



CONSTRUCTION PERMIT APPLICATION

Application Completes: Sections I, II, III (optional), IV, VI, and VII

I. IDENTIFICATION

1. Proposed Work Site at: 27 Brower Dr Brick NJ 08712
 2. Name of Owner in Fee: Mr. Dion Natale Te [REDACTED]
 Address 2278 Waldheim Ave Scotch Plains NJ 07076
street municipality zip code
 3. Ownership in Fee: Public _____ Private ☒
 4. Principal Contractor: Home Mark Marine Tel. (732) 477-7874
 Address 509 Drum Point Dr Brick NJ 08723
 License No. OR, if new home, Builder Reg. No. 027034 Exp. Date _____
 Federal Employee No. 52-2010156 FAX: (732) 477-9295
 5. Architect or Engineer _____ Tel. (_____) _____
 Address _____
 6. Responsible Person in Charge of Work Dennis McKenna
 Tel. (732) 477-7874 FAX (732) 477-9295

installing 75' of new bulkhead 18" in front of The existing bulkhead. Pulling out old dock and replacing with a 6'x75' Cantilever dock

V. FEE SUMMARY (for office use only)

		Update	Update
1. Building	\$ <u>80</u>		
2. Electrical			
3. Plumbing			
4. Fire Protection			
5. Elevator Devices			
6. Subtotal	\$		
7. Less 20% for State Plan Review			
8. Subtotal	\$		
9. DCA Training Fee	<u>6</u>		
10. Subtotal			
11. Cert. of Occupancy <u>ED-7</u>	<u>15</u>		
12. Other			
13. TOTAL	\$ <u>101</u>		

VI. BUILDING/SITE CHARACTERISTICS

1. Number of Stories _____
 2. Height of Structure _____ ft.
 3. Area — Largest Floor _____ sq. ft.
 4. New Building Area 450 * sq. ft.
 5. Volume of New Structure _____ cu. ft.
 6. Construction Classification _____
 7. Total Land Area Disturbed _____ sq. ft.
 8. Flood Hazard Zone _____
 9. Base Flood Elevation _____ ft.
 10. Wetlands yes _____
 no _____
 11. Max. Live Load _____
 12. Max. Occupancy Load _____

(office use only)

II. PROPOSED WORK

1. ☐ Minor Work
 2. ☐ New Building
 3. ☐ Addition
 4. ☒ Alteration
 5. ☐ Fire Protection
 6. ☐ Plumbing
 7. ☐ Electrical
 8. ☐ Elevator Devices
 9. ☐ Asbestos Abat. Subch. 8
 10. ☐ Lead Hazard Abatement
 11. ☐ Demolition

Est. Cost

6460.00

TOTAL COSTS

6460.00

OPTIONAL (for office use only)

Plans Rec'd by	Date Rec'd	Rejection Date	Approval Date	Re-viewer	Resubmission Dates Approval	Rejection	Re-viewer
<u>NA</u>	<u>11/16/02</u>				<u>10/25/03</u>		
<u>EW</u>	<u>11/13/02</u>	<u>11/13/02</u>					

IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?

1. ☐ Elevators/Escalators/Lifts/
Dumbwaiters/Moving Walks
 2. ☐ High Pressure Boilers
 3. ☐ Pressure Vessels
 4. ☐ Refrigeration Systems
 5. ☐ Cross-Connections/Backflow Preventers
 6. ☐ Hazardous Uses/Places of Assembly
 7. ☐ Sprinklers
 8. ☐ Smoke Control Systems in Open Wells
 9. ☐ Underground Storage Tanks

VII. DESCRIPTION OF BUILDING USE

A. RESIDENTIAL

1. ☐ Hotels (R-1)
 2. ☐ Multi-Family (R-2)
 3. ☐ Two-Family (R-3) BOCA
 4. ☐ Two-Family (R-4) CABO
 5. ☒ One-Family (R-3) BOCA
 6. ☐ One-Family (R-4) CABO

No. of dwelling units:

Before Construction _____
 After Construction _____
 Net Gain or Loss _____

B. NON-RESIDENTIAL

1. State Specific Use:

2. Use Group:

3. Change in Use Group, Indicate Former:

III. DO YOU WANT: (optional)

1. ☐ Partial Releases
 2. ☐ Prototype Processing

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

- A. ☐ I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

- B. ☐ I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.vii:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

- C. ☐ I further certify that I will perform or supervise the following work:

C.1. ☐ Building C.2. ☐ Fire Protection

I further certify that I will perform the following work:

C.3. ☐ Electrical C.4. ☐ Plumbing

- D. ☐ I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:32-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

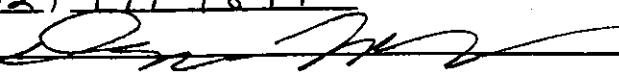
☐ Check if contractor.

Agent Name Home Mark Marine

Address 509 Drum Point Rd.

Brick N.J. 08723

Telephone (732) 477-7874

Signature 

- III. ☐ LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.

