

BOROUGH OF LITTLE SILVER
480 Prospect Avenue
Little Silver, New Jersey
(732) 842-0261

ISSUED TO:

Anthony and Catherine Filippelli
59 Salem Lane
Little Silver, NJ 07739

Phone Number:

TYPE OF DEVELOPMENT:

1) Residential X

2) Non-residential

LOCATION OF PROPOSED DEVELOPMENT:

Street: 59 Salem Lane

City & State: Little Silver, New Jersey

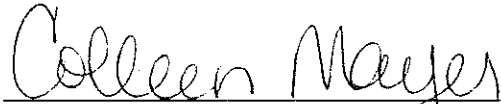
Block No. 28 Lot No. 115

Development Application No. 37-20

Approved by: Planning Board Date: March 5, 2020

Development Permit issued on: April 8, 2020

By:



Colleen Mayer,
Administrative Clerk/ Planning Board Secretary

PLEASE READ THE FOLLOWING CAREFULLY

- Any deviation from the approved plans must be submitted, reviewed and approved by Planning Board. Approved plans prepared by Michael Savarese Associates Architects with last revision date of January 29, 2020
- Development permit is valid for one year from its issue date.
- See Resolution for all conditions.
- Call Leon S. Avakian, Inc. at 732-922-9229 to schedule a pre-construction meeting prior to start of construction.
- Permits must be obtained from Construction Office of the Borough of Rumson at 80 East River Road Rumson, New Jersey (732)842-3022
- Final as built survey is required when construction is complete and Final inspection by Borough Engineer is required prior to issuance of any Construction Department final approvals.
- Escrow for inspections (\$500) posted on December 10, 2019 during zoning review
- Any proposed porta-potty is required to be located in an inconspicuous location
- Contractor's advertising signs are prohibited on residential properties
- Taxes current as of April 8, 2020

RESOLUTION OF FINDINGS AND CONCLUSIONS
PLANNING BOARD
BOROUGH OF LITTLE SILVER

RESOLUTION

Anthony and Catherine Filippelli
Block 28, Lot 115
59 Salem Lane

WHEREAS, Anthony and Catherine Filippelli have applied to the Planning Board of the Borough of Little Silver for permission to construct a second story addition over an existing garage, one story rear addition, removal of existing rear deck and add rear porch on the property at 59 Salem Lane, Block 28, Lot 115 as shown on the Official Tax Map of the Borough of Little Silver; and

WHEREAS, the applicant has provided notice to all property owners within two hundred feet and has caused notice to be published regarding said application in accordance with *N.J.S.A. 40:55D-1* et seq., this Board gaining jurisdiction thereunder; and

WHEREAS, a public hearing was held in the within matter at a regularly scheduled meeting of the Planning Board, at which time all persons having an interest in said application were heard;

NOW THEREFORE BE IT RESOLVED by the Planning Board of the Borough of Little Silver that the following findings of facts and conclusions are made:

1. The applicant proposes to construct a second story addition over an existing garage, one story rear addition, removal of existing rear deck and add rear porch .
2. The property is located in an R-3 Zone and the use is permitted.
3. The property violates the minimum required lot area of 20,000 square feet where 6,343 square feet exists; the minimum required improved road frontage is 100 feet where 59.65

feet is existing; the minimum required front yard setback is 30 feet where 21.83 feet is existing; the minimum required rear yard setback for a principal structure is 50 feet where 34 feet is existing and 36.9 feet is proposed; the minimum required side yard setback for a principal structure is 15 feet on each side where 6.6 feet and 9.6 feet is existing and 6.6 feet and 8.75 feet is proposed;

4. The maximum allowable lot coverage is 18% where is 16.4% existing and 21.1% is proposed. The maximum allowable floor area ratio is .18 (1142 sq. ft.) where .246 (1557 sq. ft.) is existing and .299 (1896 sq. ft.) is proposed.
5. No adjoining property is available to make the lot conforming in area or provide the necessary square footage and therefore a hardship exists as to the lot size.
6. The lots on Salem are generally undersized and the homes require in many instances upgrades. The subject premises should be improved to meet modern living requirements and special reasons exist to permit an increase in the FAR since the proposed square footage increases are modest.
7. The Board determines that the application for a variances can be granted and the granting of same will not substantially impair the purpose and intent of the Zone Plan and Zoning Ordinance of the Borough nor harm the public good. All the bulk deficiencies now require variances.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the Borough of Little Silver on this 5th day of March, 2020 that the application of Anthony and Catherine Filippelli for premises known as Block 28, Lot 115 be granted upon the following conditions:

8. That this approval will be deemed to be void by abandonment if a building permit is not issued within one year from the date hereof.

9. The applicant shall comply with the Planning Regulations of the Borough of Little Silver to the extent that it is consistent with this Resolution, including the placement of any porta-potty during the construction phase of the project in an “inconspicuous place,” and shall comply with the requirements of the Construction Code and the Fire and Health Code Officials.
10. The applicant shall build to the plans as approved by the Board. The negative criteria concerning possible effects on adjoining properties, the neighborhood plan and the Board's determination that the variances can be granted without substantial detriment to the public good is, in part, based upon the exact plans submitted by the applicant. To deviate from the approved plans, even where otherwise permitted by the Zoning Ordinance, shall be deemed a material violation of this approval.
11. Any deviations from the approved plans must be submitted and reviewed by the Board.
12. All materials used in the construction of the addition shall be consistent with the existing structure.
13. The location of any air conditioning units or generators not shown on the approved plans must be submitted to and reviewed by the Board prior to construction and/or installation.
14. All representations made by the applicant under oath, at the public meeting in the within matter, are considered conditions of this approval and misrepresentations by any of the parties shall be considered a material breach of the facts upon which the conclusions of the Planning Board were made and shall be considered a violation of the approval.
15. Subject to any and all other local, County, State and Federal regulations, including any requirements for the payment into an affordable housing fund established by Borough Affordable Housing Ordinance prior to issuing a building permit.

16. Subject to the payment of any and all taxes and professional fees.
17. This application is granted only in conjunction with the conditions noted herein and but for the existence of the same, the within application would not be approved. In addition, the granting of any variances shall not be deemed to permit any other form of development than that specifically approved herein nor shall it be deemed that the granting of such variances shall result in the premises being considered conforming in the future, nor shall the granting of the application infer that the bulk deficiencies be considered conforming in the future should the structure or portions thereof be abandoned or destroyed
18. The action of the Planning Board in approving this application shall not relieve the applicant of responsibility for any damage caused by this project, nor does the Planning Board of the Borough of Little Silver or its reviewing professionals and agencies accept any responsibility for the structural design of the proposed improvements or for any damage that may be caused by the development.

NOW THEREFORE BE IT FURTHER RESOLVED by the Planning Board of the Borough of Little Silver that the Board Secretary provide a copy of this Resolution to the applicant within the statutory time and that a notice be published by the applicant in the official newspaper of the Borough referencing this Resolution.

The above Resolution was Moved by Mr. Mihlon

Seconded by Mrs. Smith and on Roll Call, the following vote was taken:

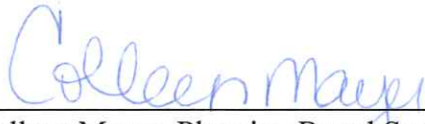
Affirmative: Chairman Chimento, Vice-Chairman Perfetto, Mrs. Smith, Mr. Orlando,

Mr. Talavera, Mr. Mihlon and Mr. Chirstensen.

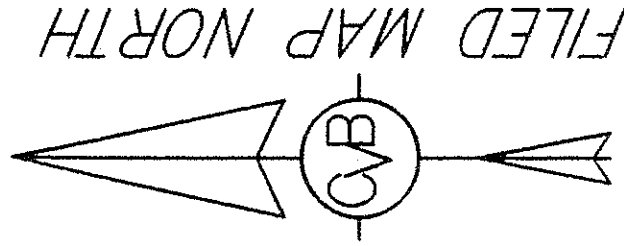
Negative: None

Abstentions: None.

The foregoing is a true copy of a Resolution adopted by the Planning Board of the Borough of Little Silver at its meeting on March 5, 2020, as copied from the Minutes of the said meeting.



