

MUNICIPALITY OF PRINCETON
ZONING PERMIT APPLICATION

Permit # <u>223-395</u>	Date Received: <u>6-27-23</u>	Fee: \$60.00 (residential) \$80.00 (commercial)
<u>[Signature]</u> Derek W. Bridger, Zoning Officer	<u>6/27/23</u> Date of Approval	

Application for: ☒ A/C Condenser Unit
☐ Fence
☐ Generator
☐ Transformer
☐ Above-Ground Fuel Tank
☐ Solar Panels

Please check any that apply: ☒ New
☐ Replacement
☐ Residential
☐ Commercial

Owner: Liz and Andrew Naumann

Address: 63 Stony Brook Lane
Princeton, NJ 08540

Contractor: Abe Reuther

Contact email: abe@redemptionfrc.com

Property Address: 25 Birch

Phone # [REDACTED]

Block: 6902 Lot: 14 Zone: R-9

Phone # 609-219-969-1828

Checklist:

- Will any trees be impacted or removed in connection with this project? Yes ☐ No ☒
If yes, tree removal permit is required.
- Is the property located in a Historic District? If yes, letter of approval is required. Yes ☒ No ☐
- Provide two copies of current survey to scale, showing locations of ALL structures, including walkways, proposed fence, air conditioner condenser, generator, solar panels and above ground fuel tank and transformers
- Provide specifications/ cut sheets for condensers, fence, generator, transformer, tank or solar panels.

For Fences

- can be installed on the property line
- in the former borough fences can be up to 6' in height; in the former township fences can be up to 6 1/2' in height
- if the property is located on a corner lot, Police Department sign off is required

For A/C Condenser Units, Generators, Transformers, and Above-Ground Fuel Tanks

- No such device shall be located in a front yard
- On corner lots and through lots, such device may be located on the side of the property fronting on a secondary street provided it is set back a minimum distance of 10 feet from the property line along the secondary street
- Such devices shall be set back a minimum distance of three feet from the side and rear lot lines, except generators, which shall be set back a minimum distance of five feet from the side and rear lot lines

Solar Panels

- Said panels are affixed to an existing roof on an existing residential dwelling
- Said panels are affixed within the existing footprint of the existing roof
- Said panels do not increase the height of the existing roof by more than six (6) inches
- Solar panels complying with the requirements herein shall be exempt from height requirements, setback to height ratio, height to setback ratios, and required front, side and rear yard setbacks

Robert Pisano

From: Elizabeth Kim <ekim@princetonnj.gov>
Sent: Monday, June 12, 2023 6:56 PM
To: Robert Pisano
Cc: Claudia Brzoza; Derek Bridger; John Pettenati; Christine Candelario; Elizabeth Kim
Subject: FW: ZBA resolution for 25 Birch Avenue
Attachments: doc04046020230607132714.pdf; 20230612_122418.pdf

Bob:

I found the attachment included in Claudia's email. This work will not be visible from the public right-of-way therefore will not require HPC review or approval. Please proceed to acquire your zoning and building permits; thank you.

Best,

*Elizabeth H. Kim, P.L.A.
Historic Preservation Officer*

*Office of Historic Preservation
Municipality of Princeton
400 Witherspoon Street
Princeton, New Jersey 08540
(609) 285-4151
Fax: (609) 688-2026*

From: Claudia Ceballos <cceballos@princetonnj.gov>
Sent: Monday, June 12, 2023 2:32 PM
To: Robert Pisano <rpisano@pisanodevelopment.com>
Cc: Elizabeth Kim <ekim@princetonnj.gov>; Derek Bridger <dbridger@princetonnj.gov>
Subject: FW: ZBA resolution for 25 Birch Avenue

Please check with Elizabeth about HPC.

This is the link for the zoning application <https://www.princetonnj.gov/DocumentCenter/View/6814/Application-for-Air-Conditioning-Fence-Generator-Above-Ground-Tank-Solar-PanelsPDF>, include survey and specs.

Regards,
Claudia

From: Robert Pisano <rpisano@pisanodevelopment.com>
Sent: Monday, June 12, 2023 1:10 PM
To: Claudia Ceballos <cceballos@princetonnj.gov>
Cc: Derek Bridger <dbridger@princetonnj.gov>
Subject: RE: ZBA resolution for 25 Birch Avenue

RECEIVED

JUN 27 2023

Princeton
Zoning / Engineering

WOOD LINTEL SCHEDULE	
ROUGH OPENING	LINTEL SIZE
UP TO 3'-0"	2 x 6's
3'-1" TO 4'-0"	2 x 8's
4'-1" TO 5'-0"	2 x 10's
5'-1" TO 6'-0"	2 x 12's
OVER 6'-0"	MICRO - LAM

NOTES:
 1. PROVIDE (2) MEMBERS IN 2x4 STUD WALLS
 AND (3) MEMBERS IN 2x6 STUD WALLS
 2. PROVIDE (1) BALKER FOR ROOFING LESS THAN 4" AND (2) FOR SPANS GREATER THAN 4"

ZONING APPROVED FOR CONSTRUCTION

DATE 5/8/23

ELECTRICAL BONDING OF FOUNDATION

GROUNDING ELECTRODES:

CONCRETE-ENCASED ELECTRICAL CONDUCTORS

(1) ONE OR MORE PIGTAILS SHALL BE PROVIDED FOR EACH ELECTRICAL CONDUCTOR. THE PIGTAILS SHALL BE AT LEAST 12" LONG AND SHALL BE INSTALLED IN ONE CONTINUOUS (20 FT) LENGTH OR IF IN MULTIPLE PIECES CONNECTED TOGETHER BY THE USUAL STEEL WIRE, ELECTRICITY WELDING, OR OTHER EFFECTIVE MEANS TO CREATE A (20 FT) OR GREATER LENGTH

(2) BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG METALLIC COMPONENTS SHALL BE ENCASED BY AT LEAST (2 IN) OF CONCRETE AND SHALL BE LOCATED HORIZONTALLY WITHIN THAT PORTION OF THE FOUNDATION THAT IS IN DIRECT CONTACT WITH THE EARTH OR WITHIN VERTICAL FOUNDATIONS OR STRUCTURAL COMPONENTS OR MEMBERS THAT ARE IN DIRECT CONTACT WITH THE EARTH. CONCRETE-ENCASED ELECTRICAL CONDUCTORS ARE PRESENT AT A BUILDING OR STRUCTURE. IT SHALL BE FEASIBLE TO BOND ONLY ONE INTO THE FOUNDATION. THE ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN A MANNER THAT THEY ARE NOT SEPARATED FROM THE EARTH. THE CONCRETE SHALL BE INSTALLED WITH INSULATION, VAPOR BARRIERS, FILLS OR SIMILAR ITEMS SEPARATING THE CONCRETE FROM THE EARTH. IS NOT CONSIDERED TO BE IN "DIRECT CONTACT" WITH THE EARTH.

EXTWOOD SHEATHING

- ALL FLYWOOD SHEATHING SHALL COMPLY WITH APA. FLYWOOD SHALL MEET C-D INTERIOR APA, STRUCTURAL I AND II C-D INTERIOR APA, OR STRUCTURAL I AND II C-D EXTERIOR APA
- ROOF SHEATHING: 1/2" THICK
- WALL SHEATHING: 1/2" THICK
- ATTACHMENT TO BE IN ACCORDANCE WITH IRC 209S W/ NO MODIFICATION REQUIREMENTS.
- ALL FLYWOOD TO HAVE EXTERIOR GLUE.

ENFRAMERATED WOOD BEAMS (IF USED)

- ALL USE MICRO-LAM (LVL) LUMBER, USE PARALLAM (PSL) AND 20E PARALLAM (PSL) SHALL CONFORM TO THE LATEST SPECIFICATIONS AS PREPARED BY LVL LAMINATED WOOD ASSOCIATION (LWA).
- ALL LUMBER SHALL BE GRADED BY NDS OR WPA.
- ALL CONNECTORS, NAILS, LAG BOLTS, THRU-BOLTS BEING USED IN CONTACT WITH ALKALINE COPPER QUATERNARY (ACQ) TREATED LUMBER ARE TO BE HOT-DIPPED ZINC GALVANIZED, TRIPLE ZINC COATED (ELECTROPLATED) OR STAINLESS STEEL.
- ALL PENETRATIONS TO BE LOCATED AS PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE TEMPORARY BRACING AS PER MANUFACTURER'S RECOMMENDATIONS.