OFFICE DATE RECEIVED: _____

VIII. PRIOR APPROVALS CHECKLIST (office use only)	LOCAL APPROVAL		COUNTY APPROVAL		REGIONAL APPROVAL		STATE APPROVAL		COMMENTS
	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	
☐ Zoning Officer									
☐ Planning Board									
☐ Zoning Board									
☐ Sewer Authority									
☐ Water Authority									
☐ Police Department									
☐ Health Department									
☐ Soil Conservation									
☐ N.J. Department of Community Affairs									
☐ N.J. Department of Transportation									
☐ N.J. Department of Environmental Protection									
☐ Utility Dig No.									
☐									
☐									

IMPORTANT
A.H.B.T. - EXEMPT

IX. SUBCODES AND SPECIAL REGULATIONS APPLICABLE (office use only—optional)

Name of Code & Edition	Name of Code & Edition	Other
Building _____	Energy _____	
Electrical _____	Barrier Free _____	
Plumbing _____	Flood Hazard _____	
Fire Protection _____	As Built Elevation Cert. _____	
Mechanical _____	Other _____	

X. CERTIFICATES ISSUED (office use only)

	DATE ISSUED	DATE EXPIRED	DATE REISSUED	DATE EXPIRED
☐ Temporary Certificate of Occupancy	No. _____	_____	_____	_____
☐ Temporary Certificate of Compliance	No. _____	_____	_____	_____
☐ Continued Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Compliance	No. _____	_____	_____	_____
☐ Certificate of Occupancy	No. _____	_____	_____	_____
☐ Certificate of Approval	No. _____	_____	_____	_____
☐ Lead Abatement Clearance Certificate	No. _____	_____	_____	_____

TOWNSHIP OF BRICK
401 CHAMBERS BRIDGE RD
DIVISION OF INSPECTIONS

Date Issued 11/22/2002
Control #
Permit # 02-4508

UCC NEW JERSEY
CONSTRUCTION
PERMITE

IDENTIFICATION Block 27.01 Lot 40

Work Site Location 27 BROOKER DR

BULKHEAD/CANTILEVER DOCK

Owner in Fee NATALIE DICH

Address 2278 WALCOTT AVE

SCOTCH PLAINS, NJ 07076

Telephone

Contractor HOMEHARK HOMES

Address 509 DRUM PT RD

BRICK, NJ 08723-

Telephone (732) 477-7874

Lic. No. or Bldrs. Reg. No.

Federal Exp. No. 52-2010156

Is hereby granted permission to perform the following work:

- (X) BUILDING () PLUMBING () LEAD HAZARD ABATEMENT
() ELECTRICAL () FIRE PROTECTION () REMEDIATION
() ELEVATOR DEVICES () ASBESTOS ABATEMENT () OTHER

(Subchapter 8 only)

DESCRIPTION OF WORK:

75' BULKHEAD 18" IN FRONT OF EXISTING BULKHEAD; REMOVE OLD DOCK AND
REPLACE WITH 4X75 CANTILEVER DOCK.

NOTE: If construction does not commence within one (1) year of date of issuance,
or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 6,460

Construction Official

11/22/2002

U.C.C. F170 (rev. 3/96)

Date

PAYMENTS (Office Use Only)

Building 80
Electrical 0
Plumbing 0
Fire Protection 0
Elevator Devices 0
Other
DCA State Permit Fee 6
Cert. of Occupancy 0
Other 1549
Total 1635
Check No. 5790
Cash
Collected By JB

11/22/02 11:03AM 000000H6332
XX06 SERV.006

#024508 BUILDING \$80.00
DCA \$6.00
EPA \$15.00
CHECK \$101.00

Date Received 11/06/2002
Date Issued 11/22/02
Control # C13-89
Permit # 02-4508

02-4508

Federal Emp. No. 52-2010156

Total Land Area Disturbed-----

0 Sq. Ft.

HUD

C.C. F110 (rev. 3/96)

TOWNSHIP OF BRICK
401 CHAMBERS BRIDGE RD
DIVISION OF INSPECTIONS

UCC NEW JERSEY
BUILDING
SUBCODE
TECHNICAL SECTION

Date Received 11/06/2002
Date Issued 11/22/02
Control # C13-89
Permit # 02-4508

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION, WHEN CHANGING
CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000

Block 89.01 Lot 40 Qual
Work Site Location 27 BROOKER DR

BULKHEAD/CANTILEVER DOCK

Owner in fee NATALE, DION
Address 2278 WALDHEIM AVE
SCOTCH PLAINS, NJ 07076-

Tele. [REDACTED]
Contractor HOMEMARK HOMES

Address 509 DRUM PT RD
BRICK, NJ 08723-

Tele. (332)477-7874 Fax ()
Lic. No. or Bldrs. Reg. No.

Federal Exp. No. 52-2010156

JOB SUMMARY (Office Use Only)

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)
☒ No Plans Req.	11-22-02	TP	Type	Failure Failure Approval Initial
☐ All			Footings	
☐ Footing			Foundation	
☐ Foundation			Slab	
☐ Frame			Frame	
☐ Other			Barrierfree	
Joint Plan Review Required:			Insulation	
☐ Elect ☐ Plumb ☐ Fire			Finishes	
SUBCODE APPROVAL ☐ Elev			Energy	
☐ CO ☐ CCO ☐ CA			Mechanical	
Date:			TCO	
Approved By:			Other	
			Final	
			Barrierfree	

B. BUILDING CHARACTERISTICS

Use Group	Present U	Proposed U	Est. Cost of Bldg. Work:
Constr. Class	Present	Proposed	1. New Bldg. \$ 0
No. of Stories	0	0	2. Alteration \$ 6,460
Height of Structure	0 Ft.	0 Ft.	3. Total (1+2) \$ 6,460
Area largest Floor	0 Sq. Ft.	0 Sq. Ft.	Industrialized Building:
New Bldg. Area/All Floors	0 Sq. Ft.	0 Sq. Ft.	☐ State Approved
Volume of New Structure	0 Cu. Ft.	0 Cu. Ft.	☐ HUD
Total Land Area Disturbed	0 Sq. Ft.	0 Sq. Ft.	

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner
of record and am authorized to make this application.