Colleen Mayer, Planning Board Secretary



SALEM LANE

50' R.O.W. 30' ROAD

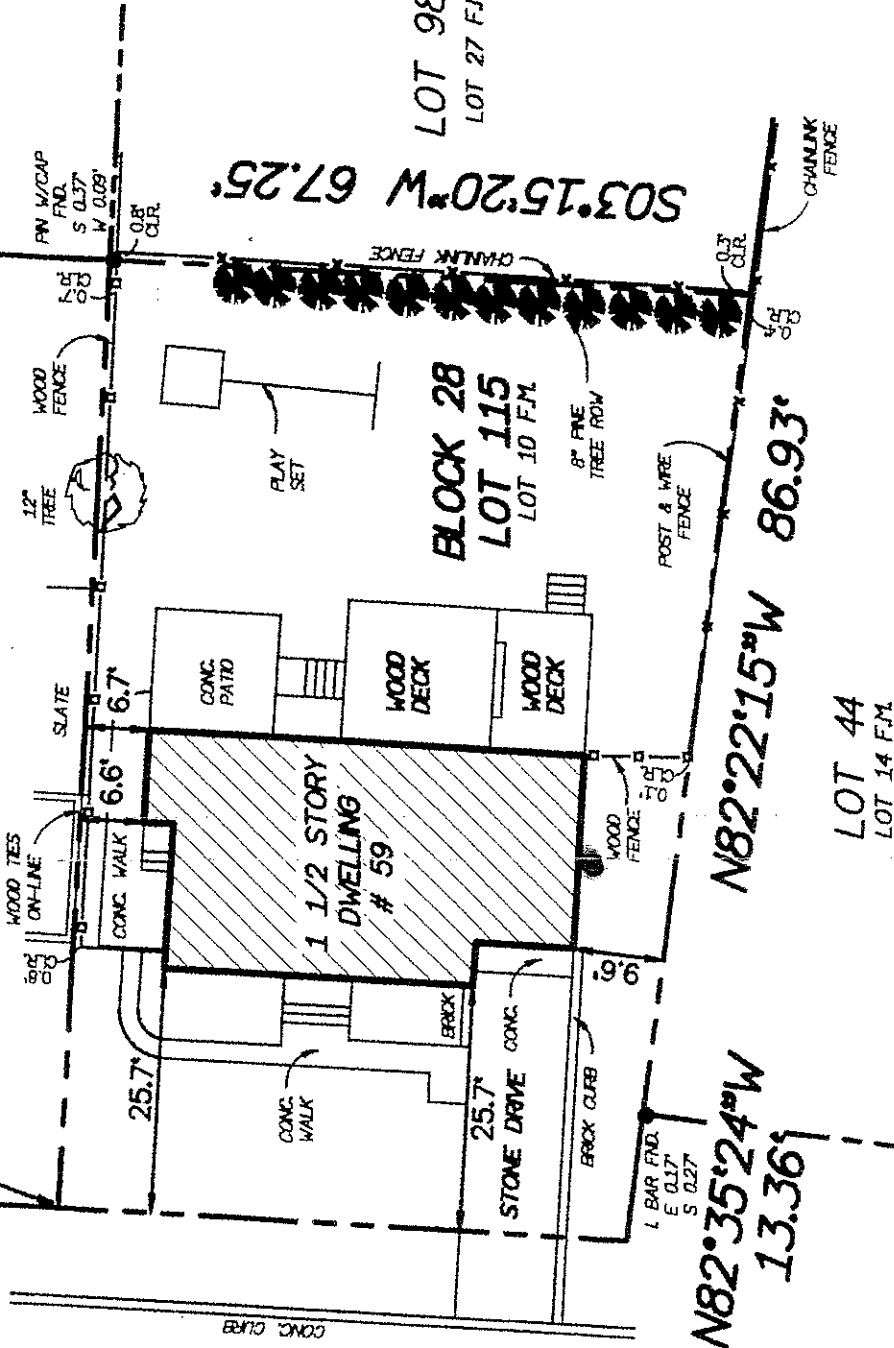
N03°15'20"E 59.66'

POINT OF BEGINNING
485.00' TO THE SOUTHERLY
R.O.W. LINE OF BENNETT LANE

LOT 114
LOT 11 F.M.

S86°44'40"E 100.00'

LOT 99
LOT 26 F.M.



TAX MAP REFERENCE

LOT 115 BLOCK 28
BOROUGH OF LITTLE SILVER
TAX MAP SHEET No. 8

FILED MAP REFERENCE

LOT 115
"MAP OF COLONIAL TERRACE, LITTLE
SILVER NEW JERSEY SECTION 2"
FILED IN THE M.C.C.O. ON FEBRUARY 13,
1991 IN CASE No. 29-2

LOT AREA: 6,343.16 S.F.

CERTIFIED TO :

CATHERINE BONELLO, unmarried;
COMMERCE BANK, N.A.,
its successors and/or assigns;
CHICAGO TITLE INSURANCE COMPANY;
RED BANK TITLE AGENCY, INC.; and
ANSELL, ZARO, GRIMM and AARON, ESQ.

THIS SURVEY IS CERTIFIED ONLY TO THE ABOVE NAMED PARTIES FOR
PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY ABOVE
NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY
THE SURVEYOR FOR ANY OTHER USE OF SURVEY INCLUDING, BUT NOT
LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF
PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION

NOTES :

OFFSET DIMENSIONS FROM STRUCTURES TO
PROPERTY LINES SHOWN HEREON ARE NOT TO
BE USED TO RE-ESTABLISH PROPERTY LINES
UNDERGROUND ENCROACHMENTS, IF ANY, HAVE
NOT BEEN SHOWN.

THIS SURVEY IS SUBJECT TO ANY FACTS THAT
MAY BE DISCLOSED BY A FULL AND ACCURATE
TITLE SEARCH.

THIS SURVEYOR IS NOT QUALIFIED TO MAKE
ANY DETERMINATION AS TO THE EXISTENCE OR
NON-EXISTENCE OF WETLANDS AND/OR TOXIC
WASTES. NO STATEMENT IS BEING MADE OR
IMPLIED HEREON, NOR SHOULD IT BE ASSUMED
OR CONSTRUED THAT ANY STATEMENT IS BEING
MADE BY THE FACT THAT NO EVIDENCE OF
WETLANDS AND/OR TOXIC WASTES IS PORTRAYED
HEREON. THE CLIENT SHOULD PURSUE THESE
MATTERS AS ITEMS SEPARATE AND APART FROM
THIS SURVEY.

THE USE OF WORD CERTIFY OR CERTIFICATION
CONSTITUTES AN EXPRESSION OF PROFESSIONAL
OPINION REGARDING THOSE FACTS OR FINDINGS
WHICH ARE THE SUBJECT OF THE UNDERSIGNED
PROFESSIONAL KNOWLEDGE INFORMATION AND
BELIEF AND IN ACCORDANCE WITH THE COMMON
ACCEPTED PROCEDURE CONSISTENT WITH THE
APPLICABLE STANDARDS OF PRACTICE AND DOES
NOT CONSTITUTE A WARRANTY OR GUARANTEE
EITHER EXPRESSED OR IMPLIED.

A WRITTEN WAIVER AND DIRECTION NOT TO SET
CORNER MARKERS HAS BEEN OBTAINED FROM THE
ULTIMATE USER PURSUANT TO P.L.2003, c.14
(C45:8-36.3) AND N.J.A.C. 13:40-5.1(d)

SURVEY OF PROPERTY

LOT 115 BLOCK 28
BOROUGH OF LITTLE SILVER
MONMOUTH COUNTY NEW JERSEY

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE INFORMATION
AND BELIEF, THAT THIS SURVEY HAS BEEN PERFORMED IN
ACCORDANCE THE ACCEPTED STANDARDS OF THE PROFESSION AS
PRACTICED IN THE STATE OF NEW JERSEY

Date	Description

CVB CHARLES V. BELL
ASSOCIATES INC.

PROFESSIONAL LAND SURVEYORS AND PLANNERS
40 MEREDITH DRIVE TINTON FALLS, NEW JERSEY 07724
732 542-1616 732 542-2999/FAX

CHARLES V. BELL JR.

N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 27501
N.J. PROFESSIONAL PLANNER LICENSE NO. 2468

Scale	Date	Drawn	Checked	File No.	Field B.
1"=20'	MARCH 02, 2004	RAO	CVB	10916	321

BOROUGH OF LITTLE SILVER
480 Prospect Avenue
Little Silver, New Jersey
(732) 842-2400

ISSUED TO:

Anthony and Catherine Filippelli
59 Salem Lane
Little Silver, New Jersey 07739

Phone Number: [REDACTED]

TYPE OF DEVELOPMENT:

- 1) Residential x
- 2) Non-residential
- 3) Other

LOCATION OF PROPOSED DEVELOPMENT:

Street: 59 Salem Lane

City & State Little Silver, New Jersey

~~Block No. 28 Lot Nos. 115~~

Development Application No. 290

Approved by: Planning Board Date: February 6, 2007

Development Permit issued on: February 21, 2007

By:

Michael D. Biehl
Michael D. Biehl
Zoning Officer

Rec'd
2-21-07

RESOLUTION OF FINDINGS AND CONCLUSIONS
PLANNING BOARD
BOROUGH OF LITTLE SILVER

RESOLUTION

Anthony and Catherine Filippelli
Block 28, Lot 115
59 Salem Lane

WHEREAS, Anthony and Catherine Filippelli,, have applied to the Planning Board of the Borough of Little Silver for permission to demolish the existing second floor and construct a 31' x 29' second floor addition consisting of a master bedroom and bath, two bedrooms, computer room/office and second story terrace; a 4' x 15' front porch addition and interior renovations on the property at 59 Salem Lane, Block 28, Lot 115 as shown on the Official Tax Map of the Borough of Little Silver; and

WHEREAS, the applicant has provided notice to all property owners within two hundred feet and has caused notice to be published regarding said application in accordance with *N.J.S.A. 40:55D-1* et seq., this Board gaining jurisdiction thereunder; and

WHEREAS, a public hearing was held in the within matter at a regularly scheduled meeting of the Planning Board, at which time all persons having an interest in said application were heard;

NOW THEREFORE BE IT RESOLVED by the Planning Board of the Borough of Little Silver that the following findings of facts and conclusions are made:

1. The property is a residential dwelling located in an R-3 Zone and said use is permitted.
2. The property violates the minimum required lot area of 20,000 square feet where 6,343 square feet exist; the minimum required improved road frontage of 100 feet where 59.66 feet exists; the minimum required front yard setback of 30 feet where 21 feet exists and 20 feet is proposed; the minimum required rear yard setback of 50 feet for a principal structure where 30 feet exists; the minimum required side yard setback of 15 feet on each side for a principal structure where 6.6 feet and 9.6 feet exist; and the maximum allowable lot coverage of 18%

where 23% exists and 25% is proposed.

