

**HOWELL,
TOWNSHIP OF
(LAND USE DEPT.)**



LDS HW-LU 10701314

PROPERTY

BLOCK 65

LOTS 16.05

2A-08-00552
2P-08-00315

TOWNSHIP OF HOWELL
LAND USE CERTIFICATE
SHORT FORM

The undersigned applicant hereby applies for a Land Use Certificate for the following, to be issued on the basis of the representations contained herein, all which applicant swears to be true:

PROPERTY: BLOCK 65 LOT(S) 16.05 STREET 8peppy Lane
APPLICANT: NAME Pooltown / Barr
ADDRESS 5500 R 9 S Howell
PHONE [REDACTED]

DESCRIPTION OF PROPOSED ADDITION: Describe (Type)

install 16 x 34 inground pool & proposed 4'
Aluminum Fence & Retaining wall

HEIGHT 4 FEET TO HIGHEST POINT LENGTH 24' WIDTH 1-6

LOCATION OF STRUCTURE: Setback from right of way feet (and feet
If corner lot) Side Yard Clearances 3' feet and 15' feet Rear Yard 13' feet

IF FENCE TYPE OF FENCE: (Chain link, stockade etc.) Aluminum

Height of fence 4

APPLICANT MUST ATTACH A COPY OF SURVEY OR SKETCH OF THE PROPOSAL REFLECTING THE LOCATION AND DIMENSION OF THE PROPOSED ADDITION IF STRUCTURE, OR IF FENCE THE LOCATION OF THE FENCING MUST BE REFLECTED ON THE SURVEY OR SKETCH OF THE PROPERTY.

Signature of Applicant: [Signature] Date: 3/18/08

Application Fee: \$10.00 Residential

\$20.00 Non-Residential

R-2-Zone

Based on the above application and the statements, which are made part thereof, the proposed usage is/is not found to be in accordance with the Land Use Ordinance of the Township of Howell and is hereby approved/disapproved.

COMMENTS/EXPLANATIONS: To add a 16' x 34' In-ground
with retaining wall, heater & filter as per plan
submitted

Check # 4/24/08 Ref # 20106

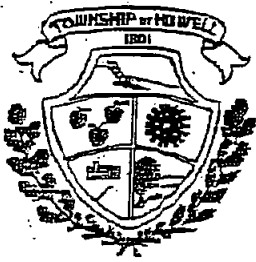
Date: 3/25/08

[Signature]
HOWELL TOWNSHIP LAND USE OFFICER

Referrals: To Bldg. Dept. ☒ To Engineering Dept. ☒ Other Dept. ☐

The Land Use Certificate has been approved to comply with the attached plan. Any changes that require relocation of the in ground swimming pool, pool equipment, fencing or installation of additional concrete, pavers or decking must be approved by Land Use Officer prior to completion of these changes.

Check 4/24/08



TOWNSHIP of HOWELL

251 Preventorium Road
Post Office Box 580
Howell, New Jersey 07731-0580

(732) 938-4500
FAX (732) 938-7124
LAND USE/CODE OFFICE
e-mail: www.twp.howell.n.j.us

LAND USE OFFICE

DATE:

RE: SWIMMING POOL HEATER

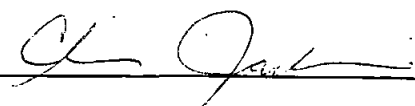
PROPERTY: BLOCK 65 LOT 16.35

TO: BUILDING DEPARTMENT

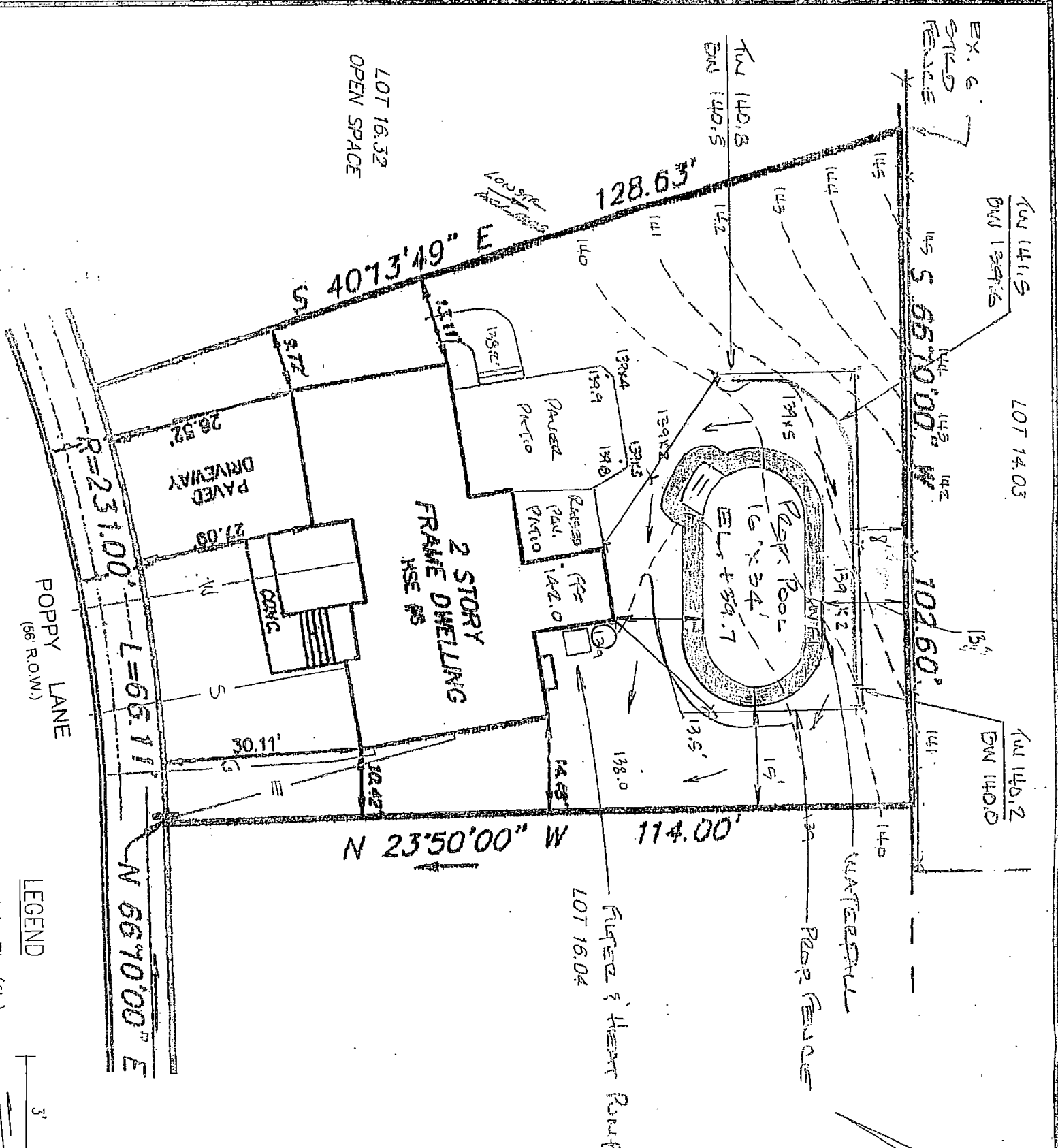
The attached Survey was delivered to the Land Use Office for review and approval in connection with an addition of a pool heater on the above property. I have reviewed the Survey and note that the location of the heater/and or pool equipment will be located at least ten (10') feet from the side and rear property lines in compliance with the Subsection 14-7.5 Swimming Pool Ordinance. A copy of this Ordinance was delivered to the applicant/homeowner for review and information.

In the event that the applicant/homeowner fails to install the heater to comply with the set back requirement of ten (10') feet from any property line in compliance with the Swimming Pool Ordinance, it will be necessary that an application seeking a variance be submitted to the Howell Township Board of Adjustment prior to the issuance of a Certificate of Occupancy for use of the heater or equipment.

A Building Permit may be obtained to install the heater in accordance with the plan presented to the Land Use Office.