Signature

D. TECHNICAL SITE DATA
DESCRIPTION OF WORK

75" BULKHEAD 18" IN FRONT OF EXISTING BULKHEAD; REMOVE OLD DOCK AND
REPLACE WITH 6X75 CANTILEVER DOCK

NOT U.C.C. Required Permit

TYPE OF WORK	FEE (Office Use Only)
☐ New Building	\$ 0
☐ Addition	0
☒ Alteration	0
☐ Roofing	0
☐ Siding	0
☐ Fence 0 Height (exceeds 6')	0
☐ Sign 0 Sq. Ft.	0
☐ Pool	0
☐ Asbestos Abatement Subchapter 8	0
☐ Lead Haz. Abatement NAC 5:17	0
☒ Other BULK/DOCK 150'	80
Other	0
☐ Demolition	0

Paid ☐ Check #	Administrative Surcharge	\$ 0
Collected by:	Minimum Fee	\$ 0
	TOTAL FEE	\$ 80
	DCA State Permit Fee	\$ 6

COUNTY OF OCEAN	
CONSIDERATION	DOVE
REALTY TRANSFER FEE	EXEMPT
DATE	7/20/98 BY [Signature]



State of New Jersey

Christine Todd Whitman
Governor

Department of Environmental Protection

Land Use Regulation Program
P.O. Box 439, Trenton, New Jersey 08625
FAX # (609) 777-3656
FAX # (609) 292-8115Robert C. Shinn, Jr.
Commissioner**Authorization for Waterfront Development General Permit
and CENAP-OP-R-New Jersey-SPGP-17**Thomas C. Meyers
Meyers Marine Contractors, Inc.
PO BOX 673
Point Pleasant, NJ 08742-0673Applicant: Edward & Karlene Liashek
LURP File No.: 1506-98-0044.1
Block: 89.01 , Lot: 40
Brick Township, Ocean County
Effective Date: 6/30/98

Dear Mr. Meyers:

The Land Use Regulation Program hereby issues a General Permit authorization pursuant to the Coastal Permit Program Rules at N.J.A.C. 7:7-7 and the Waterfront Development Law (N.J.S.A.) addition, the Department of the Army Permit (CENAP-OP-R-New Jersey-SPGP-17) is hereby issued and attached.

This permit authorizes the construction of a 75' of new bulkhead 18" in front of the existing bulkhead and a 6' X 75' dock on a man-made lagoon.

The approved development is as shown on plans submitted by the applicant with the permit application.

By this permit, the State of New Jersey does not relinquish tidelands ownership or claim to any portion of the subject property or adjacent properties.

Project Specific Conditions

In addition to the conditions noted at N.J.A.C. 7:7-7.2, the activities allowed by this authorization shall comply with the conditions as indicated on the attached sheet. Failure to comply with these conditions shall constitute a violation of the Coastal Area Facility Review Act (N.J.S.A. 13:19-1 et seq.) and/or the Waterfront Development Law (N.J.S.A. 12:5-3)

Standard Permit Conditions

The following standard conditions apply:

1. This permit is NOT VALID until the **permit acceptance form** has been signed by the applicant, accepting and agreeing to adhere to all permit conditions, and returned to the appropriate regional office within the Land Use Regulation Program

2. This permit, including all conditions listed herein, shall be recorded in the office of the County Clerk (the Registrar of Deeds and Mortgages if applicable) in the county or counties wherein the lands included in the permit are located within ten (10) days after receipt of the permit by the applicant. A copy of the recorded permit shall be forwarded to the Land Use Regulation Program immediately thereafter.
3. The permittee shall notify, in writing, the NJDEP, Bureau of Coastal and Land Use Enforcement at 1510 Hooper Avenue, Toms River, NJ 08753, three working days prior to the commencement of construction on the site or site preparation.
4. The issuance of this permit shall in no way expose the Department to liability for the sufficiency or correctness of the design of any construction or structures. Neither the State nor the Department shall be liable for any loss of life or property which may occur by virtue of the activity or development resulting from any permit.
5. The permittee shall allow the authorized representatives of the Department free access to the site at all time when construction activity is taking place, and at other times upon notice to the permittee.
6. The activities shown by plans and/or other engineering data, which are this day approved, shall be constructed and/or executed in conformity with such plans and/or engineering data and conditions herein. No change in plans or specifications upon which this permit is issued shall be made except with the prior written permission of the Department, in accordance with N.J.A.C. 7:7-4.10.
7. A copy of this permit and approved plans shall be kept at the construction site and shall be exhibited upon request to any person.
8. The permittee shall immediately inform the Department of any unanticipated adverse effects on the environment not described in the application or in the conditions of this permit. The Department may, upon discovery of such anticipated adverse effects, and upon the failure of the permittee to submit a report thereon, notify the permittee of its intent to suspend the permit, pursuant to N.J.A.C. 7:7-4.11.
9. This permit does not waive the obtaining of any local, State or Federal permits which may be required. This permit is not valid and no work shall be undertaken until such time as all other required approvals and permits have been obtained.
10. All fill and other earth work on the lands encompassed within this permit authorization shall be stabilized in accordance with "Standards for Soil Erosion and Sediment Control in New Jersey," (obtainable from local Soil Conservation District Offices) promulgated by the New Jersey State Soil Conservation Committee, pursuant to the soil Erosion and Sediment Control Act of 1975,

N.J.S.A. 4:24-42 et. seq. and N.J.A.C. 2:90-1.3 through 1.14.
These standards are hereby incorporated by reference.

Duration of Authorization/Notification of Work

This authorization for a General Permit is valid for a term not to exceed five years from the date of receipt from the Department. If the term of this authorization exceeds the expiration date of the general permit issued by rule, and the permit upon which the authorization is based is modified by rule to include more stringent standards or conditions, the permittee must comply with the requirements of the new regulations by applying for a new General Permit authorization unless construction is already underway. If this General permit is not reissued, the permittee must apply for an individual CAFRA permit unless construction pursuant to the prior General Permit is underway. The expiration date of the General Permits issued by rule is June 24, 1999.

In order to promote inter-governmental cooperation in management of our natural resources, a copy of this decision shall be shared with appropriate local and federal agencies.