BEARING LUMBER

- JOISTS AND RAFTERS SHALL BE DOUBLE AS PER NO. 1 GRADE OR BETTER AS GRADED BY NDS OR WPA.
- OTHER SHALL BE EQUAL TO SET FOR CONSTRUCTION GRADE OR BETTER.
- ALL CONNECTORS, NAILS, LAG BOLTS, THRU-BOLTS BEING USED IN CONTACT WITH ALKALINE COPPER QUATERNARY (ACQ) TREATED LUMBER ARE TO BE HOT-DIPPED ZINC GALVANIZED, TRIPLE ZINC COATED (ELECTROPLATED) OR STAINLESS STEEL.
- ALL PENETRATIONS TO BE LOCATED AS PER MANUFACTURER'S RECOMMENDATIONS.
- DEFLECTION FOR FLOOR JOIST SHALL BE DELTA/160 FOR LIVE LOADS, AND L/240 FOR TOTAL LOADS. TYPICAL

GENERAL HANGAR SCHEDULE	
WHERE APPLIES	TYPE OF SIMPSON STRONG TIE HANGAR
ROOF FRAMING TO TOP OF WALLS	H 25 A
2X6 JOISTS TO BEAM OR LEDGER	LU 26
2X8 JOISTS TO BEAM OR LEDGER	LU 28
2X10 JOISTS TO BEAM OR LEDGER	LU 210
DOUBLE 2X10 JOISTS TO BEAM / WALL	LU 210-2
4X4 POST TO CONCRETE	ABA 44Z
4X4 POST TO BEAM	4X AC ZHAX (BOTH SIDES)

LOADING CRITERIA: (2018 & IRC)

ROOF - LL = 20, DL = 20, TL = 40
 1ST FLOOR - LL = 40, DL = 20, TL = 60
 WALLS AND ROOF WIND: 120 MPH, 3 SECOND GUST - 28
 PSF, HORIZONTAL LOAD, UPLIFT = 11 PSF

APPLICABLE CODES	
BUILDING SUBCODE -	INTERNATIONAL RESIDENTIAL CODE 2018
PLUMBING SUBCODE -	NATIONAL STANDARD PLUMBING CODE 2018
MECHANICAL SUBCODE -	INTERNATIONAL MECHANICAL CODE 2018
ELECTRICAL SUBCODE -	NATIONAL ELECTRICAL CODE (NECA) 2017
PROJECT SUMMARY	
THIS PROJECT INVOLVES THE CONSTRUCTION OF A NEW 2ND STORY EXPANDED BEDROOM ABOVE THE FIRST FLOOR DEN.	
BUILDING ANALYSIS	
USE GROUP:	R-5 RESIDENTIAL
CONSTRUCTION TYPE:	9B
1ST FLOOR AREA:	NO CHANGE
2ND FLOOR AREA:	NEW FINISHED AREA = 95 SF
STORIES:	2 ABOVE GRADE, NO CHANGE

GENERAL PROJECT NOTES:

- ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING DRAWINGS TO THE BUILDING DEPARTMENT FOR PERMITTING. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (7 DAYS PRIOR TO SUBMISSION). IF THE OWNER DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHARGE IN CONTRACT PRICE.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES OUTLINED IN AGREEMENT WITH OWNER. ONLY IF SUCH A COMPLETION DATE IS AGREED TO IN THE CONTRACT.
- DETAILS NOTED TYPICAL. TYP. MAY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL ADOPTED HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR.
- CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL GOOD BUILDING PRACTICES INCLUDING THE LATEST CONSTRUCTION INDUSTRY STANDARDS AND ALL ITEMS RELATED TO IBC, THE INTERNATIONAL CODE COUNCIL.
- ARCHITECT CONTRACTED TO FURNISH CONSTRUCTION TYPICAL DRAWINGS THAT MEET THE APPROVAL OF THE BUILDING DEPARTMENT FOR ISSUANCE OF A BUILDING PERMIT FOR THE PROJECT. CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY ADDITIONAL SERVICES AFTER THE ISSUANCE OF THE BUILDING PERMIT, OR CONSTRUCTION ADMINISTRATION.
- FAILED INSPECTIONS DUE TO UNAPPROVED CHANGES IN THE FIELD BY THE "CONTRACTOR" ARE THE RESPONSIBILITY OF THE "CONTRACTOR" TO CORRECT. IF ADDITIONAL DRAWINGS FOR AS-BUILTS OR SERVICES BY THE ARCHITECT ARE REQUESTED BECAUSE OF A CHANGE FROM THE DOCUMENTS, IT WILL BE AT THE CONTRACTOR'S EXPENSE.
- ALL WIRING SHALL BE IN.
- ELECTRIC LAYOUT, LIGHTING LAYOUT, AND PANEL SCHEDULE TO BE PROVIDED BY LICENSED ELECTRICIAN.
- GC SHOULD FIELD VERIFY ALL ROUGH FRAMED DIMENSIONS PRIOR TO ORDERING ALL NEW KITCHEN CABINETS. TYPICAL.
- LICENSED PLUMBING CONTRACTOR SHALL PROVIDE PLUMBING SANITARY AND WATER RISER DIAGRAM.
- NEW WINDOWS ARE TO BE ANDERSON 400 SERIES, EQUAL OR BETTER, WINDOWS AS SUPPLIED BY GC AND TO HAVE INSULATION AS WELL AS HIGH PERFORMANCE LOW-E GLASS. EXISTING OPENINGS AND WINDOWS ARE TO BE FIELD VERIFIED FOR REPLACEMENT IN LIKE SIZE IF REQUESTED TO BE REPLACED BY THE OWNER (TYP.)
- ALL NEW DOORWAYS AND WINDOWS TO BE TRIMMED W/ TRIM SELECTED BY THE OWNER.
- ALL NEW SHOWERS OR BATH ENCLOSURES TO HAVE CEMENT BOARD ON ALL SIDES. ALL OTHER SURFACES IN BATHROOMS TO BE MOISTURE RESISTANT DRYWALL.
- ALL NEW CLOSETS ARE TO RECEIVE NEW SHELVES AND GARMENT ROD. PANTRY TO RECEIVE FULL WALL SHELVING AS REQUESTED BY THE OWNER.
- ALL EXISTING INTERIOR WALLS ARE TO RECEIVE NEW 2" DRYWALL, PAINTED. TYPICAL.
- ALL PLUMBING TO BE INSTALLED ON INTERIOR SIDE OF WALLS WHERE FIXTURES ARE IN AN EXTERIOR WALL TO PREVENT FROM FREEZING. TYPICAL.
- AT NEW BEAM INSTALLATIONS, SUPPORT EXISTING CONSTRUCTION AS NEEDED. ADDITIONALLY WHERE POSSIBLE, TIE BEAMS INTO EXISTING, ADJACENT CONSTRUCTION.

Joseph Como, RA
 Hendrickson Road, Levittown, PA, 19054
 Mobile 809.610.8158
 JVCN1616@yahoo.com

Village Design LLC
 1000 N. 10th St., Suite 100
 Philadelphia, PA 19107
 Tel: 215.596.1100
 Fax: 215.596.1101
 www.villagedesignllc.com

A-1

DRAWING TITLE: HOUSE ADDITION/ALTERATION GENERAL NOTES

PROJECT NO.: 03

DATE: 5-8-23
 2:00 PM
 1:15 PM
 1:00 PM

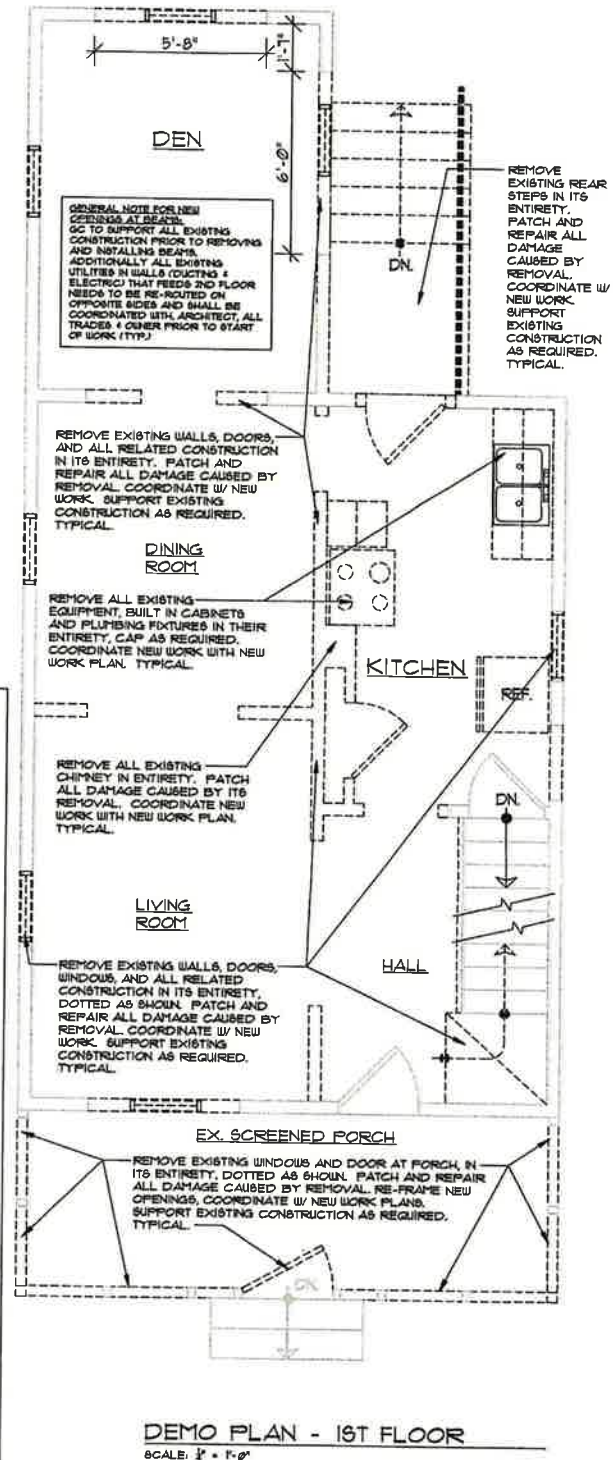
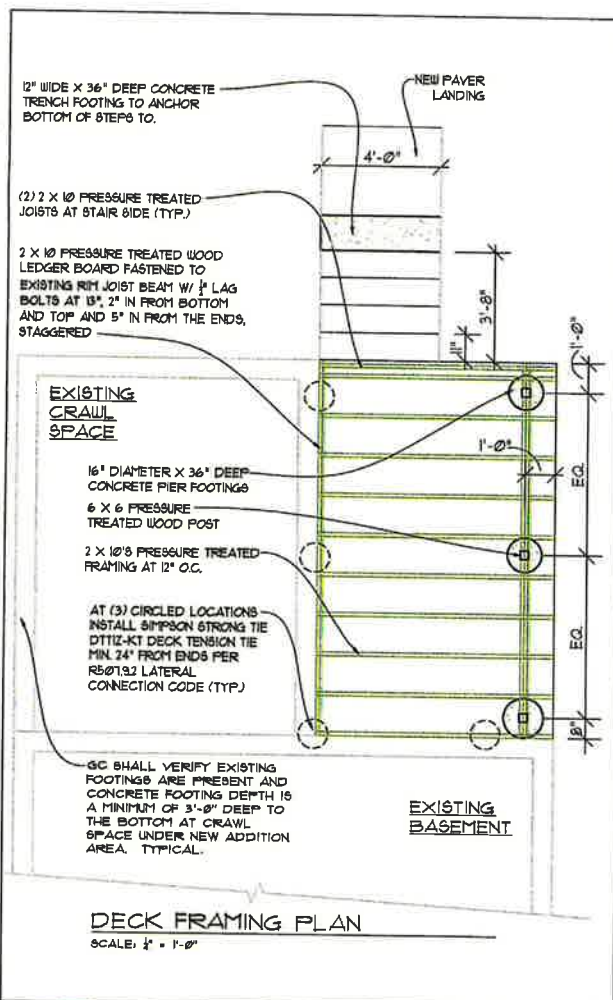
DRAWN BY: JVC

