

Jeff Sallade & Ken Guzzardo, Founders and Co-Owners

3 Dimensional Physical Therapy
175 Route 70, Suite 19
Medford, NJ 08055
jsallade@3dpt.com
kguzzardo@3dpt.com
508-259-5481

Tara Wicker, RMC

Clerk, Township of Medford
49 Union Street
Medford, NJ 08055

Subject: Letter of Intent to Purchase the former Medford Township Library Site (39 Allen Avenue, BLOCK 1705, LOT 7.01)

Dear Ms. Wicker,

We are writing on behalf of 3 Dimensional Physical Therapy to formally express our interest in purchasing the property located at 39 Allen Avenue (former site of Medford Township Library).

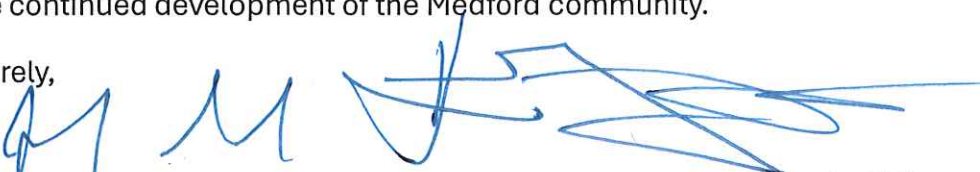
Our physical therapy business originated in 2011 in Medford Township. We have grown to 12 locations throughout southern New Jersey and Philadelphia and have plans to continue this growth over the coming years. As a result of this growth, we are actively seeking a permanent location to house our company headquarters and better serve the local community. After reviewing the property and its potential, we believe it would be an ideal location for our future growth.

We are committed to working collaboratively with the Township throughout this process. We also understand the importance of ensuring that any future use of the property aligns with local planning and zoning requirements.

As you read our proposal, we are confident that you will agree that 3 Dimensional Physical Therapy is uniquely qualified to lead this redevelopment project. Not only because of our proven track record in leading a company that is focused on high-quality, patient-centered care, but also because of our deep roots in the community and hands-on experience with complex facility buildouts. We bring a rare combination of business insight, operational discipline, and personal investment in the success of this space. As both the end user and the project lead, we are fully aligned in our vision, ensuring every design and development decision supports long-term function, sustainability, and community integration. This is more than just a real estate project, it is a strategic, mission-driven transformation—and no one is better positioned to bring it to life than we are.

Thank you for your time and consideration. We look forward to the opportunity to invest in and contribute to the continued development of the Medford community.

Sincerely,



Jeff Sallade and Ken Guzzardo, Co-Owners 3 Dimensional Physical Therapy

A. DEVELOPMENT TEAM:

1. 3 Dimensional Physical Therapy – Purchasing Company

- Jeff Sallade (Co-Owner)
 - o Phone: (508) 259-5481
 - o Email: jsallade@3dpt.com
- Ken Guzzardo (Co-Owner)
 - o Phone: (610) 639-6059
 - o Email: kguzzardo@3dpt.com

2. Ragan Design Group - Architect

- Dan Nichols
 - o Phone: (609) 654-8800
 - o Email: dnichols@ragandesign.com
- Dan Nichols of Ragan Design Group of Medford, NJ has been a licensed architect for over 30 years. Dan has worked on hundreds of commercial and residential projects during his career, most notably the restoration of a home in Cherry Hill, NJ in 2017 designed by Frank Lloyd Wright.

3. Tri-County Development – Construction/Contractor

- Joseph Quinn (Co-Owner)
 - o Phone: (609) 654-6600
 - o Email: tcdg.joeq@gmail.com
- Established in 1991, Tri-County Development is an award-winning custom builder, general contractor and remodeler that serves southern NJ. Tri-County Development has received numerous local awards and recognition including Best of Burlington County, Best of Home and Garden, South Jersey Magazine and Design NJ Magazine. Tri-County Development has worked with 3 Dimensional Physical Therapy on multiple projects over the years

4. Environmental Consulting of Southern NJ – Environmental Engineering Services/Planning)

- Kenneth Levers (Owner)
 - o Phone: (609) 953-0737
 - o Email: kenlevers39@gmail.com
- Ken Levers has 39 years of experience in the engineering and planning fields and has worked on numerous projects in the Medford area. Ken's business is located at the north end of Main St. Medford so not only is he familiar with the history of this area, he has been a part of it for decades and can appreciate our desire to redevelop the old library into a useful business that captures the essence of Historic Medford Village.