If you have any questions regarding this General Permit authorization, please contact the Program at (609) 777-0456. Please reference the permit number in any future communication concerning this action.

Sincerely,



Mark Fedorowycz, Supervisor
Land Use Regulation Program

- c. Bureau of Coastal and Land Use Enforcement
Municipal Construction Official

CONSTRUCTION CONDITIONS FOR WATERFRONT DEVELOPMENT GENERAL PERMITS

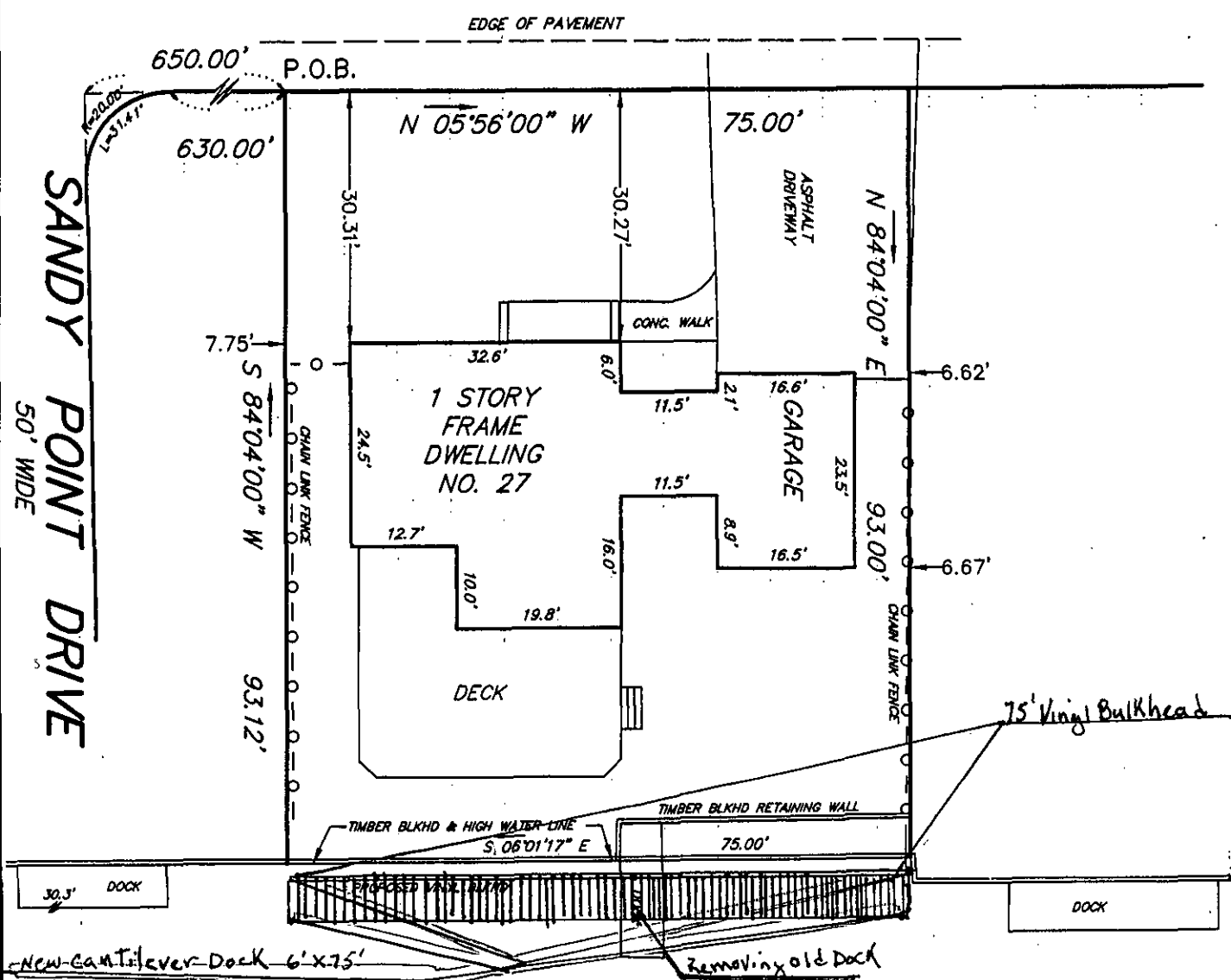
THIS WATERFRONT DEVELOPMENT GENERAL PERMIT IS SUBJECT TO THE
FOLLOWING CONDITIONS:

1. The replacement bulkhead must be constructed within 18" of the original bulkhead alignment as shown on the referenced plans, as measured from the waterward side of the old sheathing to the waterward side of the new sheathing.
2. All backfill material for the proposed bulkhead shall be from an upland source and be free of any toxic contaminants. No dredging shall take place.
3. The proposed dock/pier is not to exceed the dimensions as specified in the above description.
4. The clearance between the proposed dock/pier and the water surface at mean high tide (as measured from the bottom of the stringers) shall be a minimum of one-half the width of the proposed structure. Floating docks are not subject to the height requirement.
5. Space between horizontal planking shall be maximized and the width of the planking shall be minimized. Under normal circumstances a minimum of 3/8", 1/2", 3/4" or 1" spacing is to be provided for 4", 6", 8-10" or 12"+ wide planks respectively.
6. No more than 4 vessels may be moored at this location at any time. All structures and mooring areas shall be within the permittee's property line extension and within the area of the Tideland's instrument.
7. Unless specifically approved in the attached Waterfront Development permit, this permit does NOT authorize dredging activities. If dredging is required in the future a new Waterfront Development Application, showing compliance with 7:7E-4.2(f)-Maintenance Dredging, will be required to be submitted to this Program.