3. No adjoining property is available to make the lot conforming.
4. Testimony was given that the applicants propose to remodel the existing residence by demolishing and rebuilding the second floor to contain three bedrooms and two bathrooms as well as attic space.
5. Testimony was given that the only change in the footprint of the existing residence will be the addition of the front porch.
6. The applicant's architect, Michael Savarese, testified that the proposal is consistent with other residences in the neighborhood; the house currently contains 741 square feet on the first floor and 590 square feet on the second floor and will be increased by 186 square feet on the first floor and 781 square feet on the second floor for a total of 1,500 square feet.
7. In response to a question from the Board regarding the second floor deck and privacy issues, it was noted that the property is on the end of the street with no other residence affected by the location of the deck which is on the right side of the premises over the existing garage.
8. The Board further determines that the variance can be granted in that the benefits outweigh any detriments and that granting the variance will not substantially impair the purpose and intent of the Zone Plan and Zoning Ordinance of the Borough nor harm the public good.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the Borough of Little Silver on this 6th day of February, 2007 that the application of Anthony and Catherine Filippelli for premises known as Block 28, Lot 115, be granted upon the following conditions:

1. That this variance will be deemed to be void by abandonment if a building permit is not issued within one year from the date hereof.
2. The applicant shall comply with the Planning Regulations of the Borough of Little Silver to the extent that it is consistent with this Resolution, and shall comply with the requirements of the Construction Code and the Fire and Health Code Officials.

3. All materials used in the construction of the addition shall be consistent with the existing structure.
4. Landscaping shall be restored in those areas disturbed during construction.
5. The applicant shall build to the plans as approved by the Board. Any deviations from the approved plans must be submitted to and reviewed by the Board.
6. The location of any air conditioning units or generators not shown on the approved plans must be submitted to and reviewed by the Board prior to construction and/or installation.
7. All representations made by the applicant under oath, at the public meeting in the within matter, are considered conditions of this approval and misrepresentations by any of the parties shall be considered a material breach of the facts upon which the conclusions of the Planning Board were made and shall be considered a violation of the approval.
8. Subject to any and all other local, County, State and Federal regulations as may be deemed necessary.
9. Subject to the payment of any and all taxes and professional fees.
10. This application is granted only in conjunction with the conditions noted herein and but for the existence of the same, the within application would not be approved.
11. The action of the Planning Board in approving this application shall not relieve the applicant of responsibility for any damage caused by this project, nor does the Planning Board of the Borough of Little Silver or its reviewing professionals and agencies accept any responsibility for the structural design of the proposed improvements or for any damage that may be caused by the development.

NOW THEREFORE BE IT FURTHER RESOLVED by the Planning Board of the Borough of Little Silver that the Board Secretary provide a copy of this Resolution to the applicant within the statutory time and that a notice be published by the applicant in the official newspaper of the Borough referencing this Resolution.

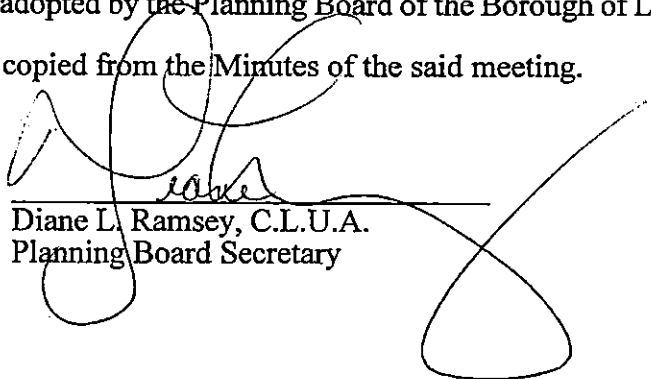
The above Resolution was Moved by Mayor Castleman

Seconded by Mr. Lindsey and on Roll Call, the following vote was taken:

Affirmative: Mayor Castleman, Mr. Olimpi, Chairman Jacobi, Mr. Lindsey,
Negative: Mr. Scott, Mr. Chimento, Mr. Nuara, Mr. Neff and Mrs. Montella
None

Abstentions: Mr. Drawbaugh

The foregoing is a true copy of a Resolution adopted by the Planning Board of the Borough of Little Silver at its meeting on February 6, 2007 as copied from the Minutes of the said meeting.



Diane L. Ramsey, C.L.U.A.
Planning Board Secretary

Dated: February 6, 2007

B 28 L 115

FILIPPELLI RESIDENCE

59 SALEM LANE

LITTLE SILVER, NJ

LIST OF DRAWINGS

- A-1 TITLE SHEET
- D-1 DEMOLITION PLANS/NOTES
- A-2 FOUNDATION PLAN & DETAILS
- A-3 FIRST FLOOR PLAN, FRAMING, ELECTRICAL
- A-4 SECOND FLOOR PLAN, FRAMING, ELECTRICAL
- A-5 ROOF PLAN & DETAILS
- A-6 EXTERIOR ELEVATIONS

LIVABLE SQUARE FOOTAGE		
	EXIST'G	PROPOSED ADDITION TOTAL
FIRST FLOOR	741.6 SQ. FT.	741.6 SQ. FT.
SECOND FLOOR	870.9 SQ. FT.	1875 SQ. FT.
TOTAL	1612.5 SQ. FT.	1875 SQ. FT.
GARAGE	176.4 SQ. FT.	176.4 SQ. FT.

LOT COVERAGE CALCULATIONS		
LOT COVERAGE	IMPERVIOUS LOT COVERAGE	
MAIN HOUSE (INCLUDES 2ND FLR. OVERHANGS)	876.5 SQ. FT.	PAVED SURFACE 872.8 SQ. FT.
GARAGE	184 SQ. FT.	TOTAL 872.8 SQ. FT. (13.7%)
DECK	631 SQ. FT.	
PORCH	120.0 SQ. FT.	
TOTAL	1822.5 SQ. FT. (28.1 %)	
VOLUME: (PROPOSED)	10,996.8 C.F.	