***** Please note – all members of the development team are proud residents and/or business owners in Medford Township. We are all deeply invested in the long term success and vitality of our**

community. Our shared local roots reflect our commitment to ensuring that the future use of this property aligns with the needs and values of the town.

B. Qualifications and Experience

3 Dimensional Physical Therapy was founded in 2011 with our first office located in Sharps Run Plaza in Medford, NJ. My partner Ken Guzzardo and I were responsible for taking the 3400 square foot space from vanilla shell to a state-of-the-art physical therapy office.

For this first office construction, we brought a unique combination of extensive knowledge of the healthcare industry, but minimal project construction management experience. We knew we needed to quickly become well-versed in the latter component in order to produce a physical therapy office we were proud of. As the owner and general contractor for the launch of 3 Dimensional Physical Therapy, we successfully oversaw a full-site redevelopment—from permitting and contractor coordination to compliance with healthcare-specific regulations and ADA standards. The product was a physical therapy office that continues to serve our patients and community for 13+ years.

Our qualifications included:

- **Project Oversight:** We managed all phases of the build-out process, including budgeting, subcontractor coordination, and timeline execution, ensuring the project remained on schedule and within budget.
- **Regulatory and Code Compliance:** We worked directly with Medford Township to obtain permits and pass all necessary inspections related to commercial occupancy, health and safety, and accessibility.
- **Stakeholder Coordination:** We led communication among architects, tradespeople, equipment vendors, and design consultants to ensure that all project aspects aligned with both operational needs and patient care standards.
- **Budget Management:** We managed construction and development budgets, negotiated contracts, and tracked expenditures to deliver a high-quality, cost-effective result.
- **Problem Solving Under Pressure:** We resolved unexpected site challenges and logistical issues quickly, leveraging strong organizational and decision-making skills to keep progress moving forward without compromising quality.

Our ability to manage complex, compliance-driven construction projects while balancing operational goals demonstrates that we are highly capable of overseeing redevelopment projects—particularly those with a healthcare or regulatory component. We did all of this while working a separate full-time job and setting up the infrastructure to start our physical therapy business.

3 Dimensional Physical Therapy has since opened 11 additional locations throughout the southern New Jersey and Philadelphia area. With each of these locations, we have been required to oversee the construction of each office to its completion, implementing the skills listed above. We are confident in

saying that with each office we have opened we have improved our ability to manage the project from beginning to end. Although we are physical therapists by trade, we have developed into expert construction project managers out of necessity and experience.

Below is a list of 11 additional spaces that we have developed into physical therapy offices:

1. 3DPT West Berlin 115 N. Route 73, Unit 80 West Berlin, NJ 08091 (completed 2015)
2. 3DPT Haddon Twp 413 Crystal Lake Ave. Unit 9 Haddon Twp, NJ 08033 (completed 2016)
3. 3DPT Cherry Hill 496 Kings Hwy N Suite 110 Cherry Hill NJ 08034 (completed 2019)
4. 3DPT Tabernacle 1572 Route 206, Suite 4 Tabernacle, NJ 08088 (completed 2020)
5. 3DPT Deptford 1500 Almonesson Rd. Suite 7 Deptford, NJ 08096 (completed 2021)
6. 3DPT Haddon Heights 500 Grove St. Suite 100 Haddon Heights, NJ 08035 (completed 2021)
7. 3DPT Hainesport 1509 Route 38 Suite 8 Hainesport, NJ 08036 (completed 2022)
8. 3DPT Williamstown 1155 S. Black Horse Pike Williamstown, NJ 08094 (completed 2022)
9. 3DPT Cinnaminson 2103 Branch Pike Unit 2 Cinnaminson, NJ 08077 (completed 2024)
10. 3DPT Old City 401 S. 2nd St. Philadelphia, PA 19147 (completed 2024)
11. 3DPT Jenkintown 261 Old York Rd. Suite 204 Jenkintown, PA 19046 (to be completed in June 2025)

We are on track to open 4 more physical therapy offices in 2026. We include this information to demonstrate that:

1. We are a growing company and therefore in need of a corporate headquarters
2. We are confident in taking on more construction management projects as we have developed a system for knowing how to execute the project from start to finish

C. Development Approach (see Concept Plan attached)

Our vision is to thoughtfully transform the town's historic library into the new corporate headquarters for 3 Dimensional Physical Therapy—a project that breathes new life into a beloved building while preserving its deep-rooted connection to the community. This is more than a renovation; it's a respectful evolution.