NO ATTEMPT WAS MADE TO DETERMINE IF ANY
PORTION OF THESE PREMISES IS CLAIMED BY
THE STATE OF NEW JERSEY OR THE UNITED
STATES OF AMERICA AS TIDELANDS OR WETLANDS



BROWER DRIVE
33' WIDE



MAYFLOWER LAGOON

ALSO KNOWN AS LOT 40 BLOCK 89.01 ON
THE BRICK TOWNSHIP TAX MAP.

12 ft. Shore Guard sheets Vinyl bulkhead

SURVEY OF PROPERTY
LOT 40 & 1/2 LOT 41 BLOCK 1
SANDY POINT

BRICK TOWNSHIP
OCEAN COUNTY NEW JERSEY
Filed Map No. D-413 DATE FILED 10/2/57
THIS SURVEY IS CERTIFIED AS HAVING BEEN PREPARED
UNDER MY DIRECT SUPERVISION TO:
DION NATALE

MORRIS & GLASGOW, INC.
LAND SURVEYING & PLANNING
1119 ARNOLD AVENUE
POINT PLEASANT BOROUGH, N.J. 08742
732-899-0965

Elbert Morris 10/24/02
ELBERT MORRIS Date
New Jersey Lic. Professional Land Surveyor No. 8509

I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY
MADE ON THE GROUND AS PER RECORD DESCRIPTION
AND IS CORRECT AND THERE ARE NO ENCROACHMENTS
EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN

Date:	Scale:	Job No.	Map No.
10/22/02	1"=20'	02-224	2-3232

Township of Brick

Counter Form
(PLEASE PRINT)

Site Location: 27 Brower Dr. Brick N.J. 08723
 Block: 89.01 Lot: 40
 Owner's Name: Dion Natale
 Owner's Mailing Address: 2278 Waldheim Ave.
Brick N.J. 07076
 Phone: [REDACTED]

BUILDING

Contractor: Home Mark Marino
 Address: 509 Drum Point Rd
Brick N.J. 08723
 Phone#: 732-477-7874
 Lis # 022034
 Federal Emp # or SSN 522010156

Technical Data

Description of Work:

installing 75' of new bulkhead 18" in
 front of the existing bulkhead.
 Pulling out old dock and replacing
 with a 6' x 70' cantilever dock removing
 old dock

Type of Work

☐ New Building ☐ Siding
☐ Addition ☐ Fence
☒ Alteration ☐ Pool
☐ Roofing ☐ Demolition
☐ Asbestos Abatement ☐ Sign 6460.00 sq ft

Building Characteristics

Use Group Present: ☐ Proposed: ☐
 No of Stories: 1
 Height of Structure: 10
 Area of the largest floor: 6460
 Area of New Building: 6460
 Volume of Structure: 1
 Total Land Disturbed: 6460

Cost of Alteration: 6460.00

Cost of New Building: 0

Total Cost of Building Work: 6460.00

Signature: Dion Natale

Please Print Name Dennis McKenna

ELECTRICAL

Contractor: Home Mark Marino
 Address: 509 Drum Point Rd
Brick N.J. 08723
 Phone#: 732-477-7874
 Lis # 022034
 Federal Emp # or SSN 522010156

Technical Data

Item	Quantity
Lighting Fixtures	
Receptacles	
Switches	
Detectors	
Light Poles	
Motors w/ Fract. HP	
Emergency & Exit Lights	
Communication Points	
Alarm Devices/FAC Panel	
Total	

Pool 0
 Spa/Hot Tub/Storable Pool 0
 Electric Range 0 KW
 Oven/Surface Unit 0 KW
 Electric Water Heater 0 KW
 Electric Dryer 0 KW
 Dishwasher 0 KW
 Garbage Disposal 0 HP
 A/C Unit - Central Air 0 KW
 Space Heater/Air Handler 0 KW
 Baseboard Heating 0 KW
 Motors 1+ HP 0
 Transformer/Generator 0 KW
 Light Stander 0 AMP
 Service 0 AMP
 Subpanel 0 AMP
 Motor Control Center 0 AMP
 Sign/Outline Light 0 KW
 Furnace 0
 Steam Boiler 0
 Other: 0

Estimated Cost of Electrical Work: 0

Signature: Dion Natale

Please Print Name Dennis McKenna

CONTRACTOR'S SEAL

Counter Form
PLEASE PRINT

PLUMBING

FIRE

Contractor: _____
Address: _____
Phone #: _____
Lis #: _____
Federal Emp # or SSN _____

Contractor: _____
Address: _____
Phone #: _____
Lis #: _____
Federal Emp # or SSN _____

Technical Data

Fixtures	Quantity
Water Closets	_____
Urinals/Bidets	_____
Bath Tub	_____
Lavatory	_____
Shower	_____
Floor Drain	_____
Sink	_____
Dishwasher	_____
Drinking Fountain	_____
Washing Machine	_____
Hose Bib	_____
Gas Piping	_____
Fuel Oil Piping	_____
Water Heater	_____
Steam Boiler	_____
Hot Water Boiler	_____
Sewer Pump	_____
Interceptor/Separator	_____
Backflow Preventer	_____
Greasetrap	_____
Water Cooled A/C or Refrig. Unit	_____
Septic Tank Closure	_____
Sewer Service Connection	_____
Water Service Connection	_____
Active Solar System	_____
Auxiliary Meter	_____
Sprinkler Heads	_____
Sump Pump	_____
Other:	_____

Estimated Cost of Plumbing Work _____

Signature: _____

Please Print Name: _____

CONTRACTOR'S SEAL

Technical Data

Description of Work:
Heating Type: _____ Gas _____ Oil _____ Electric _____ Solar
Heating System is _____ New _____ Existing
Location of Furnace/Boiler: _____

Water Supply Source _____
Method of Valve Supervision _____
Local Alarm Supervision _____
Central Supervision: _____
Proprietary Supervision: _____