PROJECT: Home Alterations & Addition at 2nd Floor, 25 Birch Ave, Princeton, NJ 08542

Date: 9/8/21

EXISTING WALLS TO REMAIN

WALLS, DOORS, WINDOWS, ETC.
TO BE REMOVED - SEE NOTES
ON DEMO PLAN (TYP.)



20 Hendrickson Road, Lawrenceville, N.J. 08648
 ● Mobile 609.810.6158 ● JVCNJ1816@Yahoo.Com

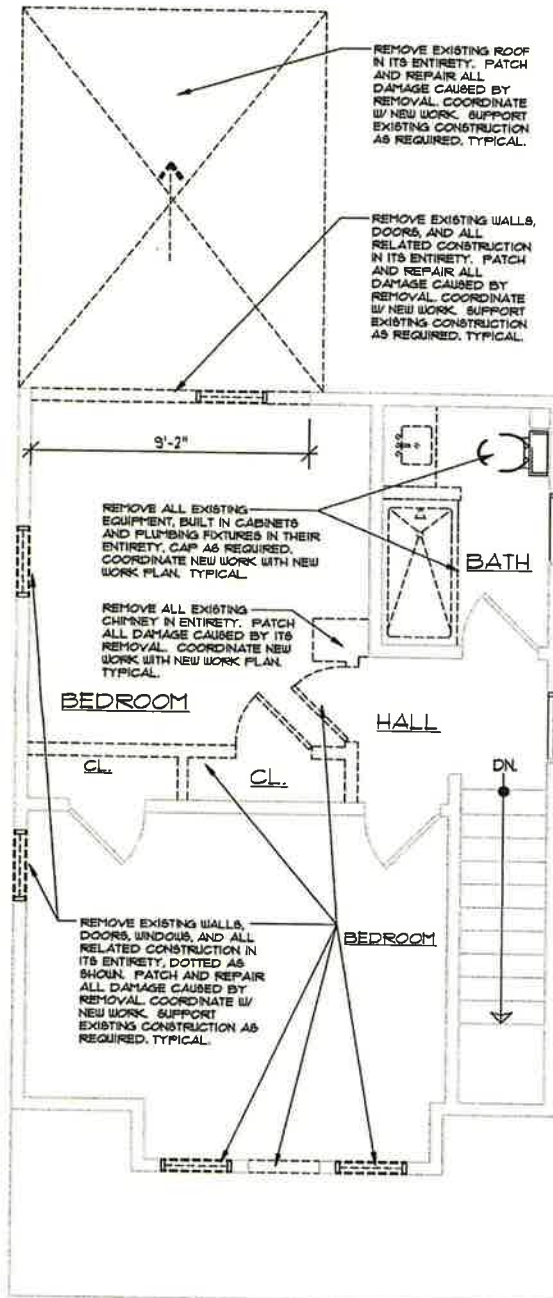
Date: 9/8/21

DRAWING TITLE	SECTION 01100 DOOR, FRAMING, GLASS, AND HURTS
	PROJECT NO.
DATE	1-18-21
	1-18-21 PER C:\PROJECTS\2021\01100.DWG LITTON, JOHN
DRAWN BY	JVC
PROJECT	Home
Alterations & 2nd Floor	Addition of 25 Birch Ave, Princeton, NJ
08642	

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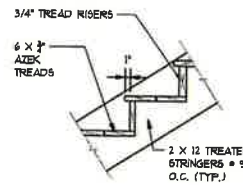
LEGEND:

- EXISTING WALLS TO REMAIN
- WALLS, DOORS, WINDOWS, ETC. TO BE REMOVED - SEE NOTES ON DEMO PLAN (TYP.)



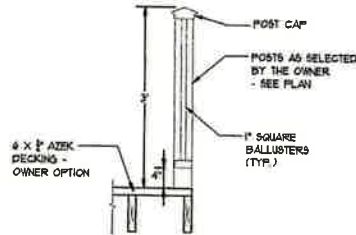
DEMO PLAN - 1ST FLOOR

SCALE: 1/2" = 1'-0"



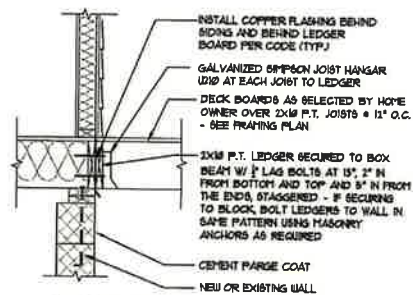
TYPICAL TREAD & RISER DETAIL

SCALE: 1/2" = 1'-0"



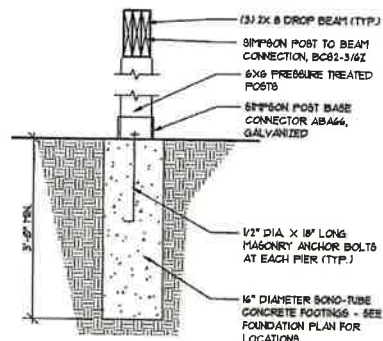
TYPICAL STAIR RAILING DETAIL

SCALE: 1/2" = 1'-0"



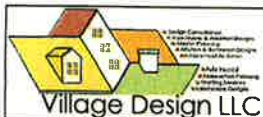
STAIR / DECK SECUREMENT DETAIL

NOT TO SCALE



FOOTING PIER DETAIL

NOT TO SCALE



Joseph Como, RA

Hendrickson Road, Lawrenceville, N.J. 08848

Mobile 609.610.6158 JVCNJ1616@yahoo.com

Joseph Como

Date: 9/8/21

PROJECT	DATE	PROJECT NO.	DRAWING TITLE
Home Addition & 2nd Floor	9-8-21	15	200 SHED PLAN, DETAILS & NOTES
ADDN at 25 Birch Ave, Princeton, NJ 08542	1. COMMENTS PER CLIENT		
	2. REVISIONS		
	3. APPROVALS		
DRAWN BY			

A-3

LEGEND:

-  EXISTING WALLS TO REMAIN
-  NEW INTERIOR WALLS, 2X4 WOOD STUDS AT 16" O.C. WITH 1/2" GYP. BD. ON BOTH SIDES (TYP.)
-  NEW EXTERIOR WALL CONSTRUCTION: VINYL SIDING TO MATCH EXISTING, OVER AIR BARRIER, ON 1/2" EXT. SHEATHING, ON 2X4 STUD WALL W/ BATT INSULATION (R-15) AND 1/2" GYP. BD. WALL FINISH

