 11.01 BLOCK 195 TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY			
DRAWN BY:	SCALE:	DATE:	SHEET:
JSM	1"=50'	8/8/2018	2 OF 13
PROJECT:			18001



VEHICLE CIRCULATION PLAN SCALE: 1"=50'

- NOTES:
- TURNING PATHS CREATED UTILIZING AUTOTURN VERSION 10.2 SOFTWARE.
 - VEHICLE TEMPLATE BASED ON AN SU-30, SINGLE UNIT TRUCK, OVERALL LENGTH 30'.



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB
- TOP OF BLOCK

THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION # DATED SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO.)

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE

2	3/06/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	KJW
1	10/2/18	REVISED PER TWP FIRE SAFETY 8/23/18, TWP PLANNING 9/5/18, OSCSD 8/28/18	JSM
NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
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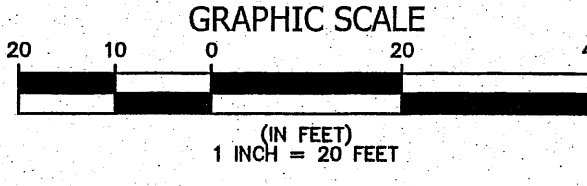
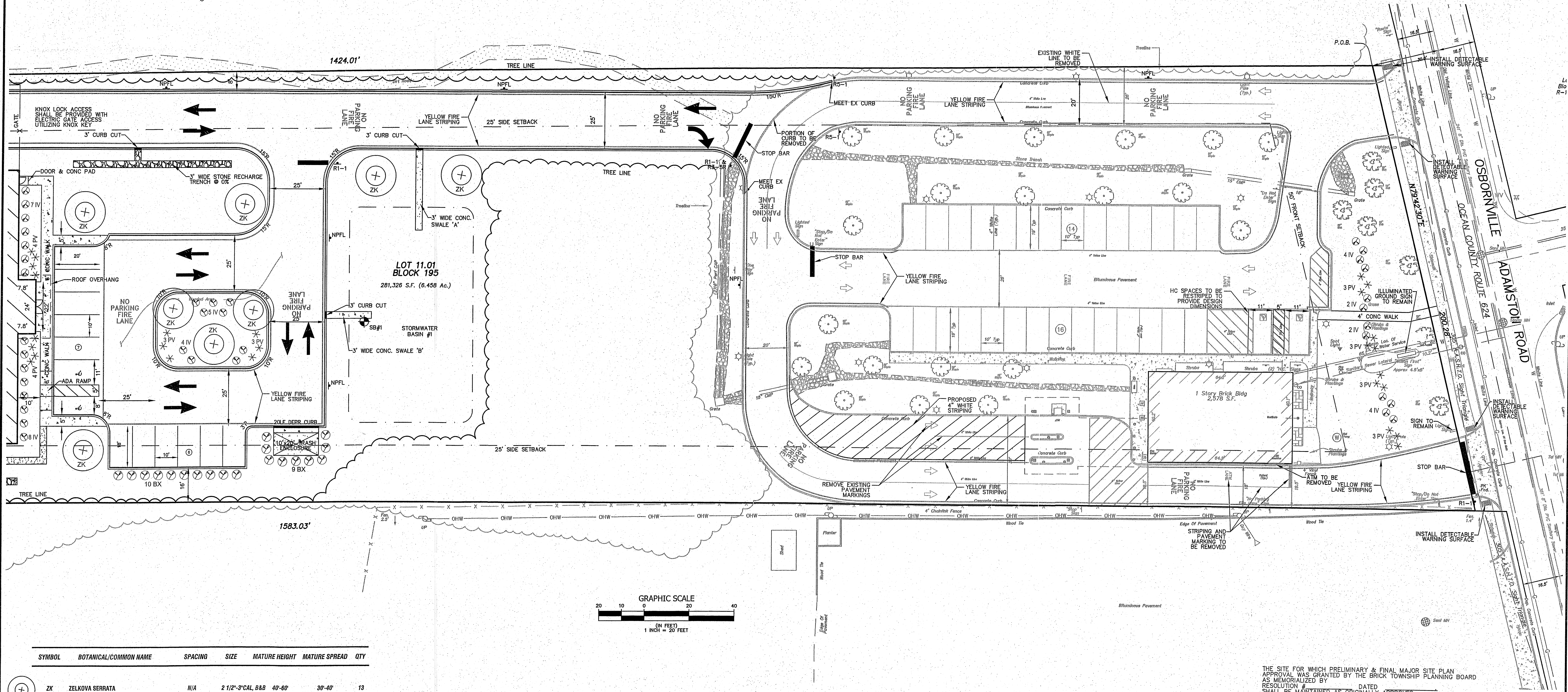
**PRELIMINARY & FINAL MAJOR SITE PLAN
OVERALL SITE PLAN
385 ADAMSTON**