ZONING & CONSTRUCTION DATA

BK 28
LOT 115
ZONE R3

DESIGN GROUP
CONSTRUCTION CLASS
CLIMATE ZONE
WIND ZONE

R-5
TYPE VB
1
110 ML/HR

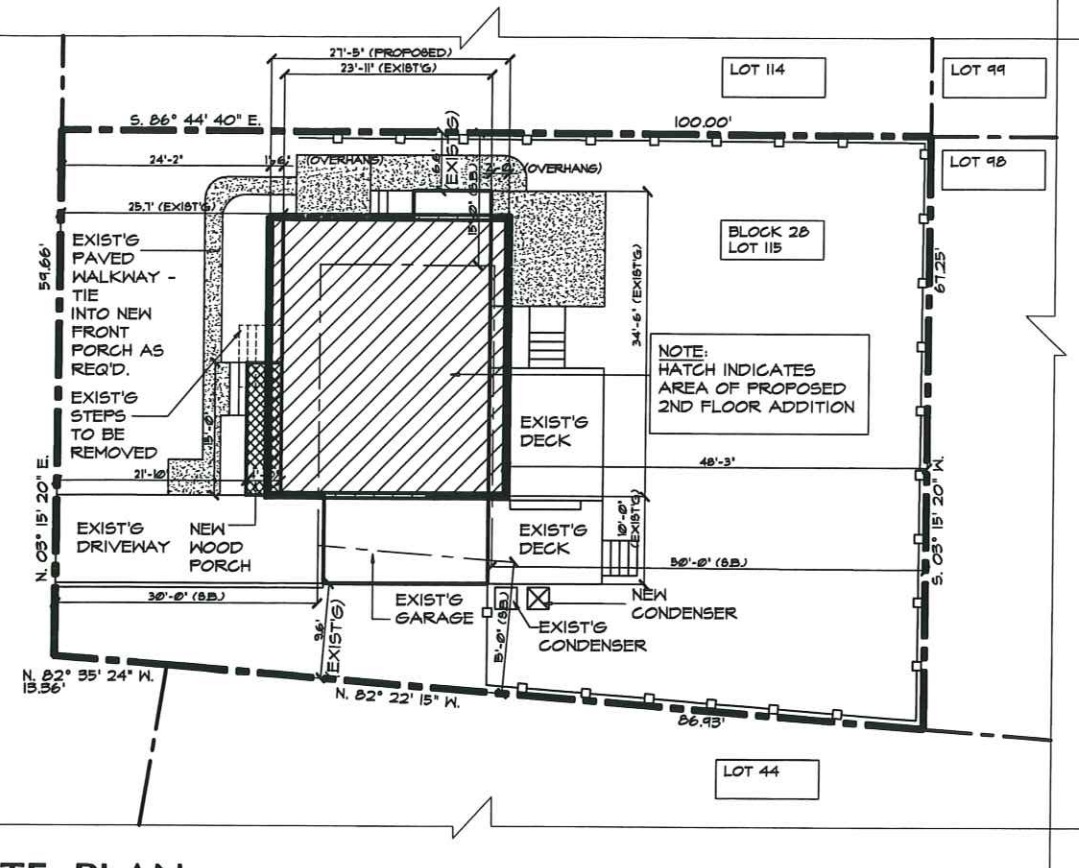
	REQUIRED	PROVIDED
LOT AREA	20,000 SQ FT	6,343 SQ FT **
LOT WIDTH	100.00 FT	59.66 FT **
FRONT YARD (HOUSE)	30.00 FT	24.2 FT (25.7 FT EXIST'G **)
FRONT YARD (PORCH)	30.00 FT	21'-10"
REAR YARD	50.00 FT	48.3 FT (50.0 FT EXIST'G **)
SIDE YARD	15.00 FT	6.6/16.2 FT **
% LOT COVERAGE	18%	28.7% (1,822.4 SQ FT)
% IMPERV. COVERAGE	25%	13.7% (872.8 SQ FT) (EXIST'G)
BUILDING HEIGHT	30.00 FT	28'-8" FT

NOTES:*** INDICATES PRE-EXISTING NON-CONFORMING CONDITION

SALEM LANE

SITE PLAN

1"=10'



GENERAL CONDITIONS

- THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY QUESTIONS. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUEST FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWINGS OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDOUBT AFFECT THE PROGRESS OF WORK.
- THE GENERAL CONTRACTOR HEREBY INDEMNIFIES AND AGREES TO DEFEND AND HOLD THE OWNER HARMLESS FROM AND AGAINST ANY AND ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE (INCLUDING CLAIMS FOR WORKMEN'S COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM).
- BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANGE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.
- THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION, DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THEREOF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, INSPECTIONS & FINAL SIGN OFFS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE SUBMISSION OF BIDS.
- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.
- ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE.
- CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- THE FOLLOWING WORK SHALL BE DONE UNDER SEPARATE CONTRACTS:
 - AT THE END OF EACH WORK DAY, THE CONTRACTOR IS RESPONSIBLE FOR THE DAY TO DAY CLEANING AND DISPOSAL OF WASTES OCCURRED BY REQUIRED SITE WORK AND INSTALLATION OF CONSTRUCTION WORK UNDER THIS CONTRACT.
- THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO ANY AREAS PREVIOUSLY FINISHED.
- THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE OWNER. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO THE ARCHITECT & THE OWNER SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.
- THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON STANDARD TIME UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT.
- WHEN SO DIRECTED, AND UPON WRITTEN APPROVAL, ALL CONTRACTORS SHALL PERFORM WORK IN OVERTIME AND THE ADDITIONAL COST TO THE TENANT SHALL BE THE ACTUAL BETWEEN OVERTIME WAGE COSTS.
- NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.
- A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
- ALL REQUESTIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM 6122, LATEST EDITION, FOR PRIOR APPROVAL.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.
- WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.
- CERTIFICATE OF OCCUPANCY TO BE OBTAINED BY THIS CONTRACTOR.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES AS CALLED FOR IN THE CONTRACT DOCUMENTS, AS PER SECTION 4.11, OF THE GENERAL CONDITIONS, TO THE ARCHITECT FOR REVIEW.
- ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGINGS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL NOT MAKE, CAUSE TO BE MADE, OR PERMIT SUBCONTRACTORS OR ANY OF ITS SUBSIDIARIES TO MAKE ANY CHANGE FROM THAT WHICH IS INDICATED ON THE CONTRACT DOCUMENTS WITHOUT SPECIFIC AUTHORIZATION OF THE ARCHITECT IN WRITING.
- THIS CONTRACT SHALL INCLUDE, EXCEPT AS HEREINAFTER SPECIFIED AS NOT INCLUDED, ALL LABOR, MATERIALS, AND APPLIANCES FOR THE FABRICATIONS AND INSTALLATIONS OF ALL WORK REQUIRED FOR THE COMPLETION OF THE PROJECT AS SHOWN IN THE DRAWINGS. THESE SPECIFICATIONS AND BID DOCUMENTS, THIS INCLUDES THE PREPARATION OF SURFACES FOR THE INSTALLATION OF ITEMS NOT IN THIS CONTRACT, BUT NOTED ON DRAWINGS (N.C.), SUCH AS, BUT NOT LIMITED TO CARPET, TILE, GLASS BLOCK, AND CABINETRY. THE PREPARATION OF THESE SURFACES MUST BE COORDINATED AND IN COOPERATION WITH THE INDIVIDUAL CONTRACTORS AND THE OWNER.
- ALL CONTRACTOR'S WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER MATCHING AND ALIGNING ALL SURFACES DAMAGED AS TO AN EXISTING CONDITION OR AS THE RESULT OF CONSTRUCTION OR DEMOLITION SHALL BE REPAIRED OR REPLACED AND/OR PATCHED AND FINISHED AS REQUIRED TO MATCH EXISTING SURROUNDING MATERIALS AND ASSURE A COMPLETE JOB.

GENERAL NOTES

- THE WORK UNDER THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR ALL WORK AS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND AS REQUIRED BY CONDITIONS AT THE SITE.
- ALL WORK SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL BLDG. CODE LATEST ADDITION AND ALL CODES AND AGENCIES HAVING JURISDICTION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED IN CONNECTION WITH HIS WORK.
 - PROVIDE SMOKE AND FIRE DETECTORS AS REQUIRED BY CODE.
 - DETAILS SHOWN IN ANY SECTION APPLY TO ALL SIMILAR SECTIONS UNLESS OTHERWISE NOTED.
 - THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY OCCURS BETWEEN ACTUAL FIELD CONDITIONS AND DRAWINGS.
 - DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS CONFIRMED BY FIELD CONDITIONS TAKE PRECEDENCE. IF DISCREPANCY ARISES BASED ON FIELD CONDITIONS CONSULT WITH ARCHITECT'S OFFICE BEFORE PROCEEDING WITH WORK OF ORDERING MATERIALS.
 - APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF ANY CONTRACTOR REQUIREMENTS EVEN IF SUCH ITEMS ARE NOT SHOWN ON SHOP DRAWINGS. ALSO, ALL REVISIONS TO SHOP DRAWINGS AFTER THE FIRST SUBMISSION MUST BE IDENTIFIED ON SUBSEQUENT SUBMISSIONS.
 - SHOP DRAWINGS OR CATALOG CUTS, AS NECESSARY, SHALL BE SUPPLIED FOR REVIEW BY THE ARCHITECT AND OWNER ON THE FOLLOWING ITEMS:
 - B. WINDOWS
 - C. DOORS
 - D. BATHROOM FIXTURES
 - E. ELECTRICAL FIXTURES
 - F. MECHANICAL EQUIPMENT
 - G. KITCHEN CABINETS
 - H. PREFABRICATED FIREPLACE AND FLUE
 - I. ROOFING
 - J. SIDING
 - RESEAL ALL EXISTING WOOD FRAMING THAT MAY BE AFFECTED BY NEW CONSTRUCTION.
 - ALLOW FOR NEW FLOOR FINISHES THROUGHOUT.
 - PROVIDE NEW OAK SADDLE AT ALL DOORS ABUTTING NEW TILE FLOOR AS REQUIRED FOR PROPER TRANSITION BETWEEN DIFFERENT FLOORS.
 - UNDERCUT DOORS AS MAY BE REQUIRED BY NEW FLOOR FINISH.
 - PROVIDE NEW FULL THICK BATT INSULATION AT ALL EXPOSED EXTERIOR WALLS AS FOLLOWS:
 - A. WALLS- R-15 MIN.
 - B. FLOORS-R-14 MIN.
 - C. ROOF-R-30 MIN.
 - CONTRACTOR TO ALLOW FOR ALL NEW AND EXISTING PIPING (GAS, WATER, ETC.).
 - PROVIDE ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.
 - WHERE WORK IS TO BE CUT, CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, WEDGING AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING OPERATION.
 - THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ECT.).
 - ALL BATHROOM DOORS SHALL BE UNDERCUT 1".
 - ALL INTERIOR PONDOR ROOMS, LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED TO EXTERIOR THROUGH NON-COMBUSTIBLE DUCTS AT 50 CFM.
 - ALL MATERIALS TO BE NEW, UNLESS OTHERWISE APPROVED.
 - EXTERIOR SIDING TO MATCH EXISTING IN SIZE, TEXTURE, AND COLOR.
 - EXTERIOR FACIALS, SOFFITS, GUTTERS AND LEADERS TO BE ALUMINUM WITH FINISH.
 - ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE BY THIS CONTRACTOR.
 - ALL SLIDING GLASS DOORS, SIDELIGHTS AND WINDOWS BELOW 2'-0" SHALL BE TEMPERED SAFETY GLASS.
 - CONTRACTOR TO PROVIDE BOTH EYE AND RIDGE VENTING.
 - ALL NEW WALLS, CEILING AND FLOORS TO BE FINISHED (OR PAINTED) AS DIRECTED BY THE OWNER.
 - FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH 5/8" FIRE CODE "X" SHEETROCK OR EQUAL.
 - ROOF DRAINAGE TO MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R601.5.
 - WALL BRACING TO MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R602.10.
 - DESIGN WIND LOADS SHALL MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R603.1.