The original library, with its quiet charm and architectural character, will remain the heart of the space. We plan to preserve key architectural features—exterior brick walls, original wood shelving, and reading alcoves—as a tribute to the building's past. These elements will be woven into the design of open, collaborative workspaces, creating a unique atmosphere that will be modern and nostalgic at the same time.

Rather than stripping away the library's identity, we will reimagine it. The former fireplace area will become a break area/lounge for staff as well as a meeting space for local book clubs. The former children's reading area will serve as our company's conference area and meeting space. This area will also serve as a community education space, offering workshops on health, mobility, and injury prevention—much like the library once offered knowledge to all who walked through its doors. Some of

the original wood shelving will be preserved and will serve to house the books we collect for our annual community book drive. All collected books will be donated to Medford Twp. Schools for use in the classrooms.

By blending function with familiarity, the building will become a symbol of our mission: rooted in care, grounded in community, and open to growth. This headquarters will not only support our operational needs but also serve as a community touchpoint—a space that feels both professional and personal, where the values of small-town connection and lifelong learning remain at the forefront.

In honoring the library's legacy, we aim to create a headquarters that reflects who we are as a company: respectful of the past, committed to the present, and inspired by the future.

We believe it is important to include a brief description of 3 Dimensional Physical Therapy's commitment to the Medford community throughout our history. Company co-founder Ken Guzzardo currently resides in Medford Township and raises his family here. Company co-founder Jeff Sallade grew up in Medford Township, graduated from Shawnee High School and chose to return to this area to both raise his family and start his business.

From the beginning, 3 Dimensional Physical Therapy has been deeply rooted in the community—not just as a healthcare provider, but as an active partner in promoting wellness, education, and connection. We have built relationships beyond our clinic walls by participating in local events, offering free injury prevention workshops, partnering with schools and sports teams, and supporting small businesses through cross-promotions and referral networks. Below are a few examples:

- 2021 – Hosted a “small-business celebration” in Freedom Park to celebrate our 10th anniversary. This event open to the community attracted over 40 other small businesses and hundreds of residents
- An annual 5K race through downtown Medford (past the old library) that raises money for a charity of our choice. Our first race in October 2024 allowed us to donate \$20,000 to the Throw Cancer A Curveball charity.
- Partnerships/relationships with Medford Twp. Schools as well as all four LRHSD schools in the form of providing continuing education and guest speaking in classes as well as sponsorship of countless events at the schools
- Frequent free seminars hosted in our office open to the community providing education/insight into various health care topics
- Partnership with MYAA sports to provide injury prevention, rehabilitation, and on-site support that keeps athletes safe, healthy, and performing at their best.

Phasing Plan: Library-to-Corporate HQ Redevelopment

Overview

The project will be delivered in **5 strategic phases**, each with defined goals, resource needs, and outcomes. This phased approach minimizes risk, controls costs, and allows 3 Dimensional Physical Therapy to maintain momentum toward opening and profitability.

◆ Phase 1: Feasibility, Planning & Pre-Development (Months 0–3)

Goal: Establish project viability and secure necessary approvals and capital.

- Site and building assessment (structural, HVAC, plumbing, ADA compliance) by members of development team listed above
- Zoning, permitting and site plans consultation meeting with Medford Township
- Negotiation of sale price with Medford Township and execute library purchase
- Secure financing for construction with TD Bank

✓ **Deliverables:** Final site plan, budget, project timeline, pre-approval from Medford Township, financing commitment from TD Bank

◆ Phase 2: Design Development & Permitting (Months 3–5)

Goal: Finalize architectural and engineering plans; obtain all permits.