LOT 11.01 BLOCK 195

TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 240602015600
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

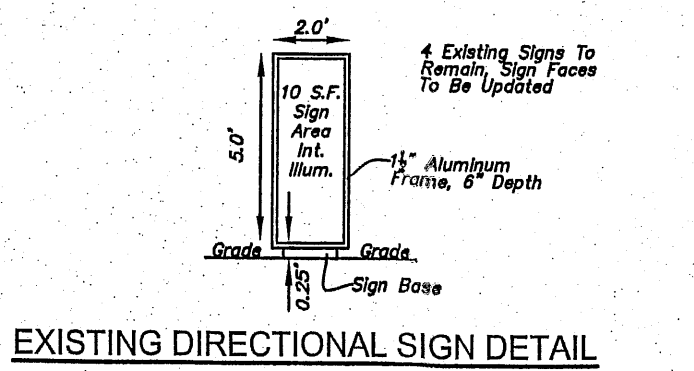
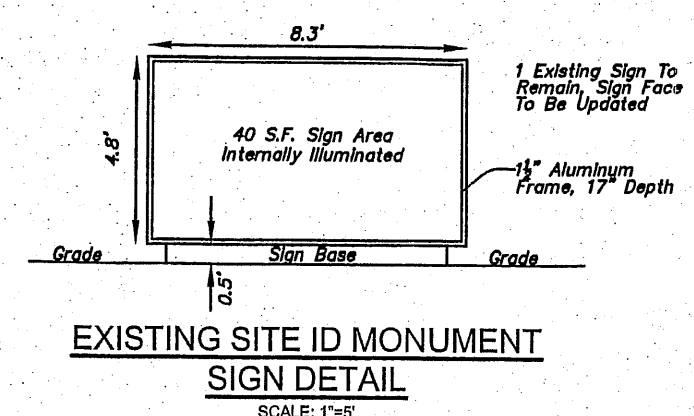
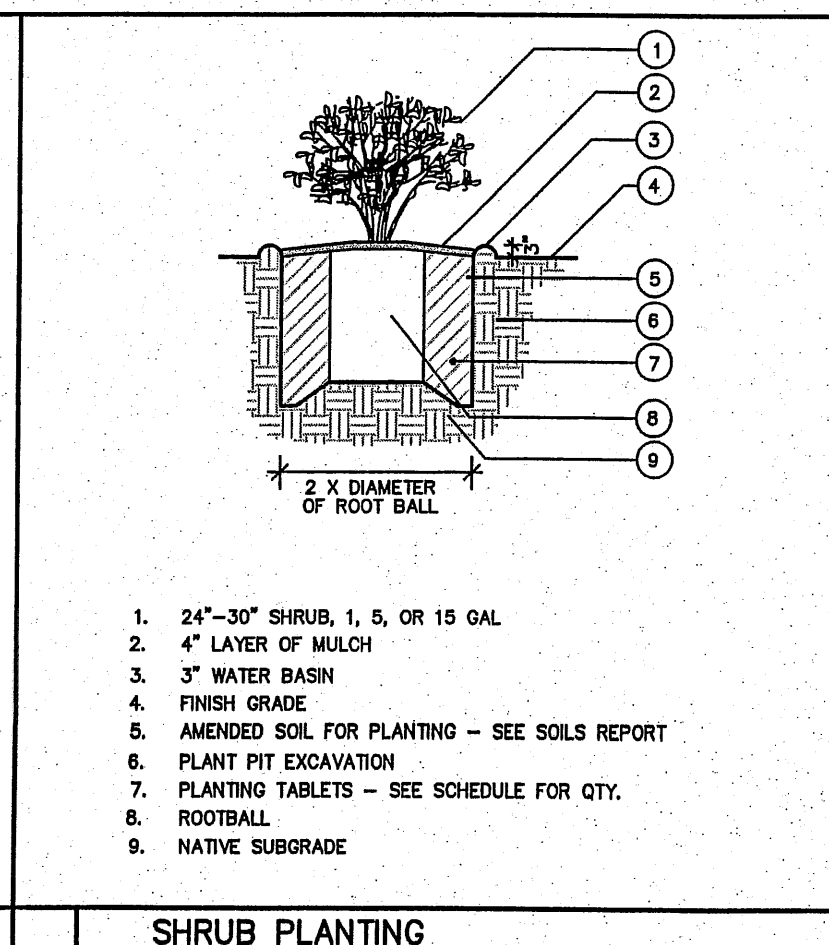
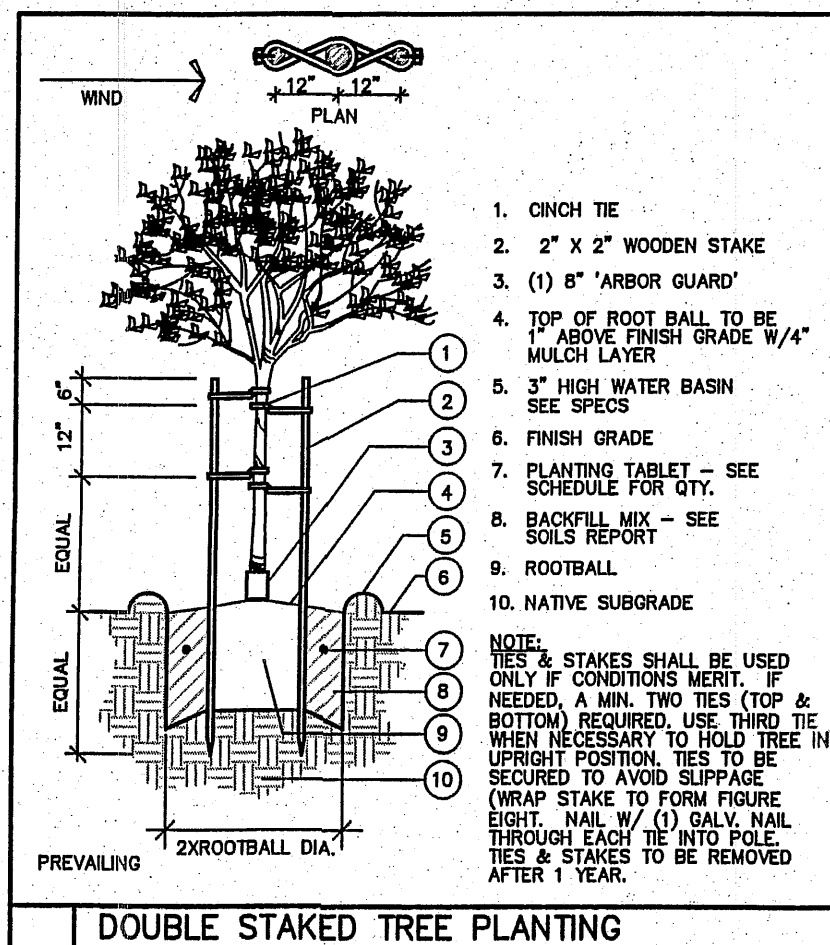
DRAWN BY: JSM
SCALE: 1"=50'
DATE: 8/8/2018
SHEET: 3 OF 13
PROJECT: 18001