Flammable Storage Tanks _____ capacity _____ fuel
Combustible Storage Tanks _____ capacity _____ fuel
LPG Storage Tanks _____ capacity _____ fuel

Item	Quantity
Wet Sprinkler Heads	_____
Dry Sprinkler Heads	_____
Total	_____

Smoke Detectors _____
Heat Detectors _____
Total _____

Stand Pipes _____
Kitchen Hood Exhaust System _____

Pre-Engineered Systems:
CO2 Suppression _____
Halon Suppression _____
Foam Suppression _____
Dry Chemical _____
Wet Chemical _____

Gas/ Oil Fired Appliances:
Number of gas/oil fired appliances _____

Furnace _____
Gas/Wood Fireplace _____
Gas Logs _____
Wood Burning Stove _____
Other: _____

Estimated Cost of Fire Work _____

Signature: _____

Print Name: _____

TOWNSHIP OF BRICK

BULKHEAD/DOCK REVIEW

CHECKLIST

BLOCK 89.01 LOT 40 DATE RECEIVED _____

PROPERTY ADDRESS 27 Brower Dr. Brick N.J. 08723

APPLICANT Mr. Dean Natale PHON [REDACTED]

ADDRESS 2278 Waldheim Ave. Scotch Plains NJ. 07076

CONTRACTOR Home Mark Marine PHONE 732-477-7874

ADDRESS 509 Drum Point Rd. Brick N.J. 08723

TYPE OF WORK installing 75' of new bulkhead 18" in front of The Existing bulkhead. Pulling out old dock and replacing with a 6' x 75' cantilever dock removing old dock

		YES	NO	N/A
1.	PLANS/DETAILS SIGNED & SEALED	X		
2.	SCALE OF NOT LESS THAN 1"=50'	X		
3.	PROPERTY LINES, CORNERS, BEARINGS & DISTANCES	X		
4.	DRAINAGE PIPES/OUTFALLS/EASEMENTS	X		
5.	NORTH ARROW	X		
6.	PROPERTY ADDRESS/LOT & BLOCK NUMBER	X		
7.	EXISTING STRUCTURES/DWELLINGS	X		
8.	M.H.W.L. ELEVATION	X		
9.	EXISTING BULKHEAD/DOCK LOCATION	X		
10.	PROPOSED BULKHEAD/DOCK LOCATION	X		
11.	BULKHEAD/DOCK DETAIL (ELEVATION/PROFILE)	X		
12.	FACE/ANCHOR PILING TYPE/SIZE/LENGTH	12' X		
13.	SHEET PILING TYPE/SIZE/LENGTH	12' X		
14.	WALER TYPE/SIZE/LENGTH	6x14 X		
15.	TIE ROD SIZE/LENGTH	12' X		
16.	CAP/HARDWARE/OTHER MISCELLANEOUS ITEMS	X	✓	
17.	TOP OF BULKHEAD ELEVATION	X		
18.	DISTANCE - TOP OF BULKHEAD TO SOLID BOTTOM	6' X	✓	
19.	BEVEL CUT DETAIL	X		
20.	PIPE PENETRATION DETAILS	X	✓	
21.	PRIOR APPR. ARMY CORP/NJDEP	X	✓	
22.	BOAT LIFT DETAIL	X	✓	
23.	DOCK LIGHTING FOR REFLECTOR TAPE, ETC.	X	✓	
24.	DRAG LOG SIZE, TYPE, LENGTH	X	✓	

