

LDS HW-B 10505820

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

- A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

- B. ☒ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.vii:

I personally prepared the plans submitted for: 1) the new home referred to in A., or, ☒ an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

- C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☒ Building C.2. ☐ Fire Protection

I further certify that I will perform the following work:

C.3. ☐ Electrical C.4. ☐ Plumbing

- D. ☒ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature

Stephen L. Bau

Date

5/25/98

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:32-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

☐ Check if contractor.

Agent Name

Address

Telephone ()

Signature

III. ☐ LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.

OFFICE DATE RECEIVED: _____

VIII. PRIOR APPROVALS CHECKLIST (office use only)	LOCAL APPROVAL		COUNTY APPROVAL		REGIONAL APPROVAL		STATE APPROVAL		COMMENTS
	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	
☐ Zoning Officer									
☐ Planning Board									
☐ Zoning Board									
☐ Sewer Authority									
☐ Water Authority									
☐ Police Department									
☐ Health Department									
☐ Soil Conservation									
☐ N.J. Department of Community Affairs									
☐ N.J. Department of Transportation									
☐ N.J. Department of Environmental Protection									
☐ Utility Dig No.									
☐									
☐									

IX. SUBCODES AND SPECIAL REGULATIONS APPLICABLE (office use only—optional)

Name of Code & Edition	Name of Code & Edition	Other
Building _____	Energy _____	
Electrical _____	Barrier Free _____	
Plumbing _____	Flood Hazard _____	
Fire Protection _____	As Built Elevation Cert. _____	
Mechanical _____	Other _____	

X. CERTIFICATES ISSUED (office use only)

	DATE ISSUED	DATE EXPIRED	DATE REISSUED	DATE EXPIRED
☐ Temporary Certificate of Occupancy	No. _____	_____	_____	_____
☐ Temporary Certificate of Compliance	No. _____	_____	_____	_____
☐ Continued Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Compliance	No. _____	_____	_____	_____
☐ Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Approval	No. _____	_____	_____	_____
☐ Lead Abatement Clearance Certificate	No. _____	_____	_____	_____



HOWELL TOWNSHIP
251 PREVENTORIUM ROAD
HOWELL NJ 07731
732-938-4500

CERTIFICATE

Date Issued: 09/24/2003
Control #: 6857
Permit # 19981427

IDENTIFICATION

Block: 65 Lot: 16.05 Qual: _____
Work Site: 8 POPPY LANE
HOWELL NJ 07731

Home Warranty No: _____
Type of Warranty Plan: [] State [] Private
Use Group: U

Owner in Fee: BARR
Address: 8 POPPY LN
HOWELL NJ 07731

Maximum Live Load: _____
Construction Classification: _____
Maximum Occupancy Load: _____

Telephone: _____
Agent/Contractor: BARR
Address: 8 POPPY LN
HOWELL NJ 07731

Certificate Exp Date: _____
Description of Work/Use: PATIO DECK 24 X 24 WITH PAVERS

Lic. No./ Bids. Reg.No.: _____ Federal Emp. No.: _____
Social Security No.: _____

☐ **CERTIFICATE OF OCCUPANCY**

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☒ **CERTIFICATE OF APPROVAL**

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ **TEMPORARY CERTIFICATE OF OCCUPANCY/COMPLIANCE**

If this is a temporary Certificate of Occupancy or Compliance the following conditions must be met no later than . or the owner will be subject to fine or order to vacate.

☐ **CERTIFICATE OF CLEARANCE-LEAD ABATEMENT 5:17**

This serves notice that based on written certification, lead abatement was performed as per NJAC 5:17 to the following extent:

☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period(____ years); see file

☐ **CERTIFICATE OF CONTINUED OCCUPANCY**

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

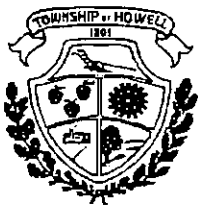
☐ **CERTIFICATE OF COMPLIANCE**

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until _____

Chel Phillips
Chel Phillips Construction Official
U.C.C 360 (rev. 3/96) 9/25/03

1 - APPLICANT 2 - OFFICE 3 - TAX ASSESSOR

Fees \$4.00
Paid [X] Check No 1336
Collected by EIB



HOWELL TOWNSHIP
251 PREVENTORIUM ROAD
HOWELL, NJ 07731
732 - 938-4500

Permit Number: 20032390
Permit Date: 09/15/2003
Update Number:
Control Number: 25288
Application Date: 09/15/2003

CONSTRUCTION PERMIT

IDENTIFICATION

OWNER/PROPERTY DETAILS

Block : 65	Lot : 16.05	Qualifier :	
Work site Location:	8 POPPY LANE HOWELL		Contractor: BARR, STEPHEN L & KYNA D
Owner In Fee:	BARR, STEPHEN L & KYNA D		Address: 8 POPPY LANE
Address:	8 POPPY LANE		HOWELL NJ 07731
	HOWELL NJ 07731		Telephone: [REDACTED]
Telephone:	[REDACTED]		Lic. No. / Bldrs. Reg. No.:
Use Group(s):	R-3		Federal Emp. No.:

is hereby granted permission to perform the following work :

- | | | |
|--|--|-------------------------------------|
| ☒ BUILDING | ☐ PLUMBING | ☐ DEMOLITION |
| ☐ ELECTRICAL | ☐ FIRE PROTECTION | ☐ OTHER |
| ☐ ELEVATOR DEVICES | ☐ MECHANICAL | |
| ☐ ASBESTOS ABATEMENT | ☐ LEAD HAZARD ABATEMENT | |

(Subchapter 8 only)

DESCRIPTION OF WORK:

REINSTATE BASEMENT RENO PERMIT 20020516 & DECK PERMIT #19981427

ESTIMATED COST OF WORK:

Cost of Construction: 0.00
Cost of Alteration: 0.00
Cost of Demolition: 0.00

Total Cost: \$0.00

If construction does not commence within one year of date of issuance,
or if construction ceases for a period of six months, this permit is void.