- Design architectural layout of building interior and exterior with Dan Nichols and Tri-County Development resulting in approved drawings
- Solve grading issue and parking lot expansion with engineer/planner (Ken Levers)
- Permit submissions and revisions
- Begin procurement of long-lead materials

✓ **Deliverables:** Approved construction drawings, issued permits, initial material orders

◆ Phase 3: Core Construction & Shell Renovation (Months 6–10)

Goal: Execute structural and infrastructure work to prepare the building for use.

- Demolition of building closest to parking lot
- Resolve grading problem
- Expansion of parking lot
- Structural repairs, roof, foundation
- Rough-in plumbing, electrical, HVAC
- Restore or preserve historic elements (e.g., shelving, windows)
- Install new framing, insulation, drywall

✓ **Deliverables:** Completed building shell and infrastructure; ready for finish work

◆ Phase 4: Interior Build-Out & Equipment Installation (Months 10–12)

Goal: Complete interior spaces, install equipment, and begin staff onboarding.

- Flooring, paint, cabinetry, fixtures
- Install IT equipment, complete conference/meeting room
- Final inspections for occupancy
- Furnish offices, meeting rooms, and lounge/break area

☒ **Deliverables:** Final certificate of occupancy, operational systems, team onboarding

◆ **Phase 5: Launch, Community Engagement & Optimization (Months 12+)**

Goal: Open the headquarters, engage the public, and begin operations.

- Soft launch for operations
- Ribbon-cutting/community open house
- Marketing campaign launch
- Community workshops/events in preserved public space

☒ **Deliverables:** Fully functional HQ, community presence, early revenue stabilization

D. Financial Feasibility

Since opening in 2011, 3 Dimensional Physical Therapy has experienced significant growth in office locations, number of employees and revenue. We are proud to say that our company has never paid a single penny in interest. All of our growth has been self-funded. Simply put, we use our profits to re-invest in our business.

Our company is well-positioned to undertake this redevelopment project due to its strong financial foundation, disciplined fiscal management, and consistent cash flow performance. Over recent years, we have demonstrated sustainable revenue growth and healthy profit margins, culminating in a stable balance sheet and a solid EBITDA that supports reinvestment into strategic initiatives.

Below is a history of 3 Dimensional Physical Therapy’s revenue and EBITDA for each of the last 3 years:

YEAR	REVENUE	EBITDA
2022	\$6,210,509	\$1,025,849
2023	\$8,333,723	\$1,386,544
2024	\$10,008,283	\$1,510,672

We have carefully structured our capital plan to support this redevelopment through a combination of existing retained earnings and access to commercial lending from TD Bank. Our low debt-to-income ratio and established relationships with TD Bank give us favorable borrowing capacity. We have already

initiated discussions with TD Bank regarding our best options to fund this project. Additionally, our operational model ensures that our physical therapy services will continue at all of our locations and will generate revenue throughout the redevelopment period, preserving working capital and minimizing risk.

This investment is not speculative—it is a natural expansion of our growth trajectory, designed to improve operational efficiency, consolidate leadership functions, and enhance patient and staff experience. With a clear financial roadmap, contingency planning, and a track record of responsible execution, we are fully equipped to see this project through to completion.

In summary, 3 Dimensional Physical Therapy represents the ideal partner for this redevelopment project. We offer a unique blend of community connection, operational expertise, and financial readiness, coupled with a clear vision for transforming this historic space into a vibrant, functional headquarters. Our commitment to honoring the building's legacy while driving future-focused innovation reflects both our respect for the past and our readiness to lead. With a deep understanding of healthcare operations, a proven ability to manage complex projects, and an unwavering dedication to community impact, we are confident that no team is better equipped—or more invested—in making this project a lasting success.



Exhibit A

AFFIRMATIVE ACTION CERTIFICATION

This form is a summary of the successful Respondent's requirement to comply with the requirements of N.J.S.A. 10:5-31 and N.J.A.C. 17:27.

The successful Respondent shall submit to the public agency, after notification of award but prior to execution of this contract, one of the following three documents as forms of evidence: (a) a photocopy of a valid letter that the contractor is operating under an existing Federally approved or sanctioned affirmative action program (good for one year from the date of the letter); or (b) a photocopy of a Certificate of Employee Information Report approval, issued in accordance with N.J.A.C. 17:27-4; or (c) a photocopy of an Employee Information Report (Form AA302) provided by the Division and distributed to the public agency to be completed by the contractor in accordance with N.J.A.C. 17:27-4.