WOOD LOOSE LINTEL SCHEDULE

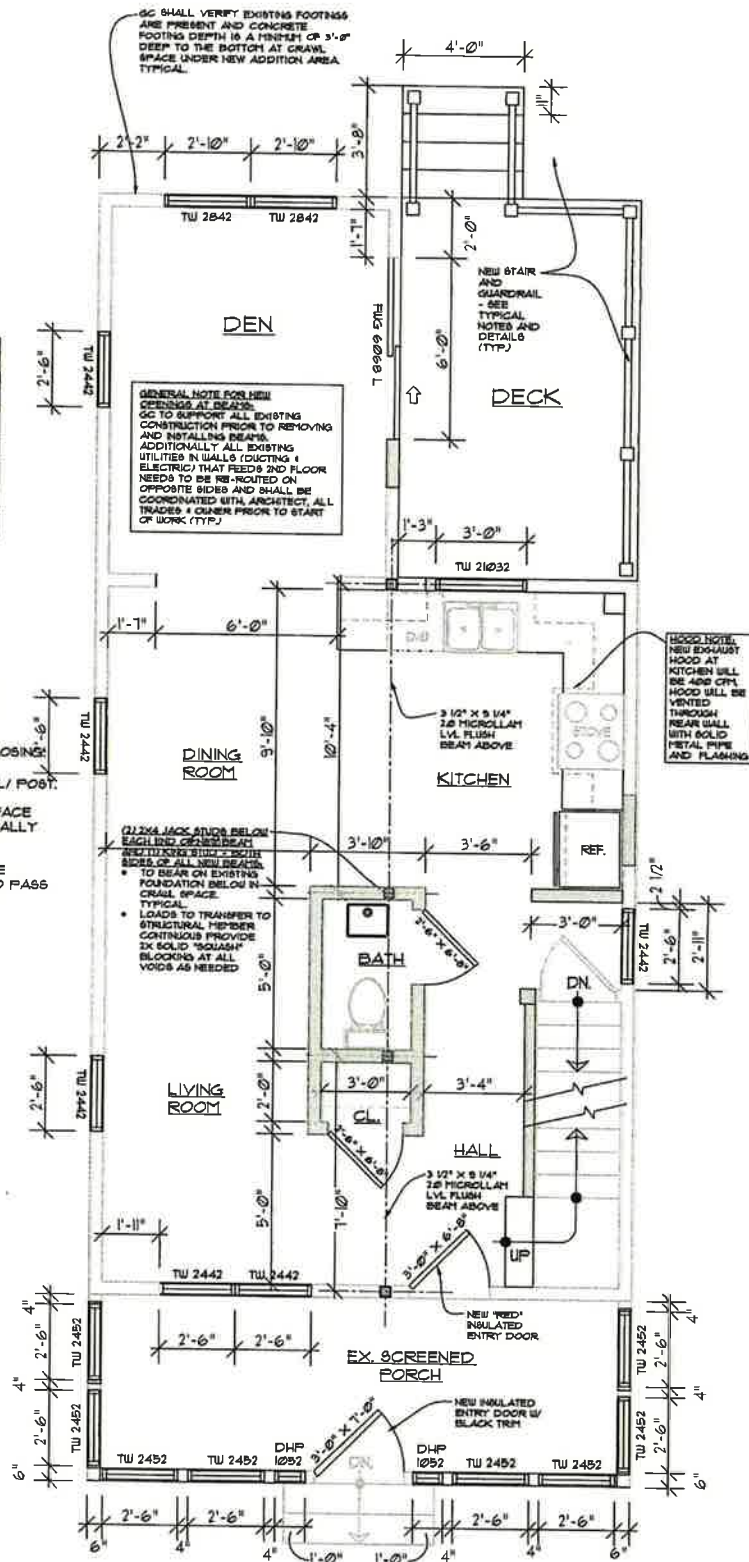
ROUGH OPENING	LINTEL SIZE
UP TO 3'-0"	(2 OR 3) 2 x 6's
3'-1" TO 4'-0"	(2 OR 3) 2 x 8's
4'-1" TO 6'-0"	(2) 2 x 10's OR (3) 2x8's
6'-1" TO 8'-0"	(2 OR 3) 2 x 12's
OVER 8'-0"	MICRO - LAM

NOTES:

- PROVIDE (1) JACK STUD FOR SPANS LESS THAN 4 ft., AND (2) FOR SPANS GREATER THAN 4 ft.

TYPICAL STAIR NOTES:

- STAIR TREADS SHALL BE 9" MIN. WITH 1" NOSING
- STAIR RISERS SHALL BE 7 3/4" MAX.
- HAND RAILS SHALL BE 34" ABOVE THE STAIR NOSING. HAVE A MIN. OF 1 1/2" SPACE BETWEEN RAIL AND WALL/POST.
- GUARD RAIL SHALL BE 36" ABOVE LEVEL SURFACE AND TO BE A MINIMUM 34" HIGH MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR NOSING.
- ALL BALUSTERS AT ALL GUARDRAILS SHALL BE VERTICAL, AND SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH AN OPENING.
- HEADROOM SHALL BE NO LESS THAN 6'-8".
- MINIMUM OF 36" CLEAR WIDTH FOR STAIR



PROPOSED 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



Joseph Como, RA

20 Henderson Road, Lawrenceville, N.J. 08848

Mobile 609.610.6158 JVCNU1616@yahoo.com

Signature
Date: 9/8/21

PROJECT: Addition at 25 Birch Ave, Princeton, NJ 08542

DESIGN BY: JVC

DATE: 9-8-21

PROJECT NO: 21

DRAWING TITLE: PROPOSED PLAN

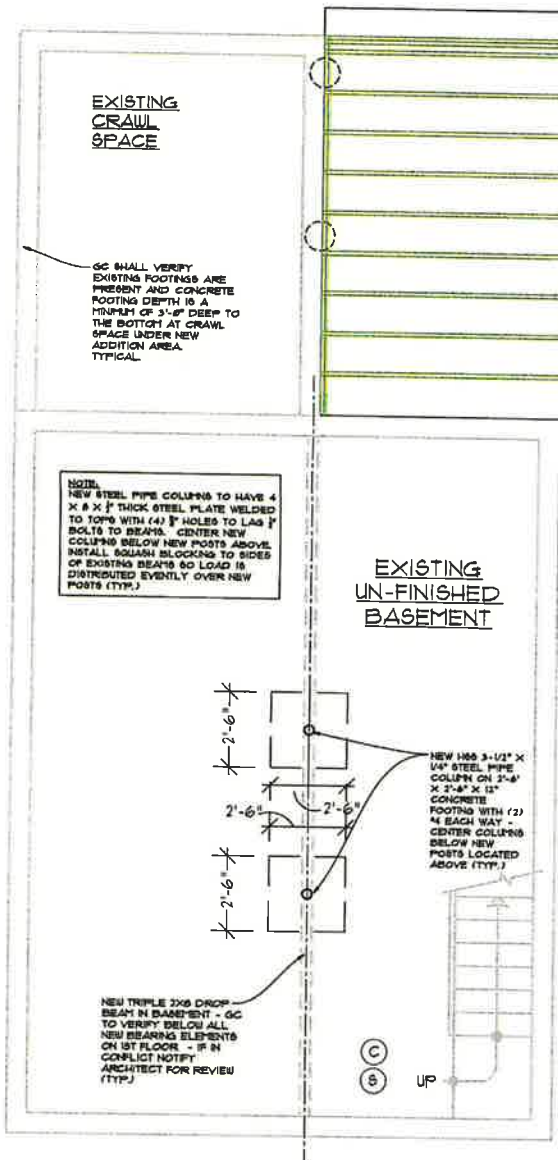
A-4

EXISTING WALLS
TO REMAIN

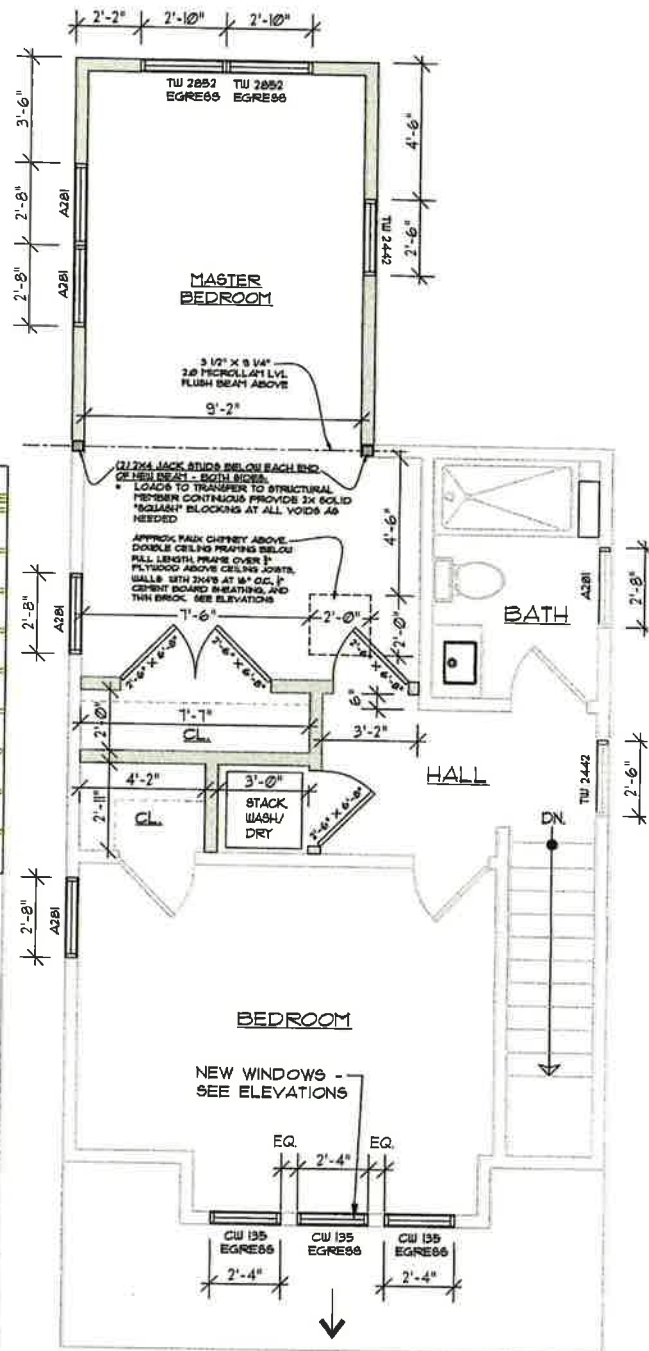
NEW INTERIOR WALLS, 2x4
WOOD STUDS AT 16" O.C.
WITH 1/2" GYP. BD. ON BOTH
SIDES (TYP.)