Chet Phillips

Construction Official

:: Failure to obtain all required inspections may result in administrative action.
:: Final inspections are required before final payment is to be made to contractor.
:: An approved set of plans must be kept at the worksite at all times

Date

9-15-03

PAYMENTS (Office Use Only)

Building	\$16.00
Electrical	
Plumbing	
Fire Protection	
Elevator Devices	
Mechanical	
VolFee (DCA)	
AltFee (DCA)	
Other Fees	
CO Fee	
CCO Fee	
Minimum Fee	
Total	\$16.00
All Fees Waived :	No

Amount to be Paid: \$16.00

Cash amount: \$16.00

Collected by: JM
Receipt No:
Total Cash Amount \$16.00
Total Check Amount
Total CC Amount
Grand Total \$16.00

Note: FIELD COPY MUST BE ON SITE AT ALL TIMES WHEN INSPECTORS COME TO INSPECT!!!!



CONSTRUCTION PERMIT

Date Issued
Control #
Permit #

8/5/98
98-1427

IDENTIFICATION Block 65 Lot 16.05
Work Site Location 8 Poppy Lane Contractor N/A
Address _____
Owner in Fee Stephen & Kyna Carr
Address 8 Poppy Lane
Tel. _____
Tel. _____
Lic. No. or Bldrs. Reg. No. _____
Fed. Emp. No. _____

Is hereby granted permission to perform the following work:

- ☒ BUILDING (DECK) ☐ PLUMBING ☐ LEAD HAZARD ABATEMENT
☐ ELECTRICAL ☐ FIRE PROTECTION ☐ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT ☐ OTHER _____
(Subchapter 8 only)

DESCRIPTION OF WORK:

Deck

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 5,000.00

Construction Official

Date

U.C.C. F170
(rev. 3/98)

1 WHITE—INSPECTOR COPY 2 CANARY—OFFICE COPY 3 PINK—OFFICE COPY 4 GOLD—APPLICANT COPY

(see reverse side)

PAYMENTS (Office Use Only)

Building 40.00
Electrical _____
Plumbing _____
Fire Protection _____
Elevator Devices _____
Other CC 4.00
DCA Training Fee _____
Cert. of Occupancy _____
Other _____
Total 44.00
Check No. 1336
Cash _____
Collected by ds

REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.19. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that work installed conforms to the approved plans and the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval given.

☐ Required inspections for all subcodes for one and two family dwellings are the following:

1. The bottom of footing trenches before placement of footings, except that in the case of pile foundations, inspections shall be made in accordance with the requirements of the building subcode;
2. Foundations and all walls up to grade level prior to back filling;
3. All structural framing and connections prior to covering with finish or infill material; plumbing underground services, rough piping, water service, sewer, septic services and storm drains; electrical rough wiring, panels and service installations; insulation installations;
4. Installation of all finished materials, sealings of exterior joints; plumbing piping, trim and fixtures; electrical wiring, devices and fixtures; mechanical systems equipment.

☐ Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

☐ A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued.

Any violations of the approved plans and/or permit will be noted and the holder of the permit notified of discrepancies.

☐ A complete copy of approved plans must be kept on the job site.

If you do not understand any of this information, please ask.



BUILDING SUBCODE TECHNICAL SECTION

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 16.05
Work Site Location 8 Pappy Lane

Owner in Fee Stephen & Kyra Barr

Address 8 Pappy Lane

Tele. Self

Contractor Self

Address _____

Tele. (____) _____ Fax (____) _____

Lic. No. of Bldrs. Reg. No. _____

Federal Emp. No. _____

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Type:	Dates (Month/Day)	Failure	Failure	Approval	Initial
☐ No Plans Required				Footings					
☒ All	<u>6-4-98</u>	<u>MC</u>		Foundation					
☐ Footing				Slab					
☐ Foundation				Frame					
☐ Frame				Barrier-Free					
☐ Other				Insulation					
Joint Plan Review Required:				Finishes					
☐ Elec.	☐ Plumb.	☐ Fire	☐ Elevator	Energy					
SUBCODE APPROVAL				Mechanical					
☒ CO	☒ CCO	☒ CA		TCO					
Date:	<u>9/23/03</u>			Other					
Approved by:	<u>GB</u>			Final					
				Barrier-Free					

B. BUILDING CHARACTERISTICS

Use/Group	Present	Proposed	Est. Cost of Bldg. Work:
Const. Class	<u>3B</u>	<u>3B</u>	1. New Bldg. \$ <u>5,000</u>
No. of Stories	<u>1</u>	<u>1</u>	2. Alteration \$ <u>5,000</u>
Height of Structure	<u>3</u>	<u>3</u>	3. Total (1+2) \$ <u>10,000</u>
Area — Largest Floor	<u>600</u>	<u>600</u>	
New Bldg. Area/All Floors	<u>600</u>	<u>600</u>	
Volume of New Structure	<u>214</u>	<u>214</u>	
Total Land Area Disturbed	<u>600</u>	<u>600</u>	



C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature Stephen Barr

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Construct new patio deck
Pages used

TYPE OF WORK:

☐ New Building	
☐ Addition	
☒ Alteration	
☐ Roofing	
☐ Siding	
☐ Fence	
☐ Sign	
☐ Pool	
☐ Asbestos Abatement Subchapter 8	
☐ Lead Haz. Abatement NJAC 5:17	
☒ Other <u>Deck</u>	
☐ Demolition	

FEE (Office Use Only)