The successful Respondent may obtain the Affirmative Action Employee Information Report (AA302) from the contracting unit during normal business hours.

The successful Respondent(s) must submit the copies of the AA302 Report to the Division of Contract Compliance and Equal Employment Opportunity in Public Contracts (Division). The Public Agency copy is submitted to the public agency, and the Respondent copy is retained by the Respondent.

The undersigned Respondent certifies that he/she is aware of the commitment to comply with the requirements of N.J.S.A. 10:5-31 and N.J.A.C. 17:27 and agrees to furnish the required forms of evidence.

The undersigned Respondent further understands that his/her RFP shall be rejected as non-responsive if said Respondent fails to comply with the requirements of N.J.S.A. 10:5-31 and N.J.A.C. 17:27.

Jeff Sallade - 3 Dimensional Physical Therapy
COMPANY/RESPONDENT'S NAME (PRINT)
[Signature]
AUTHORIZED SIGNATURE
Name (print): Jeff Sallade
Title: owner
Date: 5/8/25

Exhibit B

EQUAL EMPLOYMENT OPPORTUNITY

N.J.S.A. 10:5-31 et seq. (P.L. 1975, C. 127)

N.J.A.C. 17:27

GOODS, PROFESSIONAL SERVICE AND GENERAL SERVICE CONTRACTS

During the performance of any contract awarded in response to the RFP, the contractor agrees as follows:

The contractor or subcontractor, where applicable, will not discriminate against any employee or applicant for employment because of age, race, creed, color, national origin, ancestry, marital status, affectional or sexual orientation, gender identity or expression, disability, nationality or sex. Except with respect to affectional or sexual orientation and gender identity or expression, the contractor will ensure that equal employment opportunity is afforded to such Applicants in recruitment and employment, and that employees are treated during employment, without regard to their age, race, creed, color, national origin, ancestry, marital status, affectional or sexual orientation, gender identity or expression, disability, nationality or sex. Such equal employment opportunity shall include, but not be limited to the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and Applicants for employment, notices to be provided by the Public Agency Compliance Officer setting forth provisions of this nondiscrimination clause.

The contractor or subcontractor, where applicable will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified Applicants will receive consideration for employment without regard to age, race, creed, color, national origin, ancestry, marital status, affectional or sexual orientation, gender identity or expression, disability, nationality or sex.

The contractor or subcontractor will send to each labor union, with which it has a collective bargaining agreement, a notice, to be provided by the agency contracting officer, advising the labor union of the contractor's commitments under this chapter and shall post copies of the notice in conspicuous places available to employees and Applicants for employment.

The contractor or subcontractor, where applicable, agrees to comply with any regulations promulgated by the Treasurer pursuant to N.J.S.A. 10:5-31 et seq., as amended and supplemented from time to time and the Americans with Disabilities Act.

The contractor or subcontractor agrees to make good faith efforts to meet targeted county employment goals established in accordance with N.J.A.C. 17:27-5.2.

The contractor or subcontractor agrees to inform in writing its appropriate recruitment agencies including, but not limited to, employment agencies, placement bureaus, colleges, universities, and labor unions, that it does not discriminate on the basis of age, race, creed, color, national origin,

ancestry, marital status, affectional or sexual orientation, gender identity or expression, disability, nationality or sex, and that it will discontinue the use of any recruitment agency which engages in direct or indirect discriminatory practices.

The contractor or subcontractor agrees to revise any of its testing procedures, if necessary, to assure that all personnel testing conforms with the principles of job-related testing, as established by the statutes and court decisions of the State of New Jersey and as established by applicable Federal law and applicable Federal court decisions.

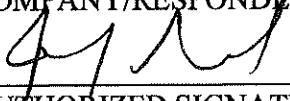
In conforming with the targeted employment goals, the contractor or subcontractor agrees to review all procedures relating to transfer, upgrading, downgrading and layoff to ensure that all such actions are taken without regard to age, race, creed, color, national origin, ancestry, marital status, affectional or sexual orientation, gender identity or expression, disability, nationality or sex, consistent with the statutes and court decisions of the State of New Jersey, and applicable Federal law and applicable Federal court decisions.