BY: 

Cc: Engineering Department



Pool Setbacks To: Concrete

Rear: 10'
Side: 10'
House: 5'
Filter: 10'

LEGEND
96x6 Exist. E. (ft.)
96.2 Prop. E. (ft.)
-- Exist. Contour
-- Prop. Contour
EQ. Equipment
SIDEWALK DETAIL
NTS.

No.	Date	Description

ADDITIONAL NOTES:
Existing fence locations are approximate.

- NOTES:
- Grading Plan based on Survey provided by Property Owner and elevations by Richard Spafford, NJPE No. 43642 on March 6, 2008.
 - Contractor to verify location of all utilities prior to the start of construction. Utilities shown are per visual observation of physical features and/or existing markouts and location is approximate. The undersigned professionals are not responsible for the presence of underground utilities or structures if they are not visible or otherwise disclosed by any of the above data. Pool contractor shall utilize the services of CALL DIG (1-800-272-1000) to accurately locate utilities.
 - Pool to be secured by minimum 4' fence with self-latching and closing gates by property owner. Fence and all other construction shall comply with the 2006 International Building Code and the 2006 International Residential Code, New Jersey Edition (IRC 2006), including, ANSI/NSPI-5 Standards for Residential In-Ground Swimming Pools. When fence ties to dwelling, door alarms must be installed.
 - All electrical equipment must be located at least 10 feet from the swimming pool.
 - The contractor shall protect all existing structures from damage and/or failure by acceptable methods, as may be required by OSHA or other regulatory agencies.
 - The pool contractor and property owner shall verify the pool layout and all dimensions prior to construction.
 - Property owner responsible for any necessary environmental permits.
 - By use of this Grading Plan for the purpose of obtaining a Permit to Construct, the Property Owner and Pool Company agree to of the proposed pool location, concrete, operating equipment and grading associated with the proposed swimming pool.
 - Pool concrete to slope away from coping at the rate of 1/4" per horizontal foot. Ground elevation to be 0.1 foot lower than outermost pool concrete elevation.
 - Min. 1%, max. 3:1 grading provided in area that is to be disturbed by pool construction, 0.5 % (typ.) grading on concrete.
 - Property Owner: Barr
8 Poppy Lane

Block 65, Lot 16.05
Howell Township
Monmouth County, NJ
Pool
Grading Plan
DATE: 03/12/08
SCALE: 1" = 20'

Richard Spafford
PROFESSIONAL ENGINEER

210 CEDAR LAKE POINT
FORKED RIVER, NJ 08731
(609) 242-6857 FAX (609) 242-6857

RICHARD SPAFFORD
N.J. PROFESSIONAL ENGINEER #43642
Authorization No. 240A28139300

JOB No.: N/A
SHEET 1 OF 1

TOWNSHIP OF HOWELL
LAND USE CERTIFICATE
SHORT FORM

19995643

The undersigned applicant hereby applies for a Land Use Certificate for the following, to be issued on the basis of the representations contained herein, all which applicant swears to be true:

PROPERTY: BLOCK ✓ 65 LOT(S) ✓ 1605 STREET ✓ 8 Poppy Lane
APPLICANT: NAME ✓ Stephen & Myra Barr
ADDRESS ✓ 8 Poppy Lane, Howell NJ 07731
PHONE ✓ [REDACTED]

PROPOSED USE: Fence Detached garage Shed
ZONE: Pool Deck Patio
 Tennis Court Antenna/Antenna Tower
 Farm structure: Specify
✓ Other: Specify Hot Tub SPA

LOCATION OF STRUCTURE: Setback from right of way feet (and feet if a corner lot)
Side yard clearances ✓ 23' feet and feet
Rear yard clearances ✓ 69' feet

DESCRIPTION OF STRUCTURE: Height ✓ 44' feet to highest point
Length ✓ 8' feet Width ✓ 8' feet
Type of fence: (post & rail, chain-link, etc.)

ATTACH A COPY OF SURVEY OR SKETCH OF PROPOSAL ✓

FOR OFFICE USE: Look
FEE: \$10.00 residential
FEE: \$20.00 non-residential

Stephen Barr 6/13/05
SIGNATURE OF APPLICANT DATE

Based on the above application and the statements which are made part thereof, the proposed usage is/is not found to be in accordance with the Land Use Ordinance of the Township of Howell and is hereby approved/disapproved.