Administrative Surcharge	\$ <u>400.00</u>
Minimum Fee	\$ <u>400.00</u>
DCA Training Fee	\$ <u>0.00</u>
TOTAL FEE	\$ <u>400.00</u>

4/30/02 Unequal Price = OK By Slave Dave
Same Condition
at Auction
Restored print



**BUILDING
SUBCODE
TECHNICAL SECTION**



Date Received
Date Issued
Control #
Permit #

8/5/98
98-1429

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature

Stephen E Kyra Barr

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Construct new patio deck

Used barriers

Used barriers

TYPE OF WORK:

- ☐ New Building
☐ Addition
☒ Alteration

- ☐ Roofing
☐ Siding
☐ Fence
☐ Sign
☐ Pool
☐ Asbestos Abatement Subchapter 8
☐ Lead Haz Abatement NJAC 5:17
☒ Other *Deck*

Height (exceeds 6')
Sq. Ft.

- ☐ Demolition

FEE (Office Use Only)

400

Administrative Surcharge

Minimum Fee

DCA Training Fee

TOTAL FEE

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block *65* Lot *16.05*

Work Site Location *8 Poppy Lane*

Owner in Fee *Stephen E Kyra Barr*

Address *8 Poppy Lane*

Tele. *Self*

Contractor *Self*

Address

Tele. () Fax ()

Lic. No. or Bids. Reg. No.

Federal Emp. No.

JOB SUMMARY (Office Use Only)

PLAN REVIEW Date Initial INSPECTIONS

☐ No Plans Required

☒ All

6-4-98

MC

Foundation

Frame

Other

Joint Plan Review Required:

☐ Elec. ☐ Plumb. ☐ Fire ☐ Elevator

SUBCODE APPROVAL

☐ CO ☐ CCO ☐ CA

Date:

Approved by:

Dates (Month/Day)

Failure Failure Approval Initial

Foundation

Slab

Frame

Barrier-Free

Insulation

Finishes

Energy

Mechanical

TCO

Other

Final

Barrier-Free

B. BUILDING CHARACTERISTICS

Use Group Present *B-3*

Const. Class Present *3B*

No. of Stories *1*

Height of Structure *3*

Area — Largest Floor *600*

New Bldg. Area/All Floors *6170*

Volume of New Structure *N/A*

Total Land Area Disturbed *6000*

Est. Cost of Bldg. Work:

1. New Bldg. \$ *5,000*

2. Alteration \$ *5,000*

3. Total (1+2) \$ *10,000*

U.C.C. F110
(rev. 3/95)

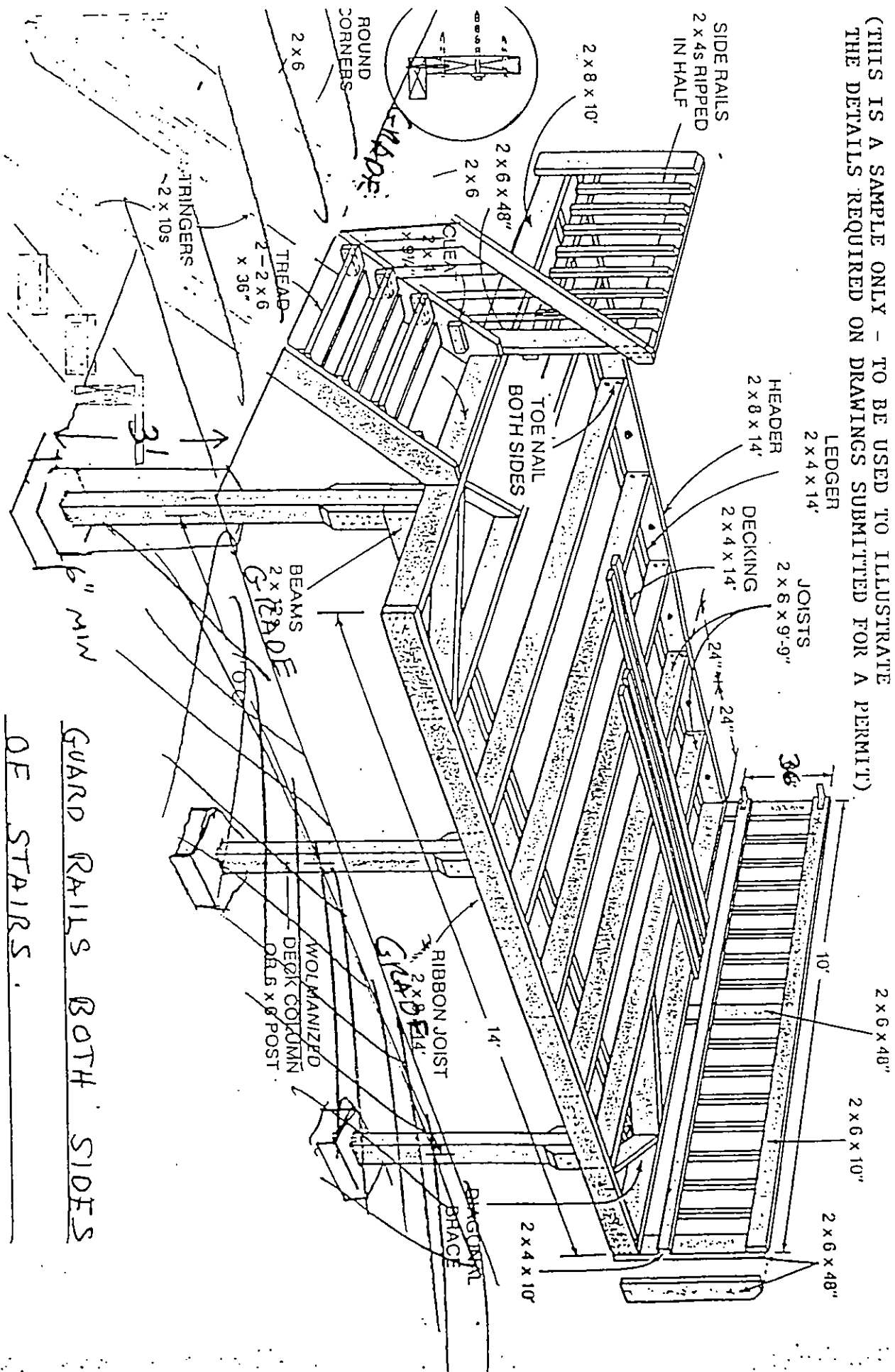
1. White = Inspector Copy
3. Pink = Office Copy