NEW EXTERIOR WALL
CONSTRUCTION:

VINYL SIDING TO MATCH
EXISTING, OVER AIR
BARRIER, ON 1/2" EXT.
SHEATHING, ON 2x6 STUD
WALL W/ BATT INSULATION
(R-21) AND 1/2" GYP. BD.
WALL FINISH.



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2nd FLOOR PLAN

SCALE: $\frac{1}{2}'' = 1'-0''$



Joseph Como, RA

Joseph Corno, PA
Hendrickson Road, Lawrenceville, N.J. 08848

Mobile 609.610.6158 JVCNJ1616@yahoo.com

[Signature]

Date: 9/8/21

Princeton, NJ
08542

DRAWN BY

PROBATIONARY

3-11-22 TOM
LEFTERCOMMENTS PER
1-18-24.

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DATE _____

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PROJECT NO.

10734

DESIGNED BY
MAY AND MAYER

DRAWINGS III

POSTAL CODE

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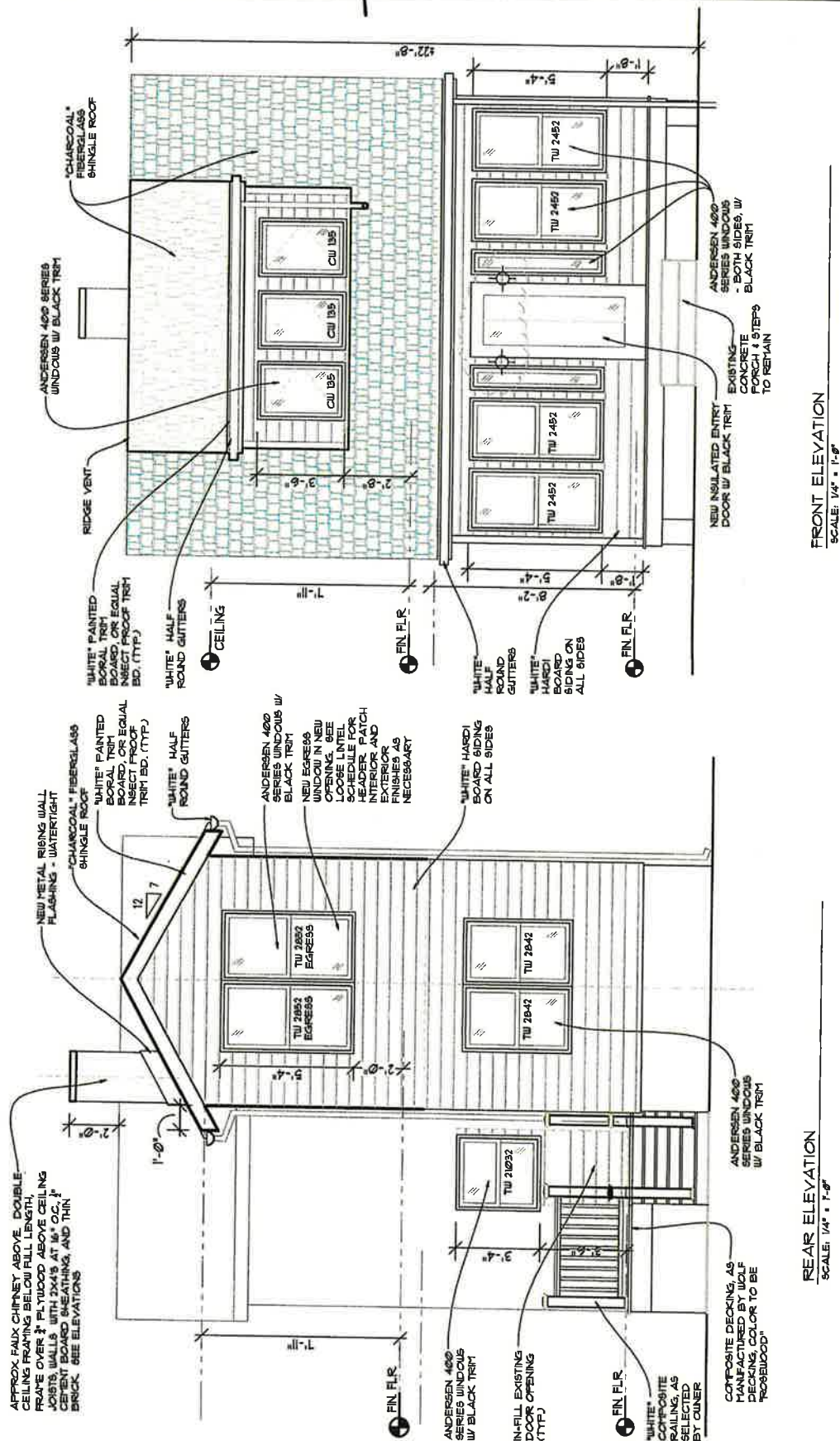