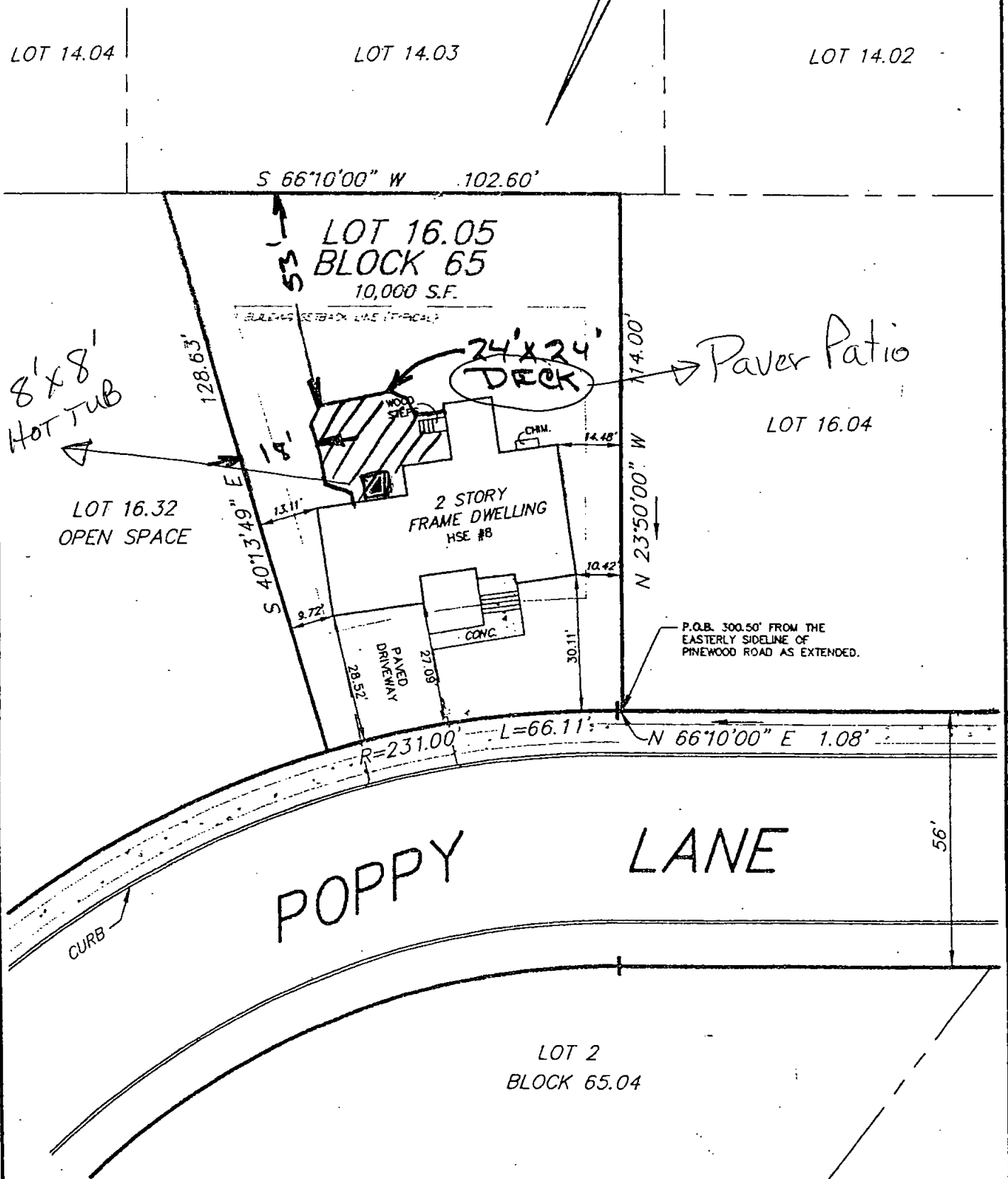
Date 6/24/05
Betty Lou Lepton
HOWELL TOWNSHIP LAND USE OFFICER
COMMENTS/EXPLANATIONS: To add a 8' x 8' x 44" hot tub
Submitted.