FILIPPELLI RESIDENCE
59 SALEM LANE
LITTLE SILVER, NEW JERSEY



DATE 10/22/06

DWG A1

SCALE AS NOTED

FOR NO. FILIPPELLI

TITLE SHEET/SITE PLAN

PROJECT

LOT PLAN

BLOCK: 28 LOT: 115

MICHAEL SAVARESE
N.J. LIC. #2003

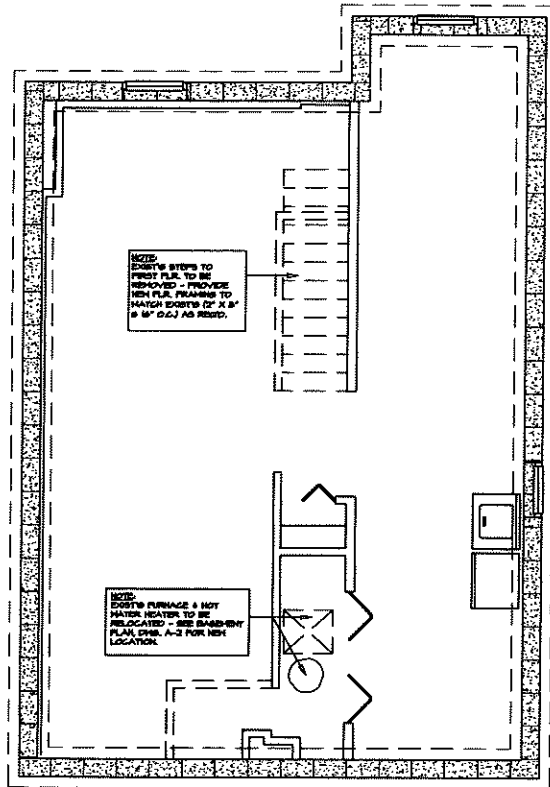
SHEET NO. A1

ISSUES
DATE
REVISION
BY
PLANNED BOARD



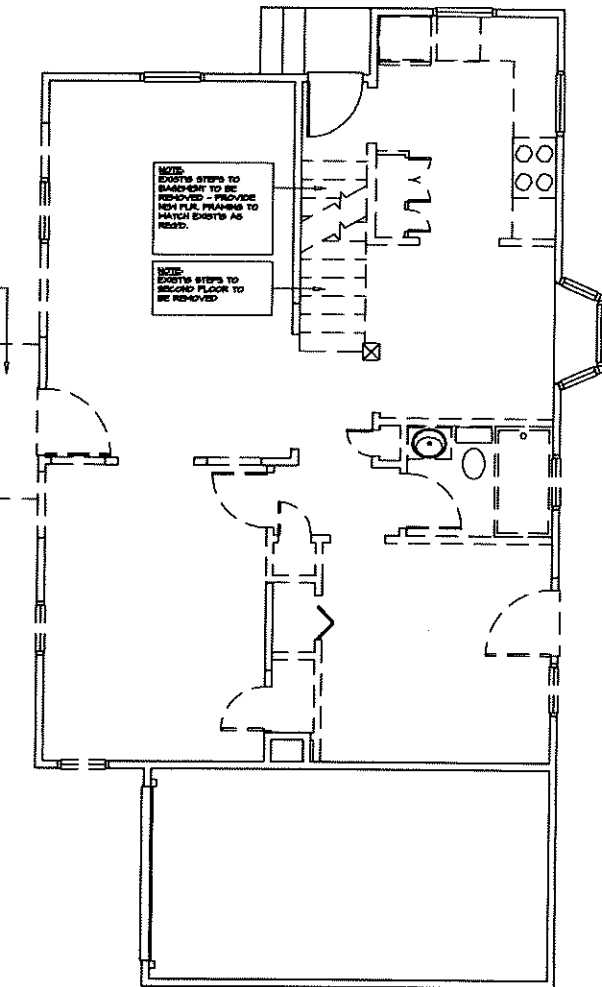
MICHAEL SAVARESE
ARCHITECT & PLANNER
REHABILITATION
CORPORATE DESIGN
RESIDENTIAL DESIGN

24 ELIZABETH DRIVE OCEANPORT N.J. 07757
(908) 542 - 8897



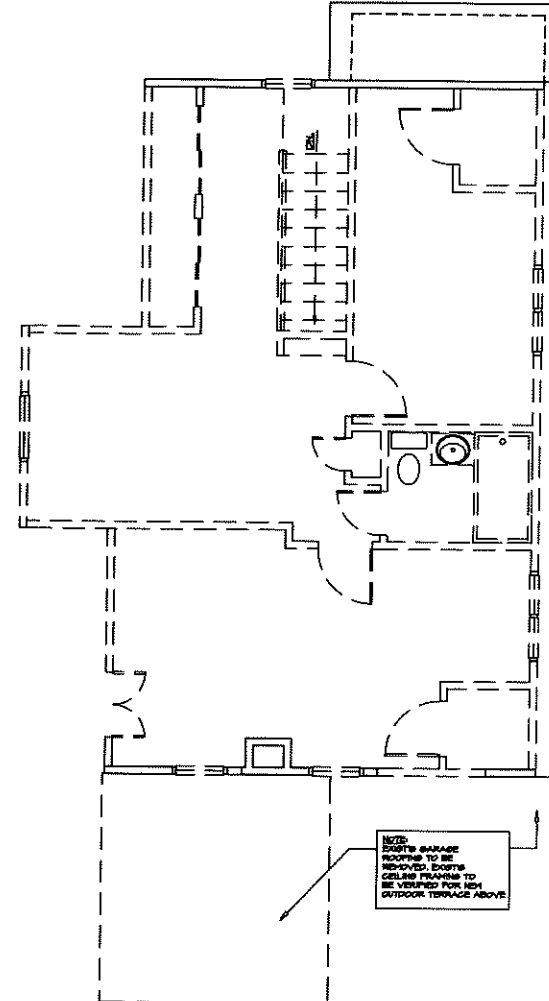
BASEMENT DEMOLITION PLAN

1/4" = 1'-0"



FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"

ALTERATION NOTES

THE WORK UNDER THIS CONTRACT SHALL CONSIST OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR ALL WORK AS SHOWN ON THE DRAWING SPECIFIED HEREIN, AND AS REQUIRED BY CONDITIONS AT THE SITE.

1. ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, LATEST NEW JERSEY RESIDENTIAL EDITION, AND ALL CODES AND AGENCIES HAVING JURISDICTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED IN CONNECTION WITH HIS WORK.
3. PROVIDE SMOKE AND FIRE DETECTORS AS REQUIRED BY CODE.
4. THE CONTRACTOR TO CONFIRM EXISTING BEARING CONDITIONS BEFORE PROCEEDING WITH THE WORK.
5. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY OCCURS BETWEEN ACTUAL FIELD CONDITIONS AND DRAWINGS.

6. PATCH ALL FLOOR, WALL, AND CEILING AREAS AFFECTED BY NEW CONSTRUCTION (INCLUDING ALL TRIMS AND MOLDINGS) TO MATCH EXISTING UNLESS NOTED OTHERWISE.

7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS CONFIRMED BY FIELD CONDITIONS TAKE PRECEDENCE. IF DISCREPANCY ARISES BASED ON FIELD CONDITIONS CONSULT WITH ARCHITECT'S OFFICE BEFORE PROCEEDING WITH WORK OF ORDERING MATERIALS.