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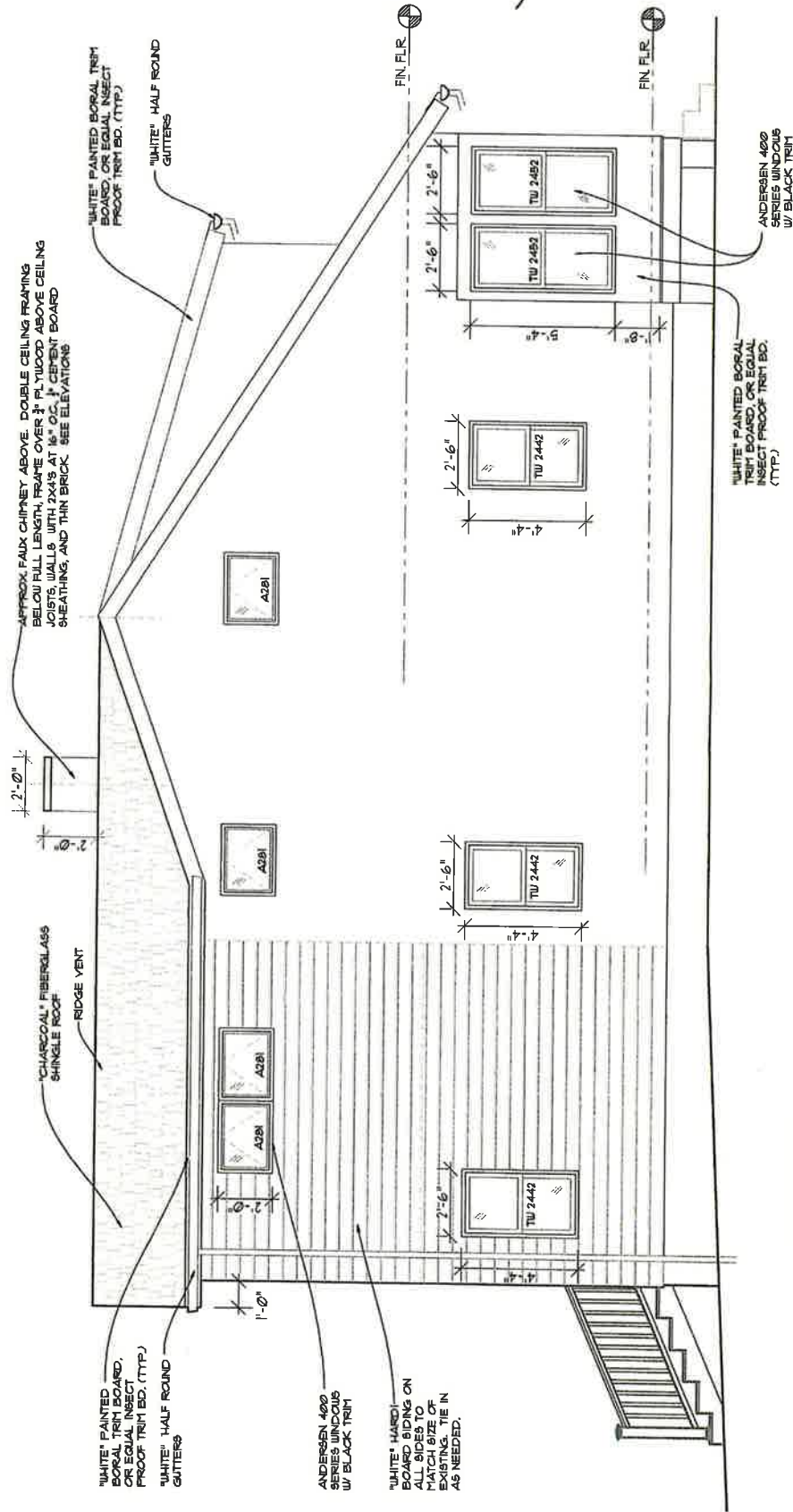
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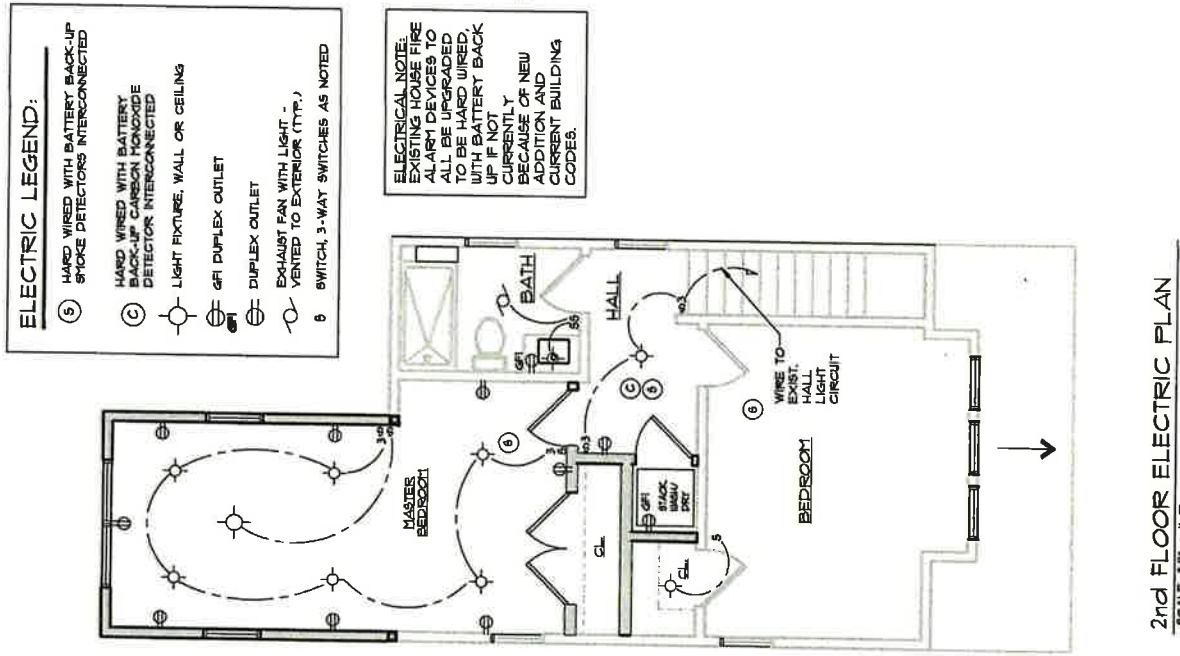
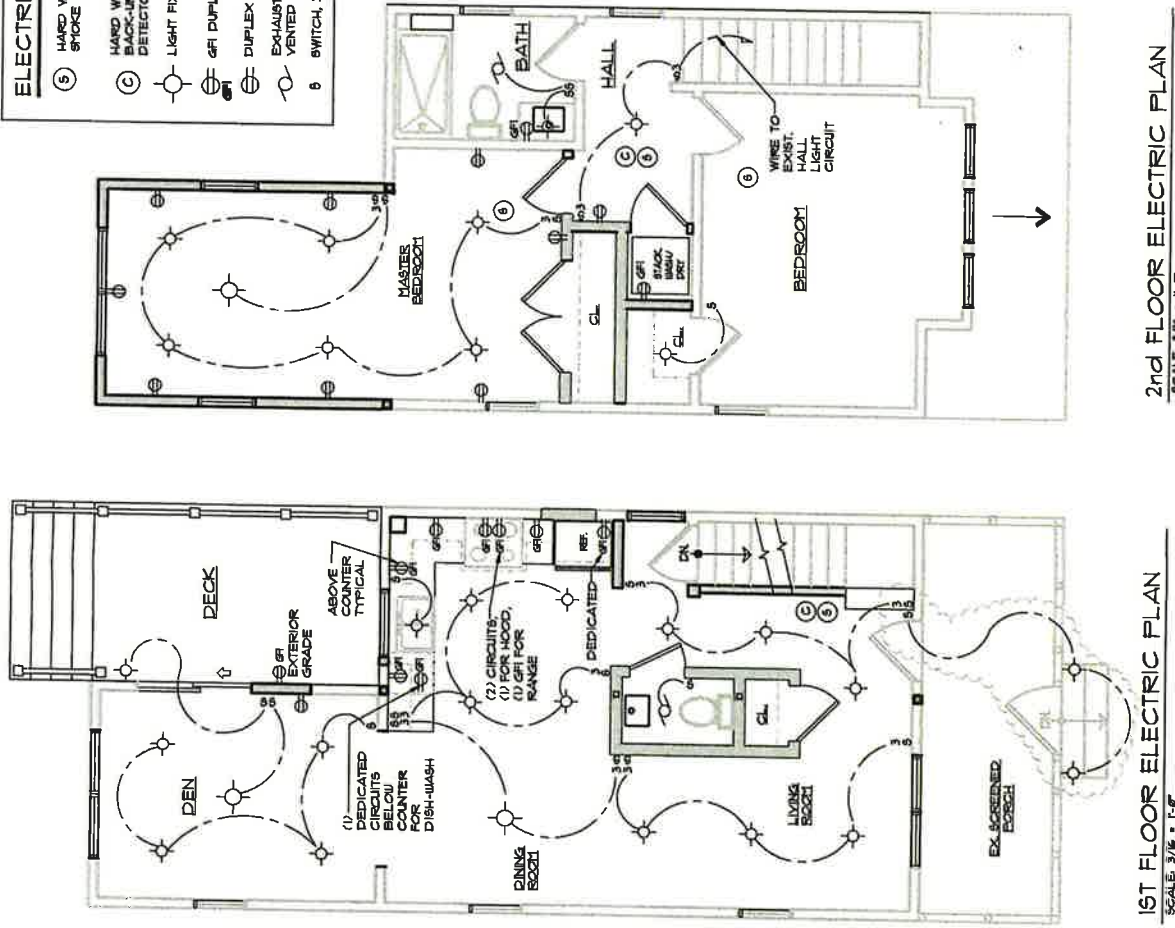
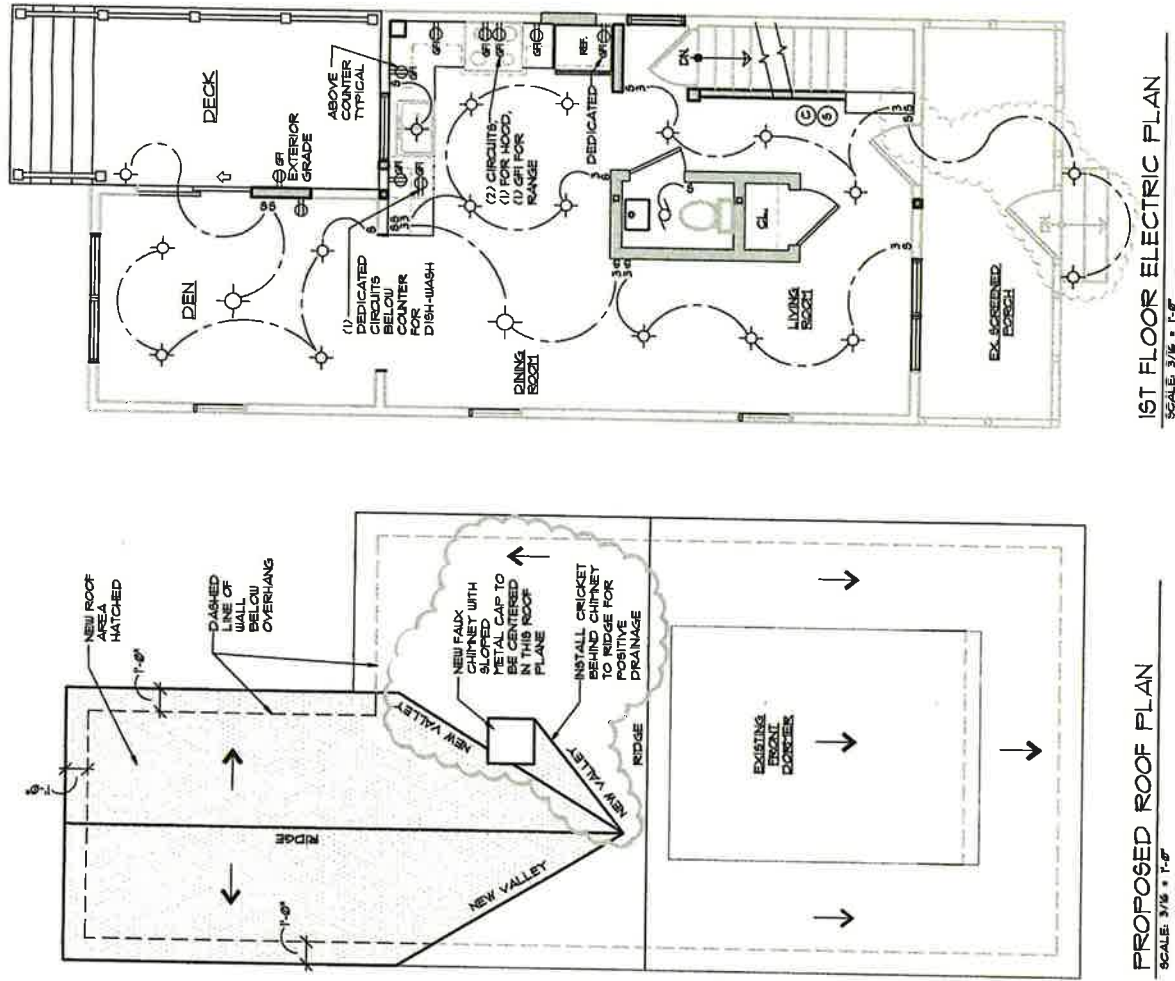


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PRINCETON - ZONING PERMIT APPLICATION

Compliance is required with all applicable Land Use Regulations prior to undertaking any development and/or obtaining a building permit. The permit application must be completely and accurately filled out for the application to be considered. A copy of a recent property survey with proposed improvements drawn to scale may be submitted, provided that the owner submits a certification that the information on the plot plan is correct.