2. Canary = Office Copy
4. Gold = Applicant Copy

(10X14)

SAMPLE

(THIS IS A SAMPLE ONLY - TO BE USED TO ILLUSTRATE THE DETAILS REQUIRED ON DRAWINGS SUBMITTED FOR A PERMIT)



DECK/SHED ADVISORY

THE FOLLOWING INFORMATION MUST BE INCLUDED IN YOUR APPLICATION TO MEET ALL REVIEW PROCESS REQUIREMENTS.

Applications for deck or shed will not be accepted without Land Use, obtainable from the Land Use Department. (\$10.00 Fee)

DECK

✓ 1. Front, side and top view drawing. (They need not be to scale) THEY MUST BE CLEAR AND UNDERSTANDABLE

describe on plan view 2. Lumber sizes and spans for all materials used.

✓ 3. Location on plan of footings, size and depth. (Minimum 8"x8", by 36" deep.) *shown on TOP VIEW*

4. Method of attachment to house for attached deck ✓

describe on plan view 5. Height of deck above grade. If the deck is 30" or more above grade, guard rails are required. Rails must be 36" high on all sides including both sides of stairs and have 4" maximum opening between balusters (spindles) *Shown on Side View*

describe 6. Stairs shall show tread width and riser height and must be equal in riser height.

REQUIRED INSPECTIONS: A. FOOTINGS PRIOR TO POURING CONCRETE
B. FINAL - COMPLETED PROJECT

SHED

1. Description/Drawings - showing structure and materials being used. (BROCHURE OF SHED IF PRE-FAB KIT)

2. Method of Anchoring (footings, anchor bolt kit, etc.)

REQUIRED INSPECTION: A. FINAL ONLY (COMPLETED PROJECT)

Failure to include all the above items will prevent your application from being completed in the review process. You will be contacted and advised that your application has not been approved and you will have to come back, make all revisions, and be delayed from starting your project.

SECTION 313 RAMPS

313.1 Maximum slope. All egress ramps shall have a maximum slope of one unit vertical in eight units horizontal (12-percent slope).

313.2 Handrails required. Handrails shall be provided on at least one side of all ramps exceeding a slope of one unit vertical in 12 units horizontal (8-percent slope).

313.3 Landing required. A minimum 3-foot-by-3-foot (914 mm by 914 mm) landing shall be provided at the top and bottom of ramps where doors open onto the ramp and where the ramp changes direction.

SECTION 314 STAIRWAYS

314.1 Width. Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. The minimum width at and below the handrail height shall not be less than 32 inches (813 mm) where a handrail is installed on one side and 28 inches (711 mm) where handrails are provided on both sides.

314.2 Treads and risers. The maximum riser height shall be $7\frac{3}{4}$ inches (197 mm) and the minimum tread depth shall be 10 inches (254 mm). The riser height shall be measured vertically between leading edges of the adjacent treads. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The walking surface of treads and landings of a stairway shall be sloped no steeper than one unit vertical in 48 units horizontal (2-percent slope). The greatest riser height within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch (9.5 mm). The greatest tread depth within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch (9.5 mm).

314.2.1 Profile. The radius of curvature at the leading edge of the tread shall be no greater than $\frac{9}{16}$ inch (14.3 mm). A nosing not less than $\frac{3}{4}$ inch (19 mm) but not more than $1\frac{1}{4}$ inches (32 mm) shall be provided on stairways with solid risers. Beveling of nosing shall not exceed $\frac{1}{2}$ inch (12.7 mm). Risers shall be vertical or sloped from the underside of the leading edge of the tread above at an angle not more than 30 degrees from the vertical.

Exception: A nosing is not required where the tread depth is a minimum of 11 inches (279 mm).

314.3 Headroom. The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2032 mm) measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

314.4 Winders. Winders are permitted, provided that the width of the tread at a point not more than 12 inches (305 mm) from the side where the treads are narrower is not less than 10 inches (254 mm) and the minimum width of any tread is not less than 6 inches (153 mm). The continuous handrail required by Section 314.1 shall be located on the side where the tread is narrower.

314.5 Spiral stairs. Spiral stairways are permitted, provided the minimum width shall be 26 inches (660 mm) with each tread having a $7\frac{1}{2}$ -inch (190 mm) minimum tread width at 12 inches (305 mm) from the narrow edge. All treads shall be identical, and the rise shall be no more than $9\frac{1}{2}$ inches (241 mm). A minimum headroom of 6 feet 6 inches (1982 mm) shall be provided.

314.6 Circular stairways. Circular stairways shall have a minimum tread depth and a maximum riser height in accordance with Section 314.2 and the smaller radius shall not be less than twice the width of the stairway. The minimum tread depth of 10 inches (254 mm) shall be measured from the narrower end.