The contractor shall submit to the public agency, after notification of award but prior to execution of a goods and services contract, one of the following three documents:

- ☐ Letter of Federal Affirmative Action Plan Approval;
- ☐ Certificate of Employee Information Report; or
- ☐ Employee Information Report Form AA302 (electronically provided by the Division and distributed to the public agency through the Division's website at www.state.nj.us/treasury/contract_compliance)

The contractor and its subcontractors shall furnish such reports or other documents to the Division of Public Contracts Equal Employment Opportunity Compliance as may be requested by the office from time to time in order to carry out the purposes of these regulations, and public agencies shall furnish such information as may be requested by the Division of Public Contracts Equal Employment Opportunity Compliance for conducting a compliance investigation pursuant to Subchapter 10 of the Administrative Code at N.J.A.C. 17:27.

Jeff Sallade - 3 Dimensional Physical Therapy
COMPANY/RESPONDENT'S NAME (PRINT)


AUTHORIZED SIGNATURE

Name (print): Jeff Sallade

Title: owner

Date: 5/8/25

Exhibit C

AMERICANS WITH DISABILITIES ACT
Equal Opportunity for Individuals with Disabilities

The Respondent and the Township of Medford do hereby agree that the provision of Title II of the Americans with Disabilities Act of 1990 (the "ADA") (42 U.S.C. Section 12101 et seq.), which prohibits discrimination on the basis of disability by public entities in all services, programs and activities provided or made available by public entities, and the rules and regulations promulgated pursuant thereto, are made a part of this contract. In providing any aid, benefit or service on behalf of the Township pursuant to this contract, the Contractor agrees that the performance shall be in strict compliance with the ADA. In the event that the Contractor, its agents, servants, employees or subcontractors violate or are alleged to have violated the ADA during the performance of this contract, the Contractor shall defend the Township in any action or administrative proceeding commenced pursuant to this ADA. The Contractor shall indemnify, protect and save harmless the Township, its agents, servants and employees from and against any and all suits, claims, losses, demands or damages of whatever kind or nature arising out of or claimed to arise out of the alleged violation. The Contractor shall, at its own expense, appear, defend and pay any and all charges for legal services and any and all costs and other expenses arising from such action or administrative proceeding or incurred in connection therewith. In any and all complaints brought pursuant to the Township grievance procedure, the Contractor agrees to abide by any decision of the Township which is rendered pursuant to said grievance procedure. If any action or administrative proceeding results in an award of damages against the Township or if the Township incurs any expense to cure a violation of the ADA which has been brought pursuant to its grievance procedure, the Contractor shall satisfy and discharge the same at its own expense.

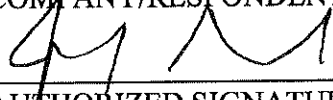
The Township shall, as soon as practicable after a claim has been made against it, give written notice thereof to the Contractor along with full and complete particulars of the claim. If any action or administrative proceeding is brought against the Township or any of its agents, servants, and employees, the Township shall expeditiously forward or have forwarded to the Contractor every demand, complaint, notice, summons, pleading or other process received by the Township or its representatives.

It is expressly agreed and understood that any approval by the Township of the services provided by the Contractor pursuant to this contract will not relieve the Contractor of the obligation to comply with the ADA and to defend, indemnify, protect, and save harmless the Township pursuant to this paragraph.

It is further agreed and understood that the Township assumes no obligation to indemnify or save harmless the Contractor, its agents, servants, employees and subcontractors for any claim which may arise out of their performance of this agreement. Furthermore, the Contractor expressly understands and agrees that the provisions of this indemnification clause shall in no way limit the Contractor's obligations assumed in this agreement, nor shall they be construed to relieve the Contractor from any liability, nor preclude the Township from taking any other actions available to it under any other provisions of this agreement or otherwise by law.

Jeff Sallade - 3 Dimensional Physical Therapy

COMPANY/RESPONDENT'S NAME (PRINT)



AUTHORIZED SIGNATURE

Name (print): Jeff Sallade

Title: Owner

Date: 5/8/25

Exhibit D

RESPONSIBLE RESPONDENT CERTIFICATION

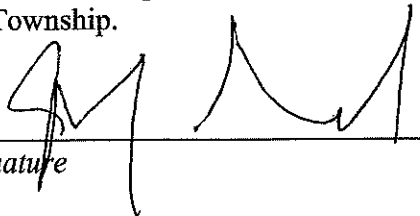
A copy of this certification must be included with the response to the RFP and must be fully completed, signed by at least one general partner, owner, or officer authorized to legally obligate the Respondent and notarized.