SYMBOL	BOTANICAL/COMMON NAME	SPACING	SIZE	MATURE HEIGHT	MATURE SPREAD	QTY
	ZELKOVA SERRATA ZELKOVA "GREEN VASE"	N/A	2 1/2"-3" CAL. B&B	40'-60'	30'-40'	13
	ILEX VERTICILLATA WINTERBERRY HOLLY	6' O.C.	3 GAL.	3'-5'	6'-8'	36
	PANICUM VIRGATUM 'HEAVY METAL' SWITCHGRASS 'HEAVY METAL'	3' O.C.	1 GAL.	2'-4'	2'-3'	28
	BUXUS SEMPERVIRENS AMERICAN BOXWOOD	4' O.C.	3 GAL.	8'-12'	6'-8'	28

GENERAL PLANTING NOTES

- A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED ON TOP OF ALL PLANTING AREAS. THE BEDS SHALL BE FINAL GRADED AND RAKED FREE OF ALL DEBRIS. ALL SOILS MUST BE OF A PROPER PHYSICAL AND CHEMICAL PROPERTY TO SUPPORT THE PROPOSED PLANT MATERIALS. ALL PLANTING AREAS WILL BE DRESSED WITH A MINIMUM OF 4" OF HARDWOOD BARK MULCH.
- ONLY NURSERY GROWN PLANT MATERIALS ARE ACCEPTABLE. ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. IF THE CONTRACTOR CANNOT LOCATE THE MATERIAL OF ACCEPTABLE SIZE, PLANT MATERIAL WITHIN THE SPECIFIED TOLERANCES, CONTACT LANDSCAPE ARCHITECT FOR SUBSTITUTION. DOWN-SIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT FOR SUBSTITUTION WILL NOT BE ALLOWED. ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY TOWNSHIP ENGINEER.
- TREES AND SHRUBS SHOULD BE PLANTED ONLY WHEN THE SOIL IS FROST FREE. PLANTING SEASON SHALL BE MARCH 15 TO JUNE 30, OR SEPTEMBER 1 TO NOVEMBER 30, FOR ALL SHADE AND BUFFER AREAS.
- TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS.
- WHERE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE, TREES SHOULD BE PLANTED AT A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. THIS SHOULD NOT BE POSSIBLE, CONTACT THE LANDSCAPE ARCHITECT FOR DECISION ON PLACEMENT.
- ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. C.R. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 4" MIN. THK. MULCH AT BASE OF TRUNK.
- MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES, TRAFFIC SIGHT LINES OR PUBLIC WALKWAYS.
- LAWN AREAS TO HAVE ADEQUATE TOPSOIL AND BE SEEDED WITH A MIXTURE CONTAINING LESS THAN 10% KENTUCKY BLUE GRASS.
- ANY EXISTING TREES TO REMAIN SHALL HAVE TREE PROTECTION MEASURES INSTALLED.
- AREAS NOT SPECIFIED FOR PLANTINGS SHALL BE SEEDED OR SODDED.



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOP OF BLOCK
- R1-1 STOP SIGN
- R5-1 DO NOT ENTER SIGN
- NPFL NO PARKING FIRE LANE SIGN
- R3-5R RIGHT TURN ONLY

THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION 18-001 DATED 8/23/18 SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO.)

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
ENGINEER _____ DATE _____

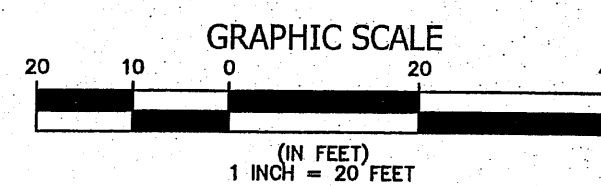
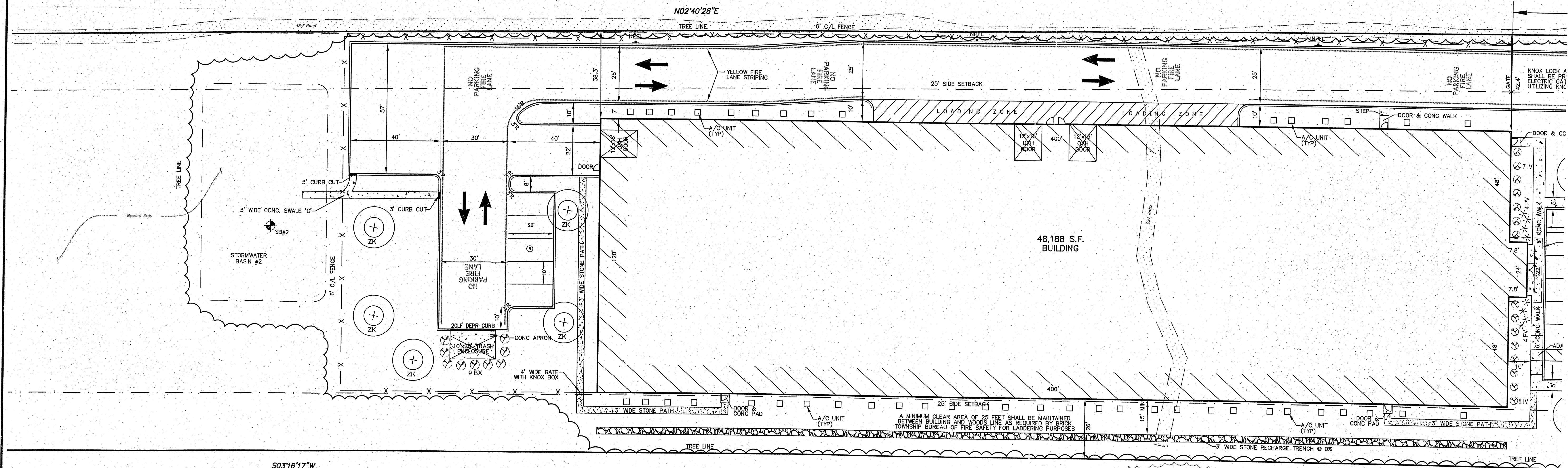
2	3/06/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	KJW
1	10/2/18	REVISED PER TWP FIRE SAFETY 8/23/18, TWP PLANNING 9/5/18, OCSCD 8/28/18	JSM
NO.	DATE	REVISION DESCRIPTION	BY