314.7 Illumination. All stairs shall be provided with illumination in accordance with Section 303.4.

SECTION 315 HANDRAILS AND GUARDRAILS

315.1 Handrails. Handrails having minimum and maximum heights of 30 inches and 38 inches (762 mm and 965 mm), respectively, measured vertically from the nosing of the treads, shall be provided on at least one side of stairways of three or more risers. Spiral stairways shall have the required handrail located on the outside radius. All required handrails shall be continuous the full length of the stairs. Ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than $1\frac{1}{2}$ inches (38 mm) between the wall and the handrail.

Exceptions:

1. Handrails shall be permitted to be interrupted by a newel post at a turn.
2. The use of a volute, turnout or starting easing shall be allowed over the lowest tread.

315.2 Handrail grip size. Handrails shall have either a circular cross section with a diameter of $1\frac{1}{4}$ inches (32 mm) to 2 inches (51 mm), or a noncircular cross section with a perimeter dimension of at least 4 inches (102 mm) but not more than $6\frac{1}{4}$ inches (159 mm) and a largest cross-section dimension not exceeding $2\frac{1}{4}$ inches (28.6 mm). Edges shall have a minimum radius of $\frac{1}{8}$ inch (3.2 mm).

315.3 Guardrail details. Porches, balconies or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guardrails not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guardrails not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

315.4 Guardrail opening limitations. Required guardrails on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of an object 4 inches (102 mm) or more in diameter.

Exception: The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway may be of such a size that a sphere 6 inches (153 mm) cannot pass through.

Decking Material List

(Pan Railings)

Qty	Size	Description	Length
1	1 X 2	TRIMMER	1' 5"
2	1 X 2	TRIMMER	2' 7"
4	1 X 2	TRIMMER	3' 2"
3	1 X 2	TRIMMER	3' 5"
3	1 X 2	TRIMMER	3' 7"
67	1 X 4	BALUSTER	2' 7"
1	2 X 2	TRIMMER	1' 5"
2	2 X 2	TRIMMER	2' 7"
4	2 X 2	TRIMMER	3' 2"
3	2 X 2	TRIMMER	3' 5"
3	2 X 2	TRIMMER	3' 7"
1	2 X 4	BOTTOM RAIL	1' 5"
2	2 X 4	BOTTOM RAIL	2' 7"
4	2 X 4	BOTTOM RAIL	3' 2"
3	2 X 4	BOTTOM RAIL	3' 5"
3	2 X 4	BOTTOM RAIL	3' 7"
1	2 X 6	RAIL CAP	2' 0"
2	2 X 6	RAIL CAP	3' 10"
2	2 X 6	RAIL CAP	4' 0"
1	2 X 6	RAIL CAP	6' 1"
1	2 X 6	RAIL CAP	11' 6"
1	2 X 6	RAIL CAP	12' 1"
21	4 X 4	POST	3' 7"

BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

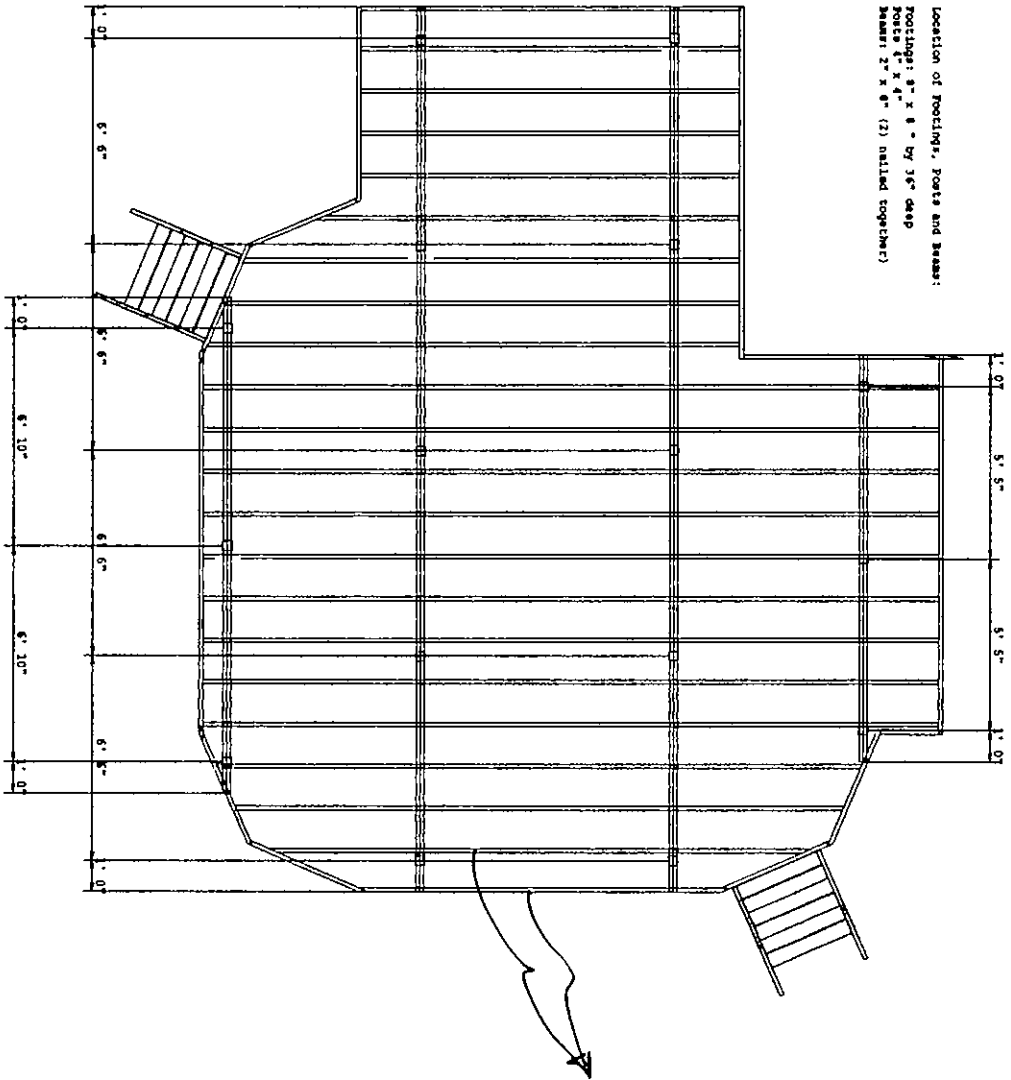
Pipe Lines

Lead Abatement

Fiberglassing

Specifications

Location of Footings, Posts and Beams:
Footings: 8" x 8" by 16" deep
Posts: 4" x 4"
Beams: 2" x 8" (2) nailed together



BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

Pipe Lines

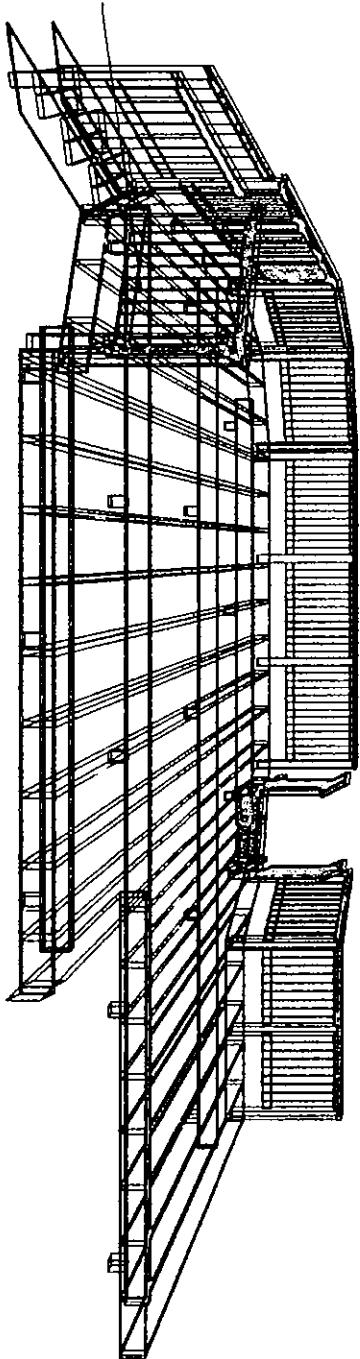
Lead Abatement

Fiberglassing

Specifications

3D - VIEW

(deck not shown)



BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

Pipe Lines

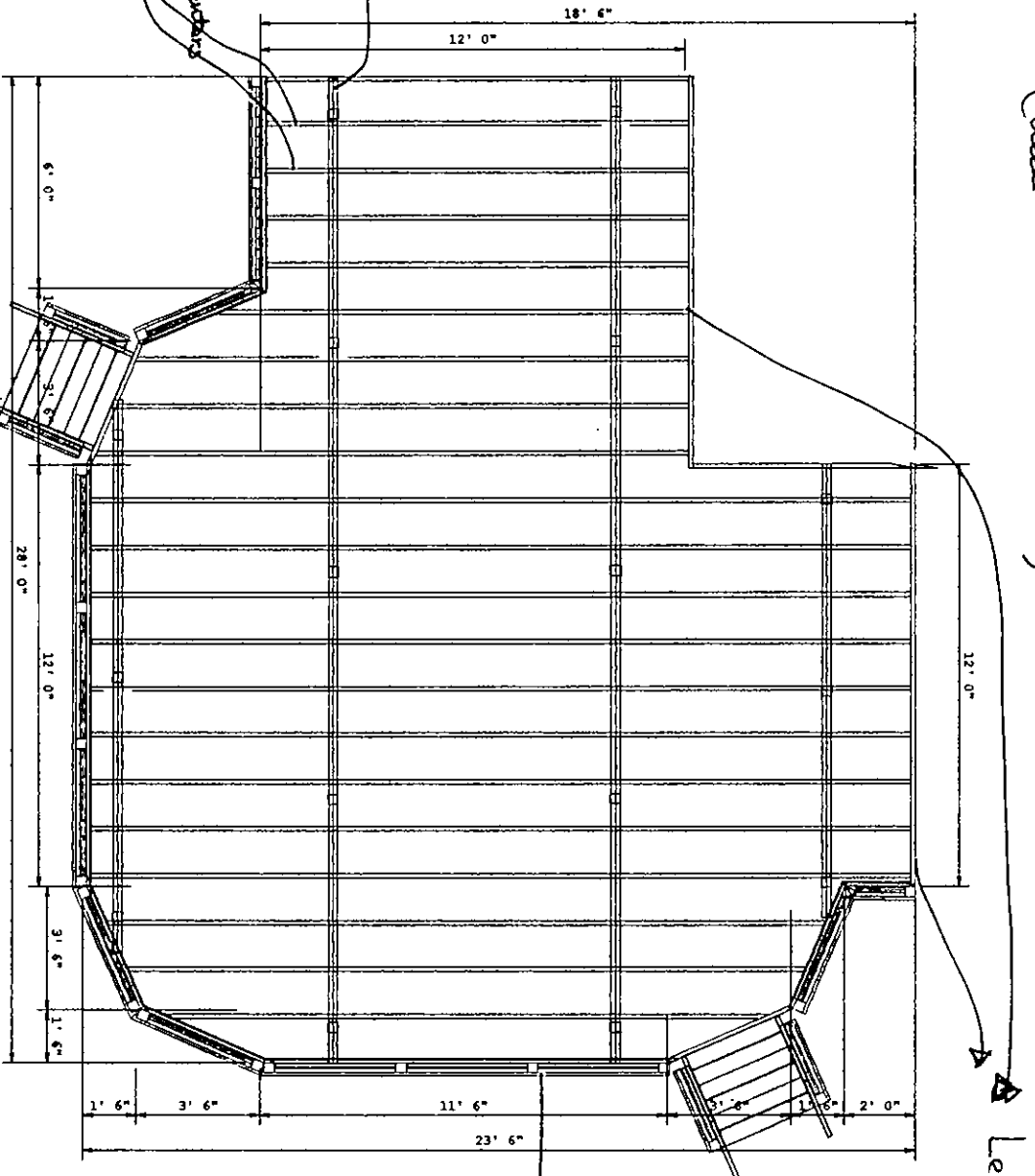
Lead Abatement

Fiberglassing

Specifications

TOP VIEW (decking, ~~hand-drawn~~)