Receipt # 14140

REFERRALS: ✓ To Building Dept. To Zoning Bd. To Engineering
 To Planning Bd. To Bd. of Health To
 To Fire Prevention To M.U.A.

SURVEY OF LOT 16.05 BLOCK 65

AS SHOWN ON "FINAL MAP, THE WOODS AT HOWELL,
TWIN OAKS DEVELOPMENT CO. INC., SECTION I
TOWNSHIP OF HOWELL, MONMOUTH COUNTY
NEW JERSEY", DATED SEPT. 20, 1995
REVISED THRU JAN. 7, 1997
FILED MARCH 26, 1997
CASE NO. 262-17



THIS SURVEY IS HEREBY CERTIFIED TO:
STEPHEN L. BARR AND KYNA BARR, H/W
FT MORTGAGE COMPANIES, D/B/A MNC MORTGAGE
and/or its successors or assigns, as their interest may appear
COASTAL TITLE AGENCY, INC.,
ARTHUR GOLDZWEIG, ESQ.

THIS CERTIFICATION IS MADE ONLY TO ABOVE NAMED PARTIES FOR
PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY
ABOVE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED
BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING,
BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY,
OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER
DIRECTLY OR INDIRECTLY.

CORNER MARKERS ARE OMITTED PER A CONTRACTUAL AGREEMENT.

DATE	REVISIONS	JOHN P. CHESTER REGISTERED ARCHITECT PROFESSIONAL ENGINEER PROFESSIONAL PLANNER	N.J. LIC. NO. C-5363 N.J. LIC. NO. 18677 N.J. LIC. NO. 908
		FRANK J. LISOWSKY REGISTERED ARCHITECT REGISTERED ARCHITECT PROFESSIONAL PLANNER	N.J. LIC. NO. C-7048 N.J. LIC. NO. 13031 N.J. LIC. NO. 1809
		GREGORY PLOUSSAS PROFESSIONAL ENGINEER PROFESSIONAL PLANNER	N.J. LIC. NO. 25918 N.J. LIC. NO. 2130
		MICHAEL C. NOLAN N.J.P.L.S. No. 34488	

SURVEY OF LOT 16.05 BLOCK 65 TOWNSHIP OF HOWELL MONMOUTH COUNTY NEW JERSEY	FILE NO. 96031 DATE 12-23-97 SCALE 1"=30'
<i>The Chester, Ploussas, Lisowsky Partnership</i>	DRAWN BY JF/CM CHECKED BY MCN
PLANNING • ARCHITECTURE • ENGINEERING • SURVEYING 100 METRO PARK SOUTH, LAURENCE HARBOR, NEW JERSEY 08878 (908)566-0297 500 INTERNATIONAL DRIVE, MOUNT OLIVE, NEW JERSEY 07828 (201)991-0008	DRAWING NO. 65-1605 SHEET NO. 1 OF 1

TOWNSHIP OF HOWELL
LAND USE CERTIFICATE
SHORT FORM

The undersigned applicant hereby applies for a Land Use Certificate for the following, to be issued on the basis of the representations contained herein, all which applicant swears to be true:

PROPERTY: BLOCK 865 LOT(S) 16.05 STREET POPPY LANE

APPLICANT: NAME STEPHEN + KUNA BARR

ADDRESS 8 POPPY LANE

PHONE [REDACTED]

PROPOSED USE: ☐ Fence ☐ Detached garage ☐ Shed
ZONE: ☐ Pool ☒ Deck ☐ Patio
☐ Tennis Court ☐ Antenna/Antenna Tower
☐ Farm structure: Specify _____
☐ Other: Specify _____

LOCATION OF STRUCTURE: Setback from right of way _____ feet (and _____ feet if a corner lot)
Side yard clearances 18 feet and 410± feet
Rear yard clearances 53 feet

DESCRIPTION OF STRUCTURE: Height 3'-6" feet to highest point
Length 24 feet Width 24 feet

Type of fence: _____ (post & rail, chain-link, etc.)

