

## PRINCETON (B) - ZONING PERMIT APPLICATION

|                                         |                                              |
|-----------------------------------------|----------------------------------------------|
| (ZONING DEPARTMENT USE ONLY)            |                                              |
| Application Received _____              | Date Issued <u>7/7/15</u>                    |
| Permit Number _____                     |                                              |
| Fee(s) Paid: Check No. _____ Cash _____ | Zoning Official Approval: <u>[Signature]</u> |

Compliance is required with all applicable Land Use Regulations prior to undertaking any development and/or obtaining any building permit. The permit application must be completely and accurately filled out for the application to be considered. Two survey/plot plans must be provided showing the location, size, and shape of all existing and proposed structures related to property lines. A copy of a recent property survey (*less than three years old*) with proposed improvements drawn to scale may be submitted, provided that the owner submits a certification that the information on the plot plan is correct.

1. Street Address 24 Armour RD  
Block 1001 Lot 39 Zone R-1  
Owner & Phone No. Elizabeth Ettinghausen  
Owner Address [REDACTED]  
Applicant & Phone No. Doug Wales [REDACTED]  
Applicant Address [REDACTED]

PROPERTY USE: Residential Yes or No      Commercial Yes or No

2. PRIOR APPROVALS REQUIRED FOR THIS APPLICATION  
(Attach any or all application approval Resolutions)

- |                          |                                                          |
|--------------------------|----------------------------------------------------------|
| a. Zoning Variance       | <input type="checkbox"/> yes <input type="checkbox"/> no |
| b. Historic Preservation | <input type="checkbox"/> yes <input type="checkbox"/> no |
| c. Site Plan Approval    | <input type="checkbox"/> yes <input type="checkbox"/> no |
| d. Subdivision Approval  | <input type="checkbox"/> yes <input type="checkbox"/> no |

3. DEVELOPMENT TYPE & FEES

- ☐ Swimming Pool, Shed, Fences, Air Conditioners, Generators, Patio (\$60.00)  
☐ Addition(s) to Existing Structures (\$200)\*\*  
☐ One (1) or Two (2) Family Dwelling (\$500) (\*)\*\*  
☐ Parking Area, Patio, Deck - IF GREATER THAN 400 SF (\$200)

Note: Applications will be subject to review for Road Opening/Right-of-way Occupancy, Tree Removal, and Stormwater Management, as required by Code of Princeton.

PLEASE NOTE: Approved tree removal plan required prior to Zoning review

4. SITE IMPROVEMENT PLAN - Drawn pursuant to Site Improvement Plan Checklist must be provided (two sets).  
☐ Attached  
☐ Not required (e.g., air conditioner location, stairs)

(\*) *Plot Plan prepared by a Licensed New Jersey Professional Engineer required.*

\*\* *Addition of 400 s.f. or greater requires Engineering Approval*

## **PART B**

### **R-1 ZONING DISTRICT REGULATIONS**

Zoning Information: In accordance with Section 17A-232 of Princeton Land Use Ordinance, the schedule of bulk regulations for single-family dwellings provides required dimensions for each item being regulated. These regulations are indicated in Column "A". In "Column "B" list those proposed dimensions as shown on the proposed property survey plan and building drawings as it pertains to your development.

| Bulk Regulation                                | Column "A"          | Column "B" |
|------------------------------------------------|---------------------|------------|
| <u>Maximum Permitted</u>                       |                     |            |
| (1) Height                                     | 3 stories or 35 ft. |            |
| (2) Coverage                                   | 25%                 | 6.42       |
| (3) FAR                                        | 25%                 | 13.2       |
| <u>Minimum Required</u>                        |                     |            |
| (1) Lot area per dwelling unit                 | 20,000 sf.          |            |
| (2) Lot width                                  | 125 ft.             |            |
| (3) Lot depth                                  | 125 ft.             |            |
| (4) Front yard                                 | 35 ft.              |            |
| (5) Combined side yard                         | 30 ft.              | Complies   |
| (6) Smaller side yard                          | 10 ft.              | Complies   |
| (7) Rear yard                                  | 35 ft.              | Complies   |
| (8) Building height to setback ratio (maximum) | 1.5:1               |            |

**\*\*See Section 17A-376.1 Prevailing front yard setback**

RECEIVED  
JUN 30 2015  
PRINCETON  
OFFICE OF COMMUNITY DEVELOPMENT

PRINCETON  
ZONING APPROVED FOR  
CONSTRUCTION

5/9 sheeting

25 Year Shingles

12-3 P.O.C.

← 2x8 Header

DATE 7/7/15

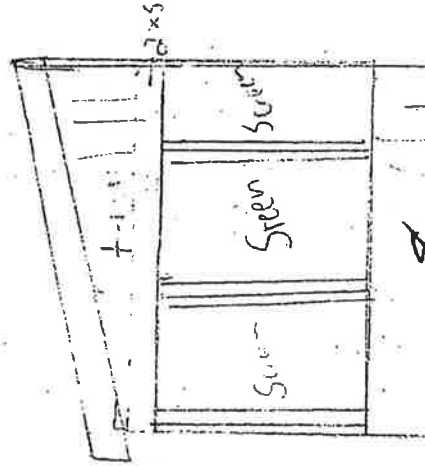