8. REMOVE & RECONNECT EXTERIOR LIGHTING, RECEPTACLES, ETC. AFFECTED BY NEW CONSTRUCTION.

9. RESECURE ALL EXISTING MOOD FRAMING THAT MAY BE AFFECTED BY NEW CONSTRUCTION.

10. ALLOW FOR NEW FLOOR FINISHES THROUGHOUT.

11. PROVIDE NEW OAK SADDLE AT ALL DOORS ABUTTING NEW TILE FLOOR AS REQUIRED FOR PROPER TRANSITION BETWEEN DIFFERENT FLOORS.

12. UNDERCUT DOORS AS MAY BE REQUIRED BY NEW FLOOR FINISH.

13. PROVIDE NEW FULL THICK BATT INSULATION AT ALL EXPOSED EXTERIOR WALLS AS FOLLOWS:

1. WALLS R-13 MIN.
2. FLOORS R-19 MIN.
3. ROOF R-30 MIN.
4. FOUNDATION WALLS R-30 MIN.

14. CONTRACTOR TO ALLOW FOR ALL NEW EXISTING PIPING (GAS, WATER, ETC).

15. PROVIDE ALL TEMPORARY SHORING AND BRACING REQUIRED DURING CONSTRUCTION.

16. WHERE EXISTING WORK IS TO BE CUT, CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, WEDGING, AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING OPERATION.

17. THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.).

18. ALL BATHROOM DOORS SHALL BE UNDERCUT 1".

19. ALL INTERIOR POWDER ROOMS, LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED TO EXTERIOR THROUGH NON-COMBUSTIBLE DUCTS AT 50 CFM.

20. ALL BEDROOM WINDOWS TO CONFORM TO THE FOLLOWING: 5.7 S.F. FREE AREA; 20" WIDE MIN; 24" HT. MIN. OPENING.

21. ALL MATERIALS TO BE NEW UNLESS OTHERWISE APPROVED.

22. NEW EXTERIOR SIDING SHALL BE SELECTED BY OWNER.

23. EXTERIOR FACIALS, SOFFITS, BUTTERS AND LEADERS TO BE ALUMINUM WITH WHITE FINISH.

24. ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE BY THIS CONTRACTOR.

25. PROTECT, PATCH TO MATCH, ALTER OR RE-SUPPORT EXISTING STRUCTURE AS REQUIRED BY NEW CONSTRUCTION AND REMOVALS AS SHOWN.

26. ALL NEW WINDOW HOLDING, DOOR HOLDING FLOOR BASE TO MATCH EXISTING IN TYPE AND FINISH.

27. ALL NEW AND EXISTING WALLS, CEILING AND FLOORS TO BE FINISHED (OR PAINTED) TO MATCH EXISTING OR AS DIRECTED BY THE OWNER. ALL EXISTING WALLS TO BE FINISHED TO NEAREST NATURAL BREAK LINE.

28. FIREPROOF GARAGE AND UTILITY ROOM AS REQUIRED BY LOCAL CODES WITH 5/8" FIRE CODE ANX SHEETROCK OR EQUAL.

29. EXTERIOR WINDOWS ABOVE TWO AREAS SHALL USE SAFETY GLAZING AS REQUIRED BY SECTION 2405.2.

30. CRAWL SPACE ACCESS AND VENTILATION SHALL COMPLY WITH SECTION 1210 AND 1211.

31. STAIRS, GUARD RAILS AND HAND RAILS AT DECKS, BALCONIES OR STAIRCASES SHALL COMPLY WITH THE SECTION 1014.7 AND 1014.9.

32. THE CONTRACTOR MUST VERIFY THAT THE EXISTING FOUNDATIONS ARE A MINIMUM 5'-0" DEEP AND BEAR A MINIMUM OF 20" X 1'-0" DEEP CONTINUOUS FOOTING.

33. CONTRACTOR TO FENCE AND PROTECT EXISTING POOL AND EQUIPMENT.

34. CONTRACTOR TO FENCE AND PROTECT EXISTING POOL DECK AND PAVERS.

35. ROOF DRAINAGE TO MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R601.5.

36. WALL BRACING TO MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R602.10.

37. DESIGN WIND LOADS SHALL MEET OR EXCEED THE INTERNATIONAL RESIDENTIAL CODE 2000, SECTION R601.1.

DEMOLITION LEGEND

- EXISTING WALL OR PARTITION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL REMOVALS AND RELATED WORK AS SHOWN ON THE DRAWINGS DESCRIBED IN THESE NOTES AND REASONABLY INFERRED AS NECESSARY.
2. THE CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES TO REMAIN AND PROVIDE REASONABLE AND ADEQUATE PROTECTION FROM DEMOLITION WORK.
3. THE CONTRACTOR TO MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION DURING THE PERFORMANCE OF WORK.
4. THE CONTRACTOR SHALL LEGALLY DISPOSE OF REMOVED MATERIAL AND DEBRIS.
5. THE CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE, OR ELECTRICAL WIRING AND EQUIPMENT.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE BUILDING IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION WORK AND REMOVAL WORK REQUIRED.
7. FOR THE CONVENIENCE OF THE CONTRACTOR, THE MAJOR ITEMS OF WORK ARE LISTED. ITEMS NOT LISTED, BUT INFERRED BY THE SCOPE OF WORK, ARE NOT HEREBY ELIMINATED BY REASON OF SUCH OMISSION AND SHALL BE PERFORMED BY THIS CONTRACTOR.

MICHAEL S. AVARESE
ARCHITECT & PLANNER
REHABILITATION
CORPORATE DESIGN
RESIDENTIAL DESIGN
24 ELIZABETH DRIVE OCEANPORT N.J. 07757
(908) 542 - 8897

ISSUES	DATE	STATUS

--



FILIPPELLI RESIDENCE
59 SALEM LANE
LITTLE SILVER, NEW JERSEY

PROJECT
DRAWING TITLE
JOB NO.
FLIPPELLI

DEMOLITION PLANS
SCALE
1/4" = 1'-0"
DATE
10/22/06
D1
BLOCK: 2B LOT: 115

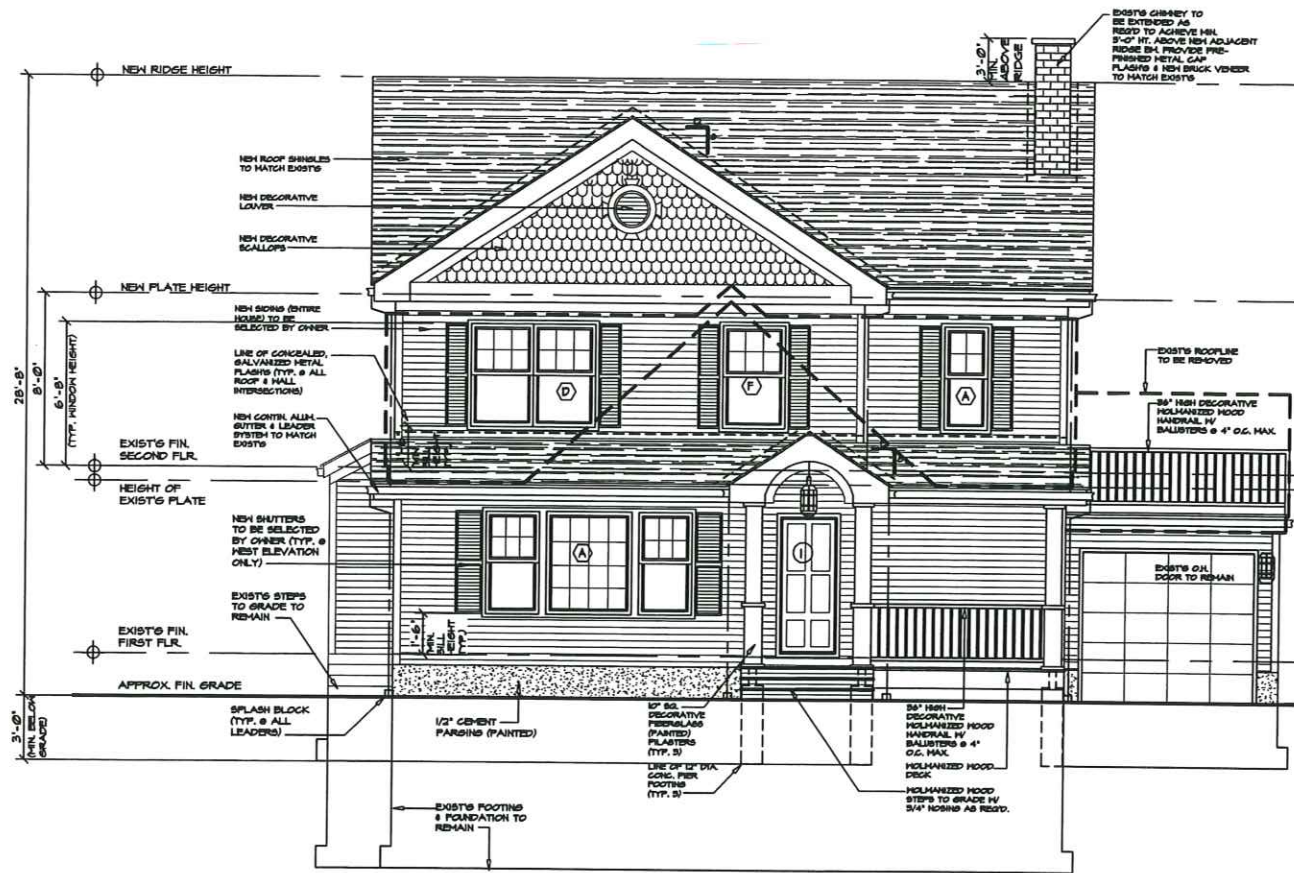
SEAL
MICHAEL S. AVARESE
N.J. LIC. #0043
SHEET NO.
D1



- 1) ALL INTERIOR GRILLS TO BE WOOD.
- 2) ALL EXTERIOR GRILLS TO BE GLUED VINYL.
- 3) PROVIDE SCREENS AT ALL OPERABLE WINDOWS.