BULKHEAD/DOCK REVIEW

APPROVED 11/15/02 REJECTED _____

[Signature] 11/15/02
SIGNED DATE

FIELD INSPECTION

APPROVED _____ REJECTED _____

SIGNED _____ DATE _____

FINAL INSPECTION

APPROVED _____ REJECTED _____

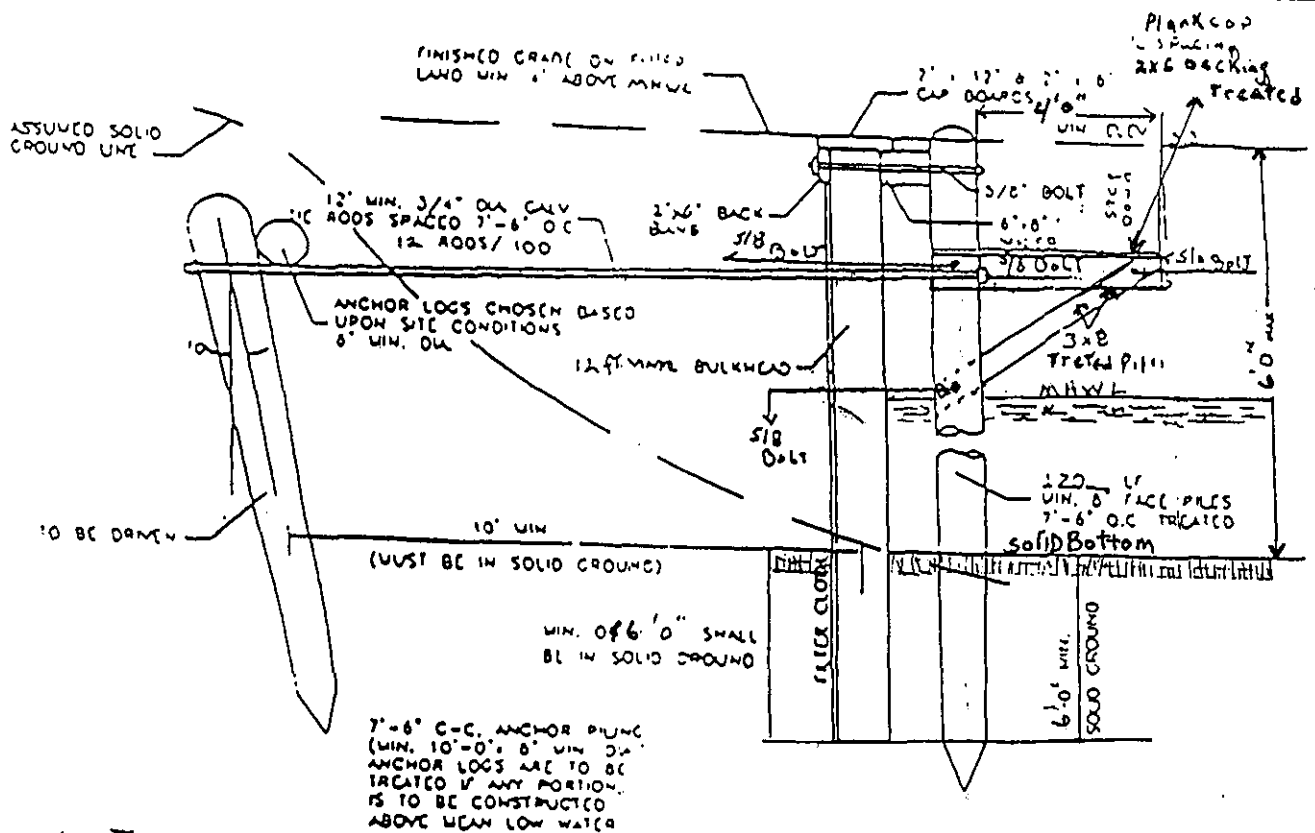
SIGNED _____ DATE _____

COMMENTS _____

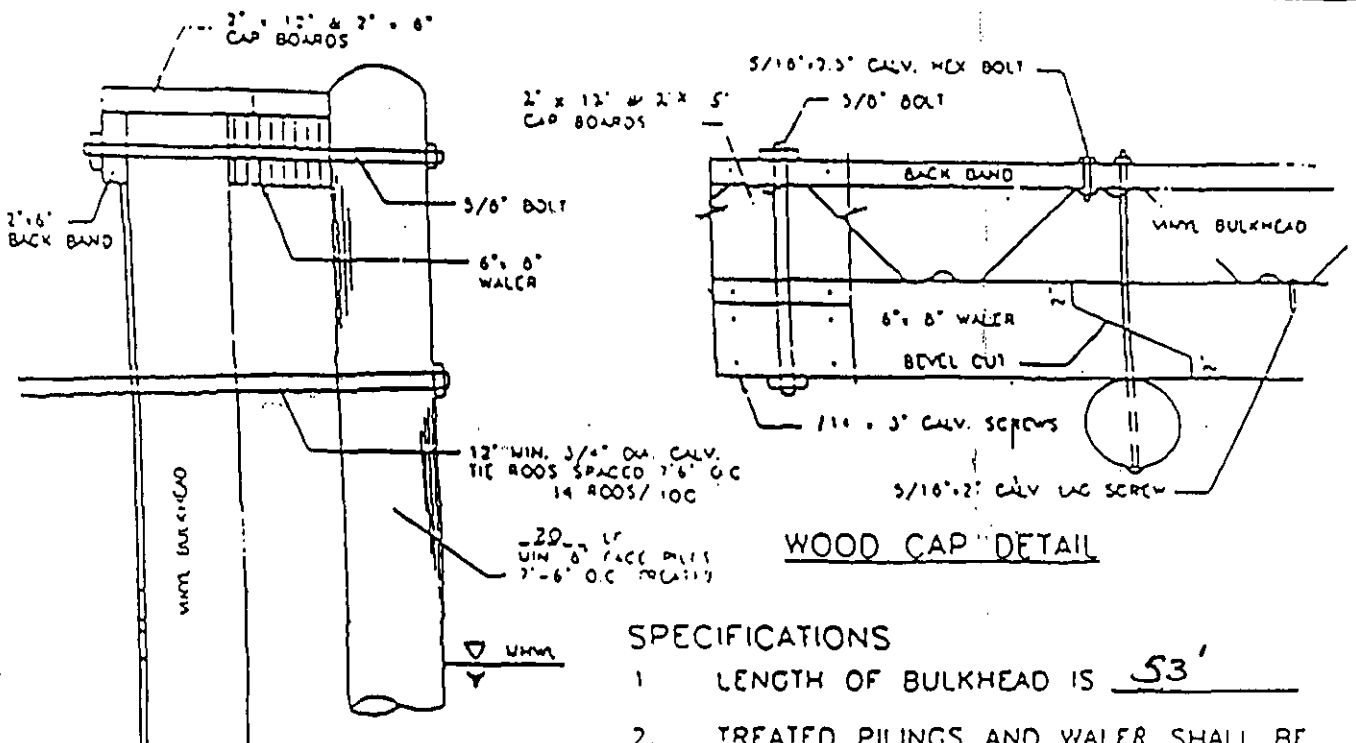
FLOOD ZONE

A56

15 Long Point Dr



CANTILEVER DOCK DETAIL



WOOD CAP DETAIL

SPECIFICATIONS

1. LENGTH OF BULKHEAD IS 53'
2. TREATED PILINGS AND WALE SHALL BE DOUGLAS FIR, SOUTHERN YELLOW CYPRESS
3. THE BULKHEAD WALES AND PILINGS SHALL BE PRESSURE TREATED W/2.5 LBS OF C.C.A PER CUBIC FOOT OF TIMBER OR A/E.
4. ALL METAL TO BE HOT DIPPED GALVANIZED

12' C-Lok Vinyl sheets

Dave R. Magno
DAVE R. MAGNO
 PROFESSIONAL ENGINEER N.J. LIC. NO. 38896
 PROFESSIONAL PLANNER N.J. LIC. NO. 02678

CHALLONER & MAGNO
ENGINEERING
INC.
 CONSULTING ENGINEERS AND DESIGN PROFESSIONALS
 201 Main Street, 2nd Floor
 Tom's River, New Jersey 08753
 Phone 732-818-9580 Fax 732-818-9981