Lindstrom, Diessner & Carr, P.C.
ENGINEERING ♦ SURVEYING ♦ PLANNING
136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel: (732) 477-8900 • Fax: (732) 477-8026 • Info@LDCpc.com

PRELIMINARY & FINAL MAJOR SITE PLAN
SITE PLAN 1 & LANDSCAPING
385 ADAMSTON
LOT 11.01 BLOCK 195
TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY

JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602816800
PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400

DRAWN BY: JSM SCALE: 1"=20' DATE: 8/8/2018 SHEET: 4 OF 13 PROJECT: 18001



LEGEND:

- 47 — EXISTING CONTOUR
- 48 — PROPOSED CONTOUR
- 12.45 EXISTING SPOT GRADE
- 12.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOB TOP OF BLOCK
- R1-1 STOP SIGN
- R5-1 DO NOT ENTER SIGN
- NPFL NO PARKING FIRE LANE SIGN
- R3-5R RIGHT TURN ONLY

THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION DATED 8/8/2018 SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO.)

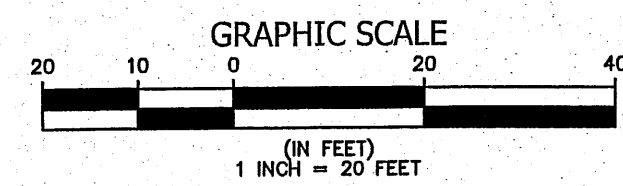
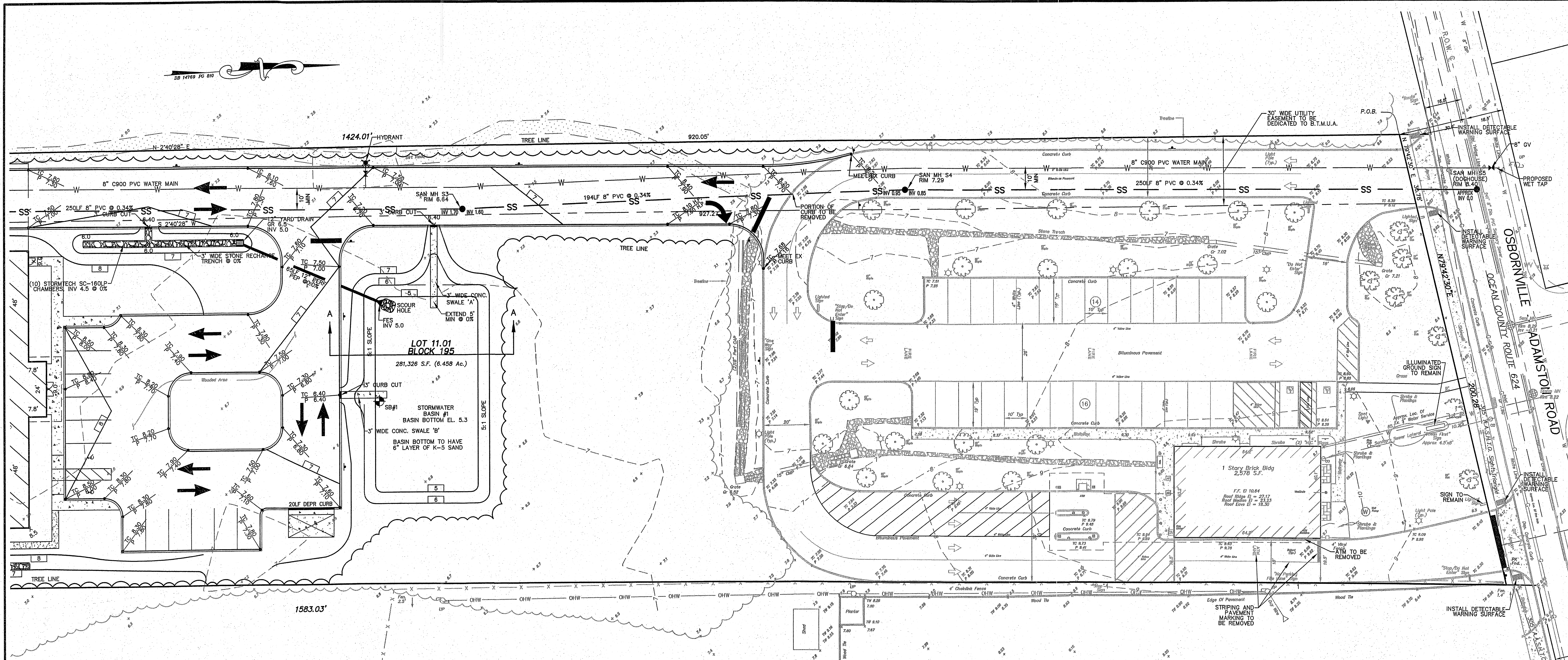
CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