The Respondent recognizes that the information submitted in response to the RFP is for the express purpose of inducing the Township to award a contract to the Respondent. The Respondent has read and understands the requirements of the response to the RFP and has read and understands the instructions for completing the response. The Respondent acknowledges that he/she is duly authorized to provide the information contained in this response and that answering the questions in this bid is entirely within his/her control.

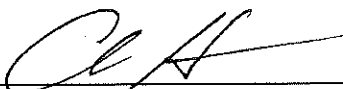
DECLARATION

I, Jeff Sallade (name), am the owner (title)
of Respondent.

I certify that I have read and understood the questions contained in the attached response, and that to the best of my knowledge and belief all information contained herein and submitted concurrently or in supplemental documents with this bid is complete, current, and true. I further acknowledge that any false, deceptive or fraudulent statements in the response may result in non-award of contract. I authorize the Township to contact any entity named herein, or any other internal or outside resource, for the purpose of verifying information provided in the questionnaire or to develop other information deemed relevant by the Township.


Signature

Sworn and subscribed before me on the
8 day of May, 2025.


Notary Public

(Seal)



Chase G Hiller
NOTARY PUBLIC
State of New Jersey
ID # 50194229
My Commission Expires
May 9, 2027

Exhibit E

FALSE STATEMENT PENALTIES CERTIFICATION

N.J.S.A. 40A:11-34

Any person who makes or causes to be made, a false, deceptive or fraudulent statement in the statement or answers in response to this RFP, or in the course of any hearing hereunder, shall be guilty of a misdemeanor, and upon conviction shall be punishable by a fine of not less than \$100.00 nor more than \$1,000.00, and shall be permanently disqualified from bidding on all public work or contracts of the contracting unit which submitted the questionnaire; or, in the case of an individual or an officer or employee charged with the duty of responding to the questionnaire for a person, firm, co-partnership, association or corporation, by such fine or by imprisonment, not exceeding 6 months, or both.

3 Dimensional Physical Therapy - Jeff Sallade
COMPANY/RESPONDENT'S NAME (PRINT)

[Signature]
AUTHORIZED SIGNATURE

Name (print): Jeff Sallade

Title: owner

Date: 5/8/25

Sworn and subscribed before me on the
8 day of May, 2025.

[Signature]
Notary Public

(Seal)



Chase G Hiller
NOTARY PUBLIC
State of New Jersey
ID # 50194229
My Commission Expires
May 9, 2027

Exhibit F

RESPONSIBLE RESPONDENT'S CHECKLIST

The following are screening statements which shall be used to determine whether or not a prospective Respondent is responsible to enter into a contract with the Township of Medford.

Refusal to answer or omission of response to any question in this checklist shall be considered a fatal flaw and shall result in disqualification of the Respondent.

A YES answer to any statement below shall require the Respondent to explain that answer to the Township Council prior to award of contract.

1. In the last five (5) years, has your firm, or any key Person in your firm, been convicted of a crime involving the awarding of a contract of a government (local, state or federal) construction project, or the bidding or performance of a government contract? ☐ Yes ☒ No
2. In the last five (5) years, has your firm, or any key Person in your firm, been "defaulted" or "terminated" by an owner (other than for convenience of the project owner) or has your surety completed a contract for your firm? ☐ Yes ☒ No
3. At the time of submitting this bid form, is your firm or any key Person in your firm, ineligible to bid on or be awarded any public works contract, or perform as a subcontractor on a public works contract? ☐ Yes ☒ No
4. Has your firm, or any key Person in your firm, ever been found guilty in a criminal action, for making any false claim or material misrepresentation to any public agency or entity? ☐ Yes ☒ No
5. In the last ten (10) years, has your firm, or any key Person in your firm, ever been convicted of a crime involving any federal, state or local contracts? ☐ Yes ☒ No

Jeff Sallade - 3 Dimensional Physical Therapy
COMPANY/RESPONDENT'S NAME (PRINT)

[Signature]
AUTHORIZED SIGNATURE

Name (print): Jeff Sallade

Title: owner

Date: 5/8/25