Date: _____ Scale: N.T.S. Drawn By: AW Checked By: _____

VINYL BULKHEAD DETAIL W/POLES

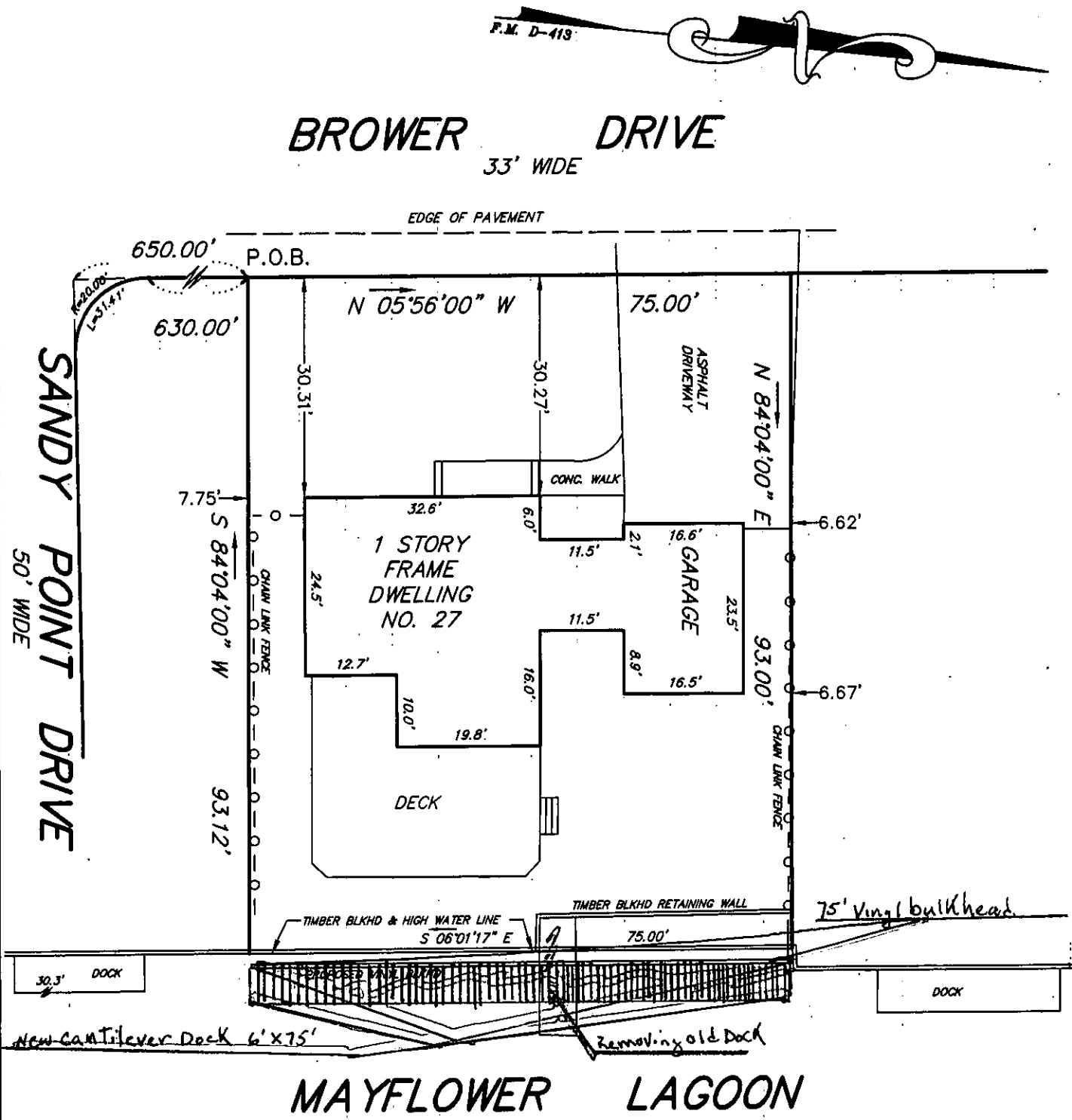
BLOCK 252.18 LOT 8

SITUATED IN
 TOWNSHIP OF BRICK
 OCEAN COUNTY NEW JERSEY

Date: _____ Drawn By: N/A Checked By: _____ OF _____

NO ATTEMPT WAS MADE TO DETERMINE IF ANY
PORTION OF THESE PREMISES IS CLAIMED BY
THE STATE OF NEW JERSEY OR THE UNITED
STATES OF AMERICA AS TIDELANDS OR WETLANDS

P.M. D-413



ALSO KNOWN AS LOT 40 BLOCK 89.01 ON
THE BRICK TOWNSHIP TAX MAP.

SURVEY OF PROPERTY
LOT 40 & 1/2 LOT 41 BLOCK 1
SANDY POINT
BRICK TOWNSHIP
OCEAN COUNTY NEW JERSEY
Filed Map No. D-413 DATE FILED 10/2/57
THIS SURVEY IS CERTIFIED AS HAVING BEEN PREPARED
UNDER MY DIRECT SUPERVISION TO:
DION NATALE

MORRIS & GLASGOW, INC.
LAND SURVEYING & PLANNING
1119 ARNOLD AVENUE
POINT PLEASANT BOROUGH, N.J. 08742
732-899-0965
Elbert Morris 10/24/02
ELBERT MORRIS Date
New Jersey Lic. Professional Land Surveyor No. 8509

I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY
MADE ON THE GROUND AS PER RECORD DESCRIPTION
AND IS CORRECT AND THERE ARE NO ENCROACHMENTS
EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN

Date:	Scale:	Job No.	Map No.
10/22/02	1"=20'	02-224	2-3232