Lot 11
VFW Post #8867

2	3/06/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	KJW
1	10/2/18	REVISED PER TWP FIRE SAFETY 8/23/18, TWP PLANNING 9/5/18, OCSCD 8/28/18	JSM
NO.	DATE	REVISION DESCRIPTION	BY
Lindstrom, Diessner & Carr, P.C. ENGINEERING ♦ SURVEYING ♦ PLANNING 136 Drum Point Road • Suite 6 • Brick, NJ 08723 • Tel. (732) 477-8900 • Fax. (732) 477-8026 • info@LDcpc.com			
PRELIMINARY & FINAL MAJOR SITE PLAN SITE PLAN 2 385 ADAMSTON LOT 11.01 BLOCK 195 TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY			
DRAWN BY: JSM SCALE: 1"=20' DATE: 8/8/2018 SHEET: 5 OF 13 PROJECT: 18001	JEFFREY J. CARR PROFESSIONAL ENGINEER N.J. LIC. NO. 246302815800 PROFESSIONAL PLANNER N.J. LIC. NO. 33100276400		



LEGEND:

- 47— EXISTING CONTOUR
- 48— PROPOSED CONTOUR
- 123.45 EXISTING SPOT GRADE
- 123.45 PROPOSED SPOT GRADE
- EXISTING INLET
- PROPOSED INLET
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING M.H.
- PROPOSED M.H.
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- SOIL BORING LOCATION
- EXISTING VALVE
- PROPOSED VALVE
- EXISTING WOODS LINE
- PROPOSED WOODS LINE
- TOP OF BLOCK

THIS IS TO CERTIFY THAT THE WATER AND SEWER DESIGN CONFORMS WITH THE RULES AND REGULATIONS OF THE BRICK TOWNSHIP MUNICIPAL UTILITIES AUTHORITY.

STEPHEN T. SPECHT, P.E. DIRECTOR OF ENGINEERING MUA # _____ DATE _____

THE SITE FOR WHICH PRELIMINARY & FINAL MAJOR SITE PLAN APPROVAL WAS GRANTED BY THE BRICK TOWNSHIP PLANNING BOARD AS MEMORIALIZED BY RESOLUTION # _____ DATED _____ SHALL BE MAINTAINED AS ORIGINALLY APPROVED.

APPROVED AS A PRELIMINARY & FINAL MAJOR SITE PLAN BY THE BRICK TOWNSHIP PLANNING BOARD: (CASE NO. _____)

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

2	3/06/19	REVISED PER VARIOUS REVIEW LETTERS & GENERAL REVISIONS	KJW
1	10/2/18	REVISED PER TWP FIRE SAFETY 8/23/18, TWP PLANNING 9/5/18, OCCSD 8/28/18	JSM
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JEFFREY J. CARR
PROFESSIONAL ENGINEER N.J. LIC. NO. 24602815800
PROFESSIONAL PLANNER N.J. LIC. NO. 33U00276400

**PRELIMINARY & FINAL MAJOR SITE PLAN
GRADING & UTILITIES PLAN 1**
385 ADAMSTON
LOT 11.01 BLOCK 195
TOWNSHIP OF BRICK OCEAN COUNTY NEW JERSEY

DRAWN BY: JSM SCALE: 1"=20' DATE: 8/8/2018 SHEET: 6 OF 13 PROJECT: 18001