APR 26 2023

R-9 ZONE DISTRICT

Permit # 223-238

Fee \$ 20000 *Unreviewed*

Owner: Elizabeth and Andrew Naumann

Phone: [REDACTED]

Property Address: 25 Birch

Block: 6902

Lot: 14

Contact Person: Robert Pisano

Phone: 609-203-8639

E-Mail: rpisano@pisanodevelopment.com

Will any trees be impacted or removed in connection with this project: YES _____ if so how many _____ NO ☒
Application will not be accepted without this information.

ITEM REGULATED	REQUIREMENTS Per Section 10B-246	PROPOSED (EXIST)	HPC APPROVAL: YES ☒ NO
Lot Area (square feet) (LA)	6,500	2245	Permitted Use: <u>YES</u>
Lot width at bldg. line (ft.)	40	22	Variance # (if applicable) <u>222-248</u>
Lot depth (ft.)	40	100	Parking required: <u>NO</u>
Lot frontage (ft.)	40	22	Floor Elevation:
Building setback: Front	25	9.4	Number of Stories: <u>2</u>
Use Mean Prevailing Front setback as define in Section 10B-251			
Rear	15	40+	
Combined front & rear	N/A		
Right side	5	2	TYPE OF CONSTRUCTION
Left side	5	2	New Building: (Deed required)
Combined side	15	4	Addition: <u>2nd Floor</u>
Building height (Max Ft)	35	23.5	Pool:
Bldg. setback-height ratio	N/A		AC Condenser:
Floor area ratio (Max %)	35		Generator:
Gross Floor Area & Lot Area			Deck:
Parking setbacks: See attached			Shed:
			Fence:
Imperv. Coverage 10B-246.1 (see page 2)	% <u>61.5</u>	<u>34</u>	Other (Specify): <u>Interior Renovation</u>
			ADU

Checklist:

- ☒ Two (2) plot plans / surveys, drawn to scale signed and sealed by a NJ Licensed Land Surveyor
- ☒ Two (2) sets of architectural plans including dimensions and FAR breakdown.
- ☒ Indicate finished first floor elevation for any new construction
- ☒ Indicate proposed structure on the survey and distance to the property lines; these distances shall be shown to the overhang and not the foundation wall.
- ☒ Provide diagram for compliance with setback-to-height regulation
- ☒ Any net new disturbance over 400 square feet must obtain Engineering approval prior to zoning review.
- ☒ Approved Tree Removal Plan required prior to zoning review.
- ☐ C-1 Designated Area Yes ☒ No
- ☒ Impervious Coverage calculation breakdown.

ZONING APPROVAL:

[Signature]
Derek W. Bridger, Zoning Officer

5/8/23
Date

Sec. 10B-246.1. Maximum permitted residential lot impervious coverages.

Residential lots shall be subject to the following maximum impervious coverage limits

Lot Size (Acres)	Maximum Permitted Impervious Coverage
	Percent
4 and greater	14.0
3 to 3.99	15.0
2 to 2.99	17.0
1.5 to 1.99	19.5
1 to 1.49	22.5
0.75 to 0.99	25.5
0.5 to 0.749	29.0
0.25 to 0.49	36.0
0.1 to 0.249	49.5
Less than 0.1	61.5

Impervious Coverage

House and garage	516	
Covered Porch	102	
Driveway		
Walkway	40	
Patio		
Deck	96	
Pool		
A/C - Generator	4	
Other		
Total	758	sq. ft. + lot area sq. ft. 2245 = 34 %

1 Acres = 43,560 sq. ft.

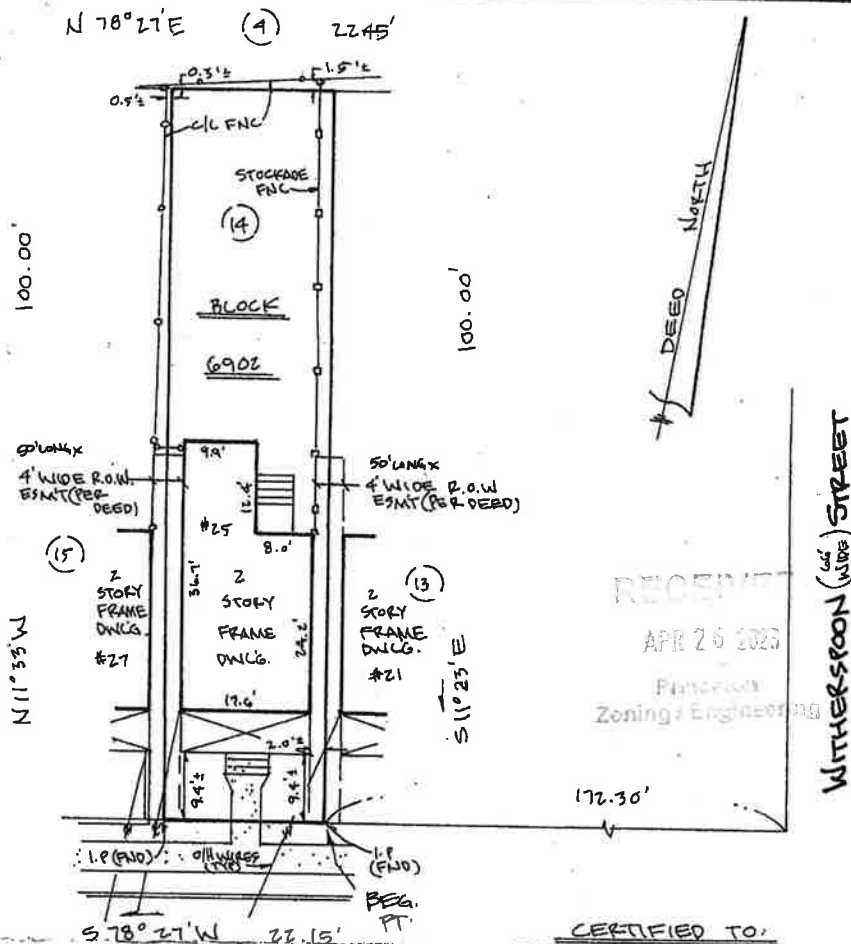
A new Section 10B-252.1 Mean Prevailing Front Setback is added to the Princeton Township Code as follows:
 The mean prevailing front yard setback to be applied to a lot shall be determined as follows:

- The front yard setback for the principal dwellings on each lot fronting on the same side of the street within 500 feet in either direction of the lot for which the prevailing front setback is to be measured and within the same zoning district shall be determined. The measurement shall not include the setback from the street for corner lots, where the front yard of the corner lot is measured from a different street. In calculating the mean prevailing setback, the largest and smallest setback shall not be included in the calculation. Setbacks shall be measured to the nearest part of the house excluding porches and stoops.
- If the mean prevailing front setback as calculated for a lot is more than five feet or less than five feet of the required minimum setback, the building setback shall be within two feet of the calculated mean setback.
- If the mean prevailing setback as calculated for a lot is not more than five feet greater or five feet less than the required setback, then the developer shall comply with the minimum required setback.
- If utilization of the mean prevailing setback would limit the construction of a dwelling to a size which is less than eighty percent of the maximum building size permitted in the district, then the mean prevailing setback shall be adjusted to a setback which permits the construction of a dwelling which is eighty percent of the maximum building size permitted in the district, for a lot with the minimum lot size but not less than the minimum required front yard setback.
- If a street contains three or fewer dwellings then the property owner shall have the option to match either front yard setback.

Parking

Front- The minimum front parking setback shall be equal to the front yard setback of the dwelling or 25 feet, whichever is less

Side- on lots greater than 50 ft. in lot width -Minimum 5 feet
 on lots less than 50 ft. in lot width- Minimum 3 feet



BIRCH (50' WIDE) AVENUE

DEED REFERENCE:

VOLUME 3871
PAGE 41

NOTE:

PROPERTY CORNERS NOT SET
PER CONTRACTUAL AGREEMENT

CERTIFIED TO:

- ELIZABETH L. EBEL, UNMARRIED
- DAVID H. COATES, ESQ.
- TURP, COATES, ESSLE & DRIGGERS
- NEW JERSEY TITLE INSURANCE COMPANY
- GENERAL LAND ABSTRACT COMPANY
- PHH MORTGAGE SERVICES, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTEREST MAY APPEAR

REPRODUCTION OF THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYORS SEAL.

THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.

NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE SURVEYOR FOR LOCATION OF UTILITIES OR EASEMENTS, IF ANY, LOCATED BELOW THE SURFACE OF THE LANDS OR NOT VISIBLE ON THE SURFACE OF THE LANDS SHOWN HEREON.

THIS CERTIFICATE IS MADE ONLY TO HEREIN NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY BELOW NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY BELOW NAMED SURVEYOR AND/OR A-1 LAND SURVEYS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR LAND CLEARING, LANDSCAPING, CONSTRUCTION OF FENCES OR ANY OTHER STRUCTURES. SURVEY AFFIDAVIT, RESALE/REFINANCE OF PROPERTY OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.