NOTES:
1.) PROVIDE GRILLES AT ALL UNITS AS SHOWN ON ELEVATIONS.
2.) TYPES A & B - PROVIDE ALL NEW & EXISTING DOORS NEW TECH # 550

 'GFI' = GROUND FAULT INTER  'IG' = ISOLATED GROUND  'WP' = WEATHER PROOF  DUPLEX ELECTRICAL RECEPTACLE  DEDICATED APPLIANCE OUTLET  NEW TELEPHONE RECEPTACLE  NEW DEDICATED DATA CABLE  JUNCTION BOX  SURFACE MOUNTED FIXTURE  PENDANT-TYPE FIXTURE  RECESSED DOWNLIGHT FIXTURE  HALL MOUNTED INCANDESCENT FIXTURE	 EXTERIOR GRADE WALL MOUNTED FIXTURE  'TC' INDICATES FIXTURE TO BE CONTROLLED BY A TIME CLOCK  TOILET EXHAUST FAN   HALL SWITCH  'A' = LOWERCASE LETTER INDICATE LIGHTS CONTROLLED  '3' = THREE MAY  'D' = DINNER
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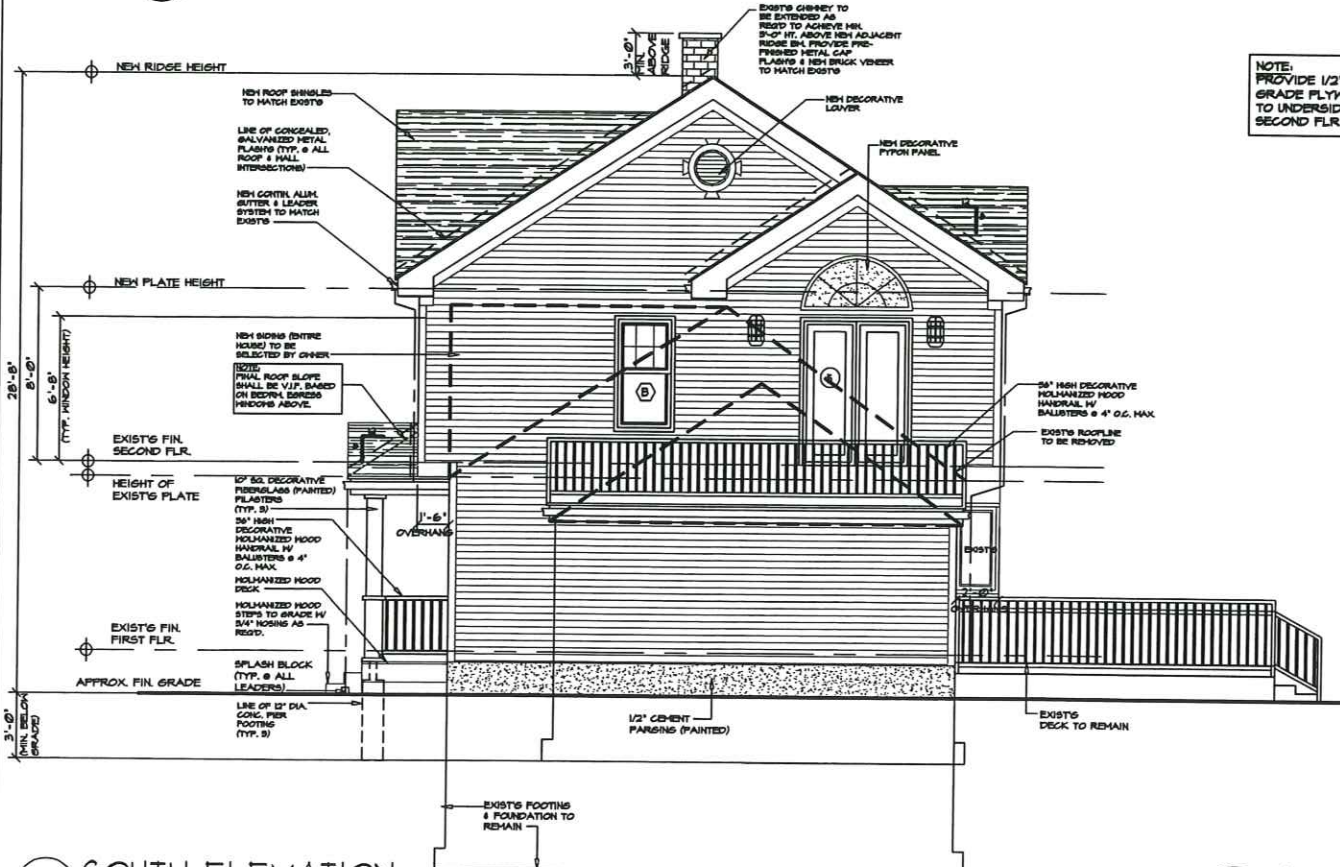


1 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
PROVIDE 1/2" EXTERIOR
GRADE FLYWOOD (PAINTED)
TO UNDERSIDE OF ALL NEW
SECOND FLR. OVERHANGS



3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



4 NORTH ELEVATION
SCALE: 1/4"=1'-0"

MICHAEL S. AVARESE
ARCHITECT & PLANNER
REHABILITATION
CORPORATE DESIGN
RESIDENTIAL DESIGN
24 ELIZABETH DRIVE OCEANPORT NJ 07757
(908) 542 - 8897

ISSUES
DATE: 10/22/06
BY: [Signature]
REVISION: [Signature]

FLIPPPELLI RESIDENCE
59 SALEM LANE
LITTLE SILVER, NEW JERSEY

DRAWING TITLE
ELEVATIONS

PROJECT
BLOCK: 28 LOT: 115

DATE: 10/22/06
DWG: A6
SCALE: 1/4"=1'-0"
JOB NO.: FLIPPPELLI

FLIPPELLI
MICHAEL S. AVARESE
NJ, LIC. #20043

A6

10/22/06/PC



CONSTRUCTION PERMIT

Date Issued _____
Control # _____
Permit # _____

IDENTIFICATION Block _____ Lot _____
Work Site Location 59 Salem Ln. Contractor Brown's Htg & Ctg.
Little Silver 07739 Address 4 Patterson Ave
Owner in Fee Anthony Fikipelli Shrewsbury NJ 07762
Address SAME Tele. (732) 741-0694
Tel. [REDACTED] Lic. No. or Bldrs. Reg. No. _____ Exp. Date _____
Federal Emp. No. 222-428-856
or Social Security No. _____

Is hereby granted permission to perform the following work:

☐ BUILDING ☐ PLUMBING ☐ OTHER _____
☐ ELECTRICAL ☐ FIRE PROTECTION

DESCRIPTION OF WORK:

Installation of new
2 1/2 T ac System

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 3826⁰⁰

PAYMENTS (Office Use Only)

Building _____
Plumbing _____
Electrical _____
Fire Protection _____
Other _____
Other _____
DCA Training Fee _____
Cert. of Occ. _____
Other _____
Total _____
Check No. _____
Cash _____
Collected By: _____

(see reverse side)

U.C.C. Form F-170A

CONSTRUCTION OFFICIAL

1 WHITE—INSPECTOR 2 CANARY—OFFICE 3 PINK—OFFICE 4 GOLD—APPLICANT



CONSTRUCTION PERMIT

Date Issued:

Permit #

IDENTIFICATION Block 28 Lot 115 Qualification Code _____
Work Site Location 59 Salem Ln Contractor JMT
Little Silver NJ Address 10 Phlips Pl
Owner in Fee Fillipe Li Tinton Falls NJ 07724
Address SAME Tel. (732) 544-1960
Tel. _____ Lic. No. or Bldrs. Reg. No. 13VH01415000

Is hereby granted permission to perform the following work:

☒ BUILDING ☒ PLUMBING ☐ LEAD HAZARD ABATEMENT
☒ ELECTRICAL ☒ FIRE PROTECTION ☒ DEMOLITION
☐ ELEVATOR DEVICES ☐ ASBESTOS ABATEMENT ☐ OTHER _____
(Subchapter 8 only)

DESCRIPTION OF WORK: 1st Floor Renovation
2nd Floor Addition.