ATTACH A COPY OF SURVEY OR SKETCH OF PROPOSAL

FOR OFFICE USE: CHECK
FEE: ☒ \$10.00 residential
FEE: ☐ \$20.00 non-residential

[Signature]
SIGNATURE OF APPLICANT

5/11/98
DATE

Based on the above application and the statements which are made part thereof, the proposed usage is/is not found to be in accordance with the Land Use Ordinance of the Township of Howell and is hereby approved/disapproved.

Date 5/11/98

[Signature]
HOWELL TOWNSHIP LAND USE OFFICER

COMMENTS/EXPLANATIONS: REC.# 0458

REFERRALS: ☒ To Building Dept. ☐ To Zoning Bd. ☐ To Engineering
☐ To Planning Bd. ☐ To Bd. of Health ☐ To _____
☐ To Fire Prevention ☐ To M.U.A. ☐ To _____

SURVEY OF LOT 16.05 BLOCK 65

AS SHOWN ON "FINAL MAP, THE WOODS AT HOWELL,
TWIN OAKS DEVELOPMENT CO. INC., SECTION I
TOWNSHIP OF HOWELL, MONMOUTH COUNTY
NEW JERSEY", DATED SEPT. 20, 1995
REVISED THRU JAN. 7, 1997
FILED MARCH 26, 1997
CASE NO. 262-17

LOT 14.04

LOT 14.03

LOT 14.02

S 66°10'00" W 102.60'

**LOT 16.05
BLOCK 65**
10,000 S.F.

BUREAU SETBACK LINE (TYPICAL)

24'x24'
DECK2 STORY
FRAME DWELLING
HSE #8LOT 16.32
OPEN SPACE

LOT 16.04

P.O.B. 300.50' FROM THE
EASTERLY SIDELINE OF
PINWOOD ROAD AS EXTENDED.

POPPY
LANE

LOT 2
BLOCK 65.04

THIS SURVEY IS HEREBY CERTIFIED TO:
STEPHEN L. BARR AND KYNA BARR, H/W
FT MORTGAGE COMPANIES, D/B/A MNC MORTGAGE
and/or its successors or assigns, as their interest may appear
COASTAL TITLE AGENCY, INC.,
ARTHUR GOLDZWEIG, ESQ.

THIS CERTIFICATION IS MADE ONLY TO ABOVE NAMED PARTIES FOR
PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY
ABOVE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED
BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING,
BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY,
OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER
DIRECTLY OR INDIRECTLY.

CORNER MARKERS ARE OMITTED PER A CONTRACTUAL AGREEMENT.

DATE	REVISIONS	JOHN P. CHESTER	N.J. LIC. NO. C-6263
		REGISTERED ARCHITECT	N.J. LIC. NO. 18677
		PROFESSIONAL ENGINEER	N.J. LIC. NO. 106
		FRANK J. LISOWSKY	N.J. LIC. NO. C-7044
		REGISTERED ARCHITECT	N.J. LIC. NO. 13031
		REGISTERED ARCHITECT	N.J. LIC. NO. 1808
		PROFESSIONAL PLANNER	
		GREGORY PLOUSSAS	N.J. LIC. NO. 25616
		PROFESSIONAL ENGINEER	N.J. LIC. NO. 2135
		PROFESSIONAL PLANNER	
		<i>Michael C. Nolan</i>	
		MICHAEL C. NOLAN	
		N.J.P.L.S. No. 34488	

**SURVEY OF
LOT 16.05 BLOCK 65**
TOWNSHIP OF HOWELL
MONMOUTH COUNTY NEW JERSEY

The Charles Ploussas-Lisowsky Partnership
PLANNING • ARCHITECTURE • ENGINEERING • SURVEYING
100 METRO PARK SOUTH, LAURENCE HARBOR, NEW JERSEY 08878 (908)566-0297
500 INTERNATIONAL DRIVE, MOUNT OLIVE, NEW JERSEY 07828 (201)991-0008

FILE NO.	96031
DATE:	12-23-97
SCALE:	1"=30'
DRAWN BY:	JF/CM
CHECKED BY:	MCN
DRAWING NO.	65-1605
SHEET NO.	1 OF 1