A-1 LAND SURVEYS, INC.
PROFESSIONAL LAND SURVEYORS
BOX 1192 TRENTON, NJ 08606

IN NEW JERSEY:
PHONE
1-800-CALL (4) A-1
1-800-225-5421
FAX
1-800-995-5421

IN PENNA:
PHONE
1-215-493-9742
FAX
1-215-493-9743

DATE
3-10-05

SCALE
1" = 20'

DRAWN
MAP

CHECKED

TITLE NO.
GLA
214343

ORDER NO
105-
34304

PLAN OF SURVEY
FOR

ELIZABETH L. EBEL,
UNMARRIED

29 BIRCH AVENUE
TOWNSHIP OF PRINCETON
MERCER COUNTY
NEW JERSEY

Max V. Raffaele

3-10-05

MAX V. RAFFAELE
NJ PROFESSIONAL LAND SURVEYOR

DATE
NO. 35869

REVISIONS
A 3-16-05 REV. 0020 TO TOWNSHIP

TAX MAP DATA

LOT 14

BLOCK/SECT 6902

SHEET 69



Municipality of Princeton
Municipal Building
400 Witherspoon Street
Princeton, NJ 08540-3496

Office of Historic Preservation
Telephone: (609) 285-4151
Fax: (609) 688-2026

Elizabeth Kim, P.L.A.
Historic Preservation Officer
ekim@princetonnj.gov

Memorandum

Date: April 21, 2023

From: Elizabeth H. Kim, P.L.A. 
Historic Preservation Officer

To: Derek Bridger
Zoning Officer

Subject: Application for Naumann, Andrew & Liz
Partial Demo for 2nd Floor Addition
ZBA Condition of Approval for HPC
25 Birch Avenue
Block 6902, Lot 14, Zone: R-0
File No. Z22-248; 11HP-2022

The applicant has received HPC administrative approval for the conditions outlined in the Memorialized Zoning Board of Adjustment's Findings of Fact, Conclusions and Resolution (December 14, 2022) for the above reference project. Copies of the approved exterior improvements for the new front door, lighting fixtures and chimney have been satisfactorily addressed and approved copies of the following are attached.

1. Replacement Front Door will be Classic-Craft 6 lite (CCA260), painted red.
2. The faux chimney will be Old Brick Originals, Thinbrick in Schoolhouse.
A true sample of the brick is retained in the HPC file.
3. Outdoor Wall Sconce Lights by Dakaful LED UP and Down Lights, 2700k Dusk to Dawn.
4. A copy of the approved revise plans are attached, showing the location of the faux chimney, notes regarding construction and position of the faux chimney, and location of new sconces on the sides of the front door. *Please note the attached, approved plans do not reflex a correct revision date to sheet A-7 from the previous submission (3/11/22), which should be incorporated on the final plans submitted to your office.

attachs.

cc: J. Capozzoli, HPC Chair
file

PRINCETON - ZONING PERMIT APPLICATION

Compliance is required with all applicable Land Use Regulations prior to undertaking any development and/or obtaining a building permit. The permit application must be completely and accurately filled out for the application to be considered. A copy of a recent property survey with proposed improvements drawn to scale may be submitted, provided that the owner submits a certification that the information on the plot plan is correct.

R-9 ZONE DISTRICT

Permit # 218-802

Fee \$ 60.00

Owner:

Debres JOYNES-BROWN

Phone:

[REDACTED]

Property Address:

24 Birch Avenue

Block:

6905

Lot:

13

Contact Person:

HEATHER STENGER

Phone:

908-213-9400

E-Mail:

HEATHER@ADSENVIRONMENTAL.NET

Will any trees be impacted or removed in connection with this project: YES _____ if so how many _____ NO X

Application will not be accepted without this information.

ITEM REGULATED	REQUIREMENTS Per Section 10B-246	PROPOSED	HPG APPROVAL: YES NO
Lot Area (square feet) (LA)	6,500		Permitted Use:
Lot width at bldg. line (ft.)	40		Variance # (if applicable)
Lot depth (ft.)	40		Parking required:
Lot frontage (ft.)	40		
Building setback: Front	25		Floor Elevation:
Use Mean Prevailing Front setback as define in Section 10B-251			
Rear	15		Number of Stories:
Combined front & rear	N/A		
Right side	5		TYPE OF CONSTRUCTION
Left side	5		New Building: (Deed required)
Combined side	15		Addition: <u>AbbeGrand AST</u>
Building height (Max Ft)	30		Pool:
Bldg. setback-height ratio	N/A		AC Condenser:
Floor area ratio (Max %)	35		Generator:
Gross Floor Area & Lot Area			
Parking setbacks: Front	25		Deck:
Side	5		Shed:
Rear	15		Fence:
Imperv. Coverage 10B-246.1 (see page 2)	%		Other (Specify):

RECEIVED

Checklist:

- ☐ Two (2) plot plans / surveys, drawn to scale signed and sealed by a NJ Licensed Land Surveyor
- ☐ Two (2) sets of architectural plans including dimensions and FAR breakdown.
- ☐ Indicate finished first floor elevation for any new construction
- ☐ Indicate proposed structure on the survey and distance to the property lines; these distances shall be shown to the overhang and not the foundation wall.
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- ☐ Any net new disturbance over 400 square feet must obtain Engineering approval prior to zoning review.
- ☐ Approved Tree Removal Plan required prior to zoning review.
- ☐ C-1 Designated Area Yes No
- ☐ Impervious Coverage calculation breakdown.

ZONING APPROVAL:

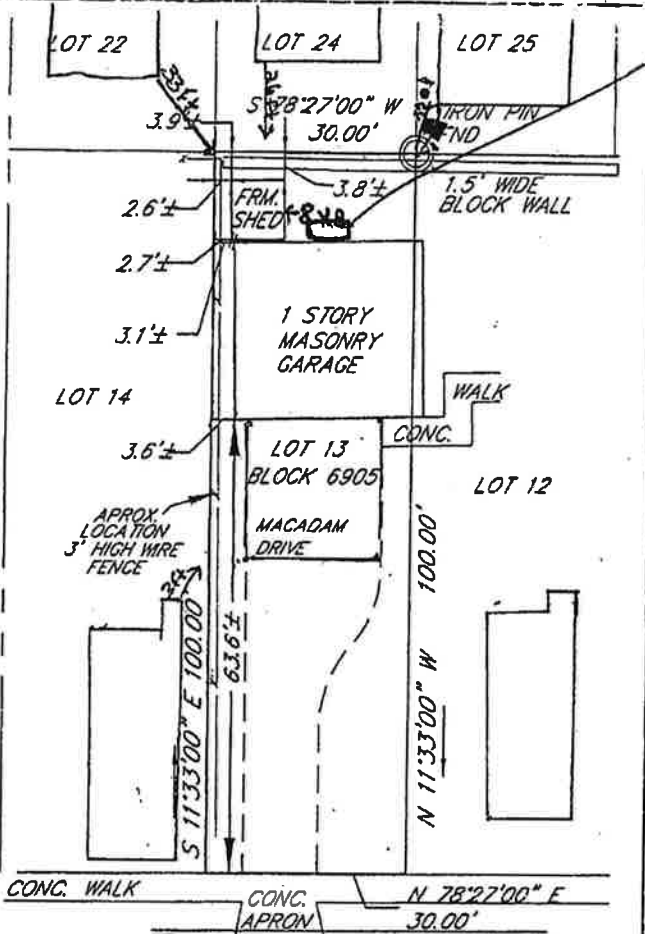
[Signature]
Derek W. Bridger, Zoning Officer

11/9/18
Date

NOV 09 2018
Princeton
Zoning/Engineering

WITHERSPOON STREET
66' WIDE RIGHT OF WAY (PER TAX MAP)

167.16'



BIRCH AVENUE

60' WIDE RIGHT OF WAY (PER REF. PLAN)

NOTES:

1. HOUSE OFFSETS NOT TO BE UTILIZED TO ESTABLISH PROPERTY LINES
2. LOT ALSO KNOWN AS 24 BIRCH AVENUE

REFERENCE PLAN:

1. "PLOT PLAN OF LOT No. 13 PROPERTY OF CARL E. BROWN ET UX" PRINCETON TOWNSHIP, MERCER COUNTY, NEW JERSEY, SCALE 1" = 20' DATED OCTOBER 16, 1967.

PRINCETON
ZONING APPROVED FOR
REVIS
CONSTRUCTION

PRINCETON TWP. TAX MAP
SHEET No. 69
BLOCK No. 6905
LOT No. 13

11/9/19

[Handwritten signature]

van note-harvey associates, p.c.
consulting engineers, planners & land surveyors

777 Alexander Road • Princeton, NJ 08540
1600 Broadway, Ste. 203 • Westville, NJ 08093
55 East Mill Rd. (Rt. 24) • Long Valley, NJ 07853
211 North Main Street • Cape May Court House, NJ 08210



PLAN SHOWING SHED
LOCATION

LOT No. 13 BLOCK No. 6905

FOR

CARL BROWN

[Handwritten signature]
HARRY J. SYPNIEWSKI
N.J. PROFESSIONAL LAND SURVEYOR
No. 20808

10/31/03
DATE OF SIGN.

PRINCETON TWP., MERCER CO., N.J.
SCALE: 1" = 20' OCTOBER 31, 2003

DRAWN BY GPR	FIELD SK PB-BA	ORDER NO. 35466- -300-11	FILE NO. PRINCETON TWP.	SHEET NO. 1
CHECKED BY HJS				

* AST

Converted
GARAGE

Dwelling

Dr Neway

P. 6905 L: 13

24 Birch Ave.

Princeton, NJ 08542

NOT TO SCALE

A.D.S. Environmental, Inc

160 Broad Street

Phillipsburg, NJ 08865

908-213-9400

DEP US 436514

13VH00347300