NOTE: If construction does not commence within one (1) year of date of issuance, or
if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 150,000

Construction Official _____

Date _____

PAYMENTS (Office Use Only)

Building _____
Electrical _____
Plumbing _____
Fire Protection _____
Elevator Devices _____
Other _____
DCA State Permit Fee _____
Cert. of Occupancy _____
Other _____
Total _____
Check No. _____
Cash _____
Collected by _____

(see reverse side)

UCC/170 (REV. 01/04)
Professional Printing
(856) 468-7933

1 WHITE-INSPECTOR

2 CANARY-OFFICE

3 PINK-TAX ASSESSOR

4 GOLD-APPLICANT

BOROUGH OF RED BANK
90 MONMOUTH STREET
732-530-2760

UCC NEW JERSEY
PLUMBING
SUBCODE
TECHNICAL SECTION

Date Received 03/05/07
Date Issued 01/01/54
Control # 4-17-07
Permit # 07-0199+A

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. DO UTILITY DIG NO: 1-800-272-1000

Block 28 Lot 115 Qual
Work Site Location 59 SALEM LA
ADDITION/RENOVATIONS PLEG
Owner in Fee FILIPELLI, ANTHONY
Address SAME
LITTLE SILVER, NJ 07739-
Tele. [REDACTED]
Contractor JOSEPH A SCHULZ PLUMBING/HEAT
Address 1001 WAYSIDE ROAD
TINTON FALLS, NJ 07712-
Tele. (732) 493-8533 Fax ()
Lic. No. or Bldrs. Reg. No. 8912
Federal Emp. No. 22-3076698

B. PLUMBING CHARACTERISTICS

Use Group - Present R-5 Proposed R-5
Building Sewer Size [] Public Sewer [] Private Septic
Water Sewer Size [] Public Water [] Private Well
Estimated Cost of Plumbing Work \$ 12,000

JOB SUMMARY (Office Use Only)

PLAN REVIEW
[] No Plans Required
Joint Plan Review Required:
[] Bldg [] Elect
[] Fire [] Elevator
[] Plumb. Plans Approved
Date:
Approved By:
SUBCODE APPROVAL
[] CO [] CCO [] CA
Approved By:
Date: 12/4/07

INSPECTIONS
Type Failure Failure Approval Initial
Slab
Rough 6/13/07
Water 6/13/07
Sewer
Fixtures
Gas Equip.
Gas Piping 6/13/07
Solar
TGO
Final 9/19/07 9/17/07

D. TECHNICAL SITE DATA (List all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
3	Water Closet	60
0	Urinal / Bidet	0
1	Bath Tub	20
5	Lavatory	100
1	Shower	20
1	Floor Drain	20
1	Sink	20
1	Dishwasher	20
0	Drinking Fountain	0
1	Washing Machine	20
0	Hose Bibb	0
1	Water Heater	20
0	Fuel Oil Piping	0
1	Gas Piping	50
0	Steam Boiler	0
0	Hot Water Boiler	0
0	Sewer Pump	0
0	Interceptor / Separator	0
0	Backflow Preventer	0
0	Greasetrapp	0
0	Sewer Connection	0
0	Water Service Connection	0
2	Stacks	40
	Other TUBE VALVE	20
	Other	0
	Other	0

Administrative Surcharge \$ 0
Paid [] Check # Minimum Fee \$ 0
Collected by: TOTAL FEE \$ 410
DCA State Permit Fee \$ 16

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Signature/Contractor Seal

[] Licensed Plumbing Contractor [] Exempt Applicant

BOROUGH OF RED BANK
90 MONMOUTH STREET
732-530-2760

UCC NEW JERSEY
BUILDING
SUBCODE
TECHNICAL SECTION

Date Received 07/23/07
Date Issued 01/01/54
Control # 9-12-01
Permit # 07-0199+B

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000

Block 28 Lot 115 Qual

Work Site Location 59 SALEM LA

FINISH BASE/2ND FL RENOV.

Owner in Fee FILIPPELLI, ANTHONY

Address SAME

LITTLE SILVER, NJ 07739-

Tele.

Contractor JMT BUILDERS

Address 10 PHIPPS PLACE

TINTON FALLS, NJ 07724-

Tele. (732) 544-1960 Fax () -

Lic. No. or Bldrs. Reg. No.

Federal Emp. No. 22-3478101

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner
of record and am authorized to make this application.

Signature

D. TECHNICAL SITE DATA
DESCRIPTION OF WORK

FINISH BASEMENT WITH NEW BATHROOM/CHANGE LAYOUT, 2ND FL. BATHROOM/
ADD LAUNDRY, 2ND FLOOR

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)
☐ No Plans Req.			Type	Failure Failure Approval Initial
☐ All			Footings	
☐ Footing			Foundation	
☐ Foundation			Slab	
☐ Frame			Frame	
☐ Other			BarrierFree	
Joint Plan Review Required:			Insulation	
☐ Elect ☐ Plumb ☐ Fire			Finishes	
SUBCODE APPROVAL ☐ Elev			Energy	
☐ CO ☐ CCO ☒ CA			Mechanical	
Date: 12-10-07			TCO	
Approved By: [Signature]			Other	
			Final	
			BarrierFree	

TYPE OF WORK

	FEE (Office Use Only)
☐ New Building	\$ 0
☒ Addition	0
☒ Alteration	100
☐ Roofing	0
☐ Siding	0
☐ Fence 0 Height (exceeds 6')	0
☐ Sign 0 Sq. Ft.	0
☐ Pool - Above Ground	0
☐ Pool - In Ground	0
☐ Asbestos Abatement Subchapter 8	0
☐ Lead Haz. Abatement NJAC 5:17	0
☐ Other	0
Other	0
Other	0
☐ Demolition	0

B. BUILDING CHARACTERISTICS

Use Group	Present R-3	Proposed R-3
Constr. Class Present		Proposed
No. of Stories	0	
Height of Structure	0 Ft.	
Area Largest Floor	0 Sq. Ft.	
New Bldg. Area/All Floors	0 Sq. Ft.	
Volume of New Structure	0 Cu. Ft.	
Total Land Area Disturbed	0 Sq. Ft.	

Est. Cost of Bldg. Work:

1. New Bldg.	\$ 0
2. Alteration	\$ 5,000
3. Total (1+2)	\$ 5,000

Industrialized Building:

☐ State Approved
☐ HUD

Administrative Surcharge	\$ 0
Paid ☐ Check #	Minimum Fee \$ 0
Collected by:	TOTAL FEE \$ 100
	DCA State Permit Fee \$ 7

BOROUGH OF RED BANK
90 MONMOUTH STREET
732-530-2760

UCC NEW JERSEY
CONSTRUCTION
PERMIT

Date Issued 4/17/07
Control # C28/115A
Permit # 07-089

IDENTIFICATION Block 28 Lot 115 Qual

Work Site Location 59 SALEM LA
ADDITION/RENOVATIONS
Owner in Fee FILIPPELLI, ANTHONY
Address SAME
LITTLE SILVER, NJ 07739-
Telephone

Contractor JMT BUILDERS
Address 10 PHIPPS PLACE
TINTON FALLS, NJ 07724-
Telephone (732) 544-1960
Lic. No. or Bldrs. Reg. No.
Federal Emp. No. 22-3478101

Is hereby granted permission to perform the following work:

☒ BUILDING	☐ PLUMBING	☐ LEAD HAZARD ABATEMENT
☒ ELECTRICAL	☒ FIRE PROTECTION	☐ DEMOLITION
☐ ELEVATOR DEVICES	☐ ASBESTOS ABATEMENT	☐ OTHER <u> </u>

(Subchapter 8 only)

DESCRIPTION OF WORK:

1ST FLOOR RENOVATIONS AND 2ND FLOOR ADDITION

DIG #

NOTE: If construction does not commence within one (1) year of date of issuance,
or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 158,001

Stanley J. Mobilis
Construction Official

4/17/07
Date

PAYMENTS (Office Use Only)

Building	<u>1,275</u>
Electrical	<u>290</u>
Plumbing	<u>0</u>
Fire Protection	<u>100</u>
Elevator Devices	<u>0</u>
Other	<u> </u>
DCA State Permit Fee	<u>100</u>
Cert. of Occupancy	<u>50</u>
Other	<u> </u>
Total	<u>1,815</u>
Check No.	<u>10477</u>
Cash	<u> </u>
Collected By	<u>M. Thompson</u>