(deck boards not shown)



Stairs:
tread width - 36"
tread depth - 10"
riser height - 7"

Ledger Board: Attached with Lag Bolts
4" lags spaced every 8"
Ledger Board: 2" x 8"
12' long

Railings 36" high
Balusters have 3" space opening between

Revised 9/10/03
USEL
Peters
Muskies

BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

Pipe Lines

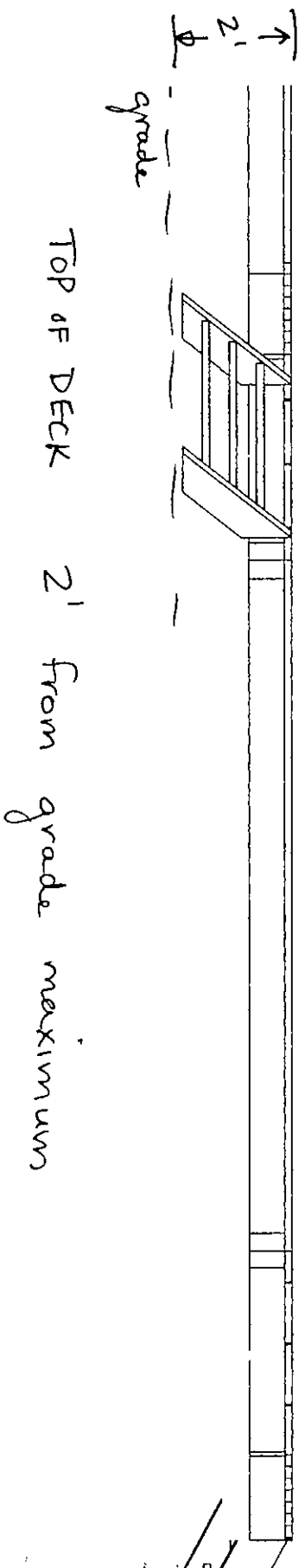
Lead Abatement

Fiberglassing

Specifications

Side View

(Railings not shown)



BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

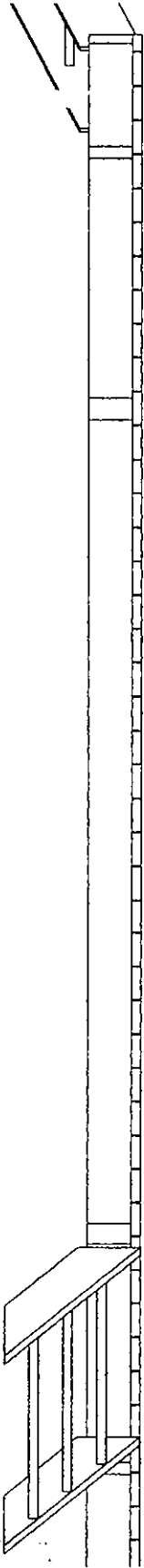
Pipe Lines

Lead Abatement

Fiberglassing

Specifications

FRONT VIEW



BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

Pipe Lines

Lead Abatement

Fiberglassing

Specifications

Decking Material List

Deck Structure

Qty	Size	Description	Length
12	2 X 6	TREAD	2' 9"
1	2 X 8	JOIST	8"
1	2 X 8	JOIST	1' 10"
2	2 X 8	JOIST	3' 9"
2	2 X 8	JOIST	4' 1"
2	2 X 8	JOIST	4' 3"
1	2 X 8	JOIST	6' 2"
1	2 X 8	JOIST	6' 3"
1	2 X 8	JOIST	11' 1"
1	2 X 8	JOIST	11' 9"
5	2 X 8	JOIST	11' 11"
1	2 X 8	JOIST	12' 0"
1	2 X 8	JOIST	12' 7"
1	2 X 8	JOIST	13' 1"
1	2 X 8	JOIST	15' 7"
1	2 X 8	JOIST	16' 2"
1	2 X 8	JOIST	16' 8"
1	2 X 8	JOIST	17' 8"
1	2 X 8	JOIST	19' 3"
1	2 X 8	JOIST	20' 5"
9	2 X 8	JOIST	23' 2"
2	2 X 10	BEAM	12' 10"
2	2 X 10	BEAM	15' 8"
2	2 X 10	BEAM	27' 11"
2	2 X 10	BEAM	28' 0"
4	2 X 10	STRINGER	4' 2"
24	4 X 4	POST	3"

Qty Size
1" x 6"

Deck Boards ~~are~~ Fit to size

BARR-None Coating Applicators

281 Highway 79
Morganville, New Jersey 07751
Phone (908)970-0122
Fax (908)970-0248

Sandblasting

Epoxies

Power Washing

Polyurethanes

Tank Linings

Structural Steel

Tank Painting

Pipe Lines

Lead Abatement

Fiberglassing

Specifications

TOWNSHIP OF HOWELL
LAND USE CERTIFICATE
SHORT FORM

The undersigned applicant hereby applies for a Land Use Certificate for the following, to be issued on the basis of the representations contained herein, all which applicant swears to be true:

PROPERTY: BLOCK B65 LOT(S) 16.05 STREET POPPY LANE

APPLICANT: NAME STEPHEN + KUNA BARR

ADDRESS 8 POPPY LANE

PHONE [REDACTED]

PROPOSED USE: ☐ Fence ☐ Detached garage ☐ Shed
ZONE: ☐ Pool ☒ Deck ☐ Patio
☐ Tennis Court ☐ Antenna/Antenna Tower
☐ Farm structure: Specify _____
☐ Other: Specify _____

LOCATION OF STRUCTURE: Setback from right of way _____ feet (and _____ feet if a corner lot)
Side yard clearances 18 feet and 410± feet
Rear yard clearances 53 feet

DESCRIPTION OF STRUCTURE: Height 3'-6" feet to highest point
Length 24 feet Width 24 feet

Type of fence: _____ (post & rail, chain-link, etc.)

ATTACH A COPY OF SURVEY OR SKETCH OF PROPOSAL

FOR OFFICE USE: CHECK
FEE: ☒ \$10.00 residential
FEE: ☐ \$20.00 non-residential

[Signature]
SIGNATURE OF APPLICANT

5/11/98
DATE

Based on the above application and the statements which are made part thereof, the proposed usage is/is not found to be in accordance with the Land Use Ordinance of the Township of Howell and is hereby approved/disapproved.

5/11/98
Date

[Signature]
HOWELL TOWNSHIP LAND USE OFFICER

COMMENTS/EXPLANATIONS: REC # 0458

REFERRALS: ☒ To Building Dept. ☐ To Zoning Bd. ☐ To Engineering
☐ To Planning Bd. ☐ To Bd. of Health ☐ To _____
☐ To Fire Prevention ☐ To M.U.A. ☐ To _____

TOWNSHIP OF HOWELL CONSTRUCTION CODE DEPT.

PLAN REVIEW CHECK LIST

NAME BarrBLOCK 65 LOT 16.05ADDRESS 8 Popal LaneZONING RELEASE DATE SUBMITTED 5/27/98

HPh 942-7471

DEVELOPMENT

	REVIEWED BY:	APPROVED	COMMENTS
RECEIVED MAY 27 1998 BUILDING	<u>6-4-98</u>	<u>[Signature]</u>	
PLUMBING			
FIRE			
ELECTRICAL			
MECHANICAL			
SEPTIC			<u>7/17 2/1045AM machine</u>
OTHER <u>-</u>			<u>6/10 850AM</u>

SURVEY OF LOT 16.05 BLOCK 65

AS SHOWN ON "FINAL MAP, THE WOODS AT HOWELL,
TWIN OAKS DEVELOPMENT CO. INC., SECTION I
TOWNSHIP OF HOWELL, MONMOUTH COUNTY
NEW JERSEY", DATED SEPT. 20, 1995
REVISED THRU JAN. 7, 1997
FILED MARCH 26, 1997
CASE NO. 262-17

LOT 14.04

LOT 14.03

LOT 14.02

S 66°10'00" W 102.60'

**LOT 16.05
BLOCK 65**
10,000 S.F.

BUILDING SETBACK LINE (TYPICAL)

24'x24'
DECK2 STORY
FRAME DWELLING
HSE #8LOT 16.32
OPEN SPACE

LOT 16.04

P.O.B. 300.50' FROM THE
EASTERLY SIDELINE OF
PINEWOOD ROAD AS EXTENDED.

POPPY
LANE

LOT 2
BLOCK 65.04

THIS SURVEY IS HEREBY CERTIFIED TO:

STEPHEN L. BARR AND KYNA BARR, H/W
FT MORTGAGE COMPANIES, D/B/A MNC MORTGAGE
and/or its successors or assigns, as their interest may appear
COASTAL TITLE AGENCY, INC.,
ARTHUR GOLDZWEIG, ESQ.

THIS CERTIFICATION IS MADE ONLY TO ABOVE NAMED PARTIES FOR
PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY
ABOVE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED
BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING,
BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY,
OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER
DIRECTLY OR INDIRECTLY.

CORNER MARKERS ARE OMITTED PER A CONTRACTUAL AGREEMENT.

DATE	REVISIONS	JOHN P. CHESTER REGISTERED ARCHITECT PROFESSIONAL ENGINEER PROFESSIONAL PLANNER	N.J. LIC. NO. C-8283 N.J. LIC. NO. 18677 N.J. LIC. NO. 908
		FRANK J. LISOWSKY REGISTERED ARCHITECT REGISTERED ARCHITECT PROFESSIONAL PLANNER	N.J. LIC. NO. C-7048 N.J. LIC. NO. 12051 N.J. LIC. NO. 1996
		GREGORY PLOUSSAS PROFESSIONAL ENGINEER PROFESSIONAL PLANNER	N.J. LIC. NO. 25918 N.J. LIC. NO. 2130
		<i>Michael C. Nolan</i> MICHAEL C. NOLAN N.J.P.L.S. No. 34488	

SURVEY OF LOT 16.05 BLOCK 65 TOWNSHIP OF HOWELL MONMOUTH COUNTY NEW JERSEY		FILE NO. 96031
		DATE: 12-23-97
		SCALE: 1"=30'
<i>The Chester Ploussas Lisowsky Partnership</i>		DRAWN BY: JF/CW
PLANNING • ARCHITECTURE • ENGINEERING • SURVEYING		CHECKED BY: MCN
100 METRO PARK SOUTH, LAURENCE HARBOR, NEW JERSEY 08878 (908)566-0297		DRAWING NO. 65-1605
500 INTERNATIONAL DRIVE, MOUNT OLIVE, NEW JERSEY 07028 (201)991-0008		SHEET NO. 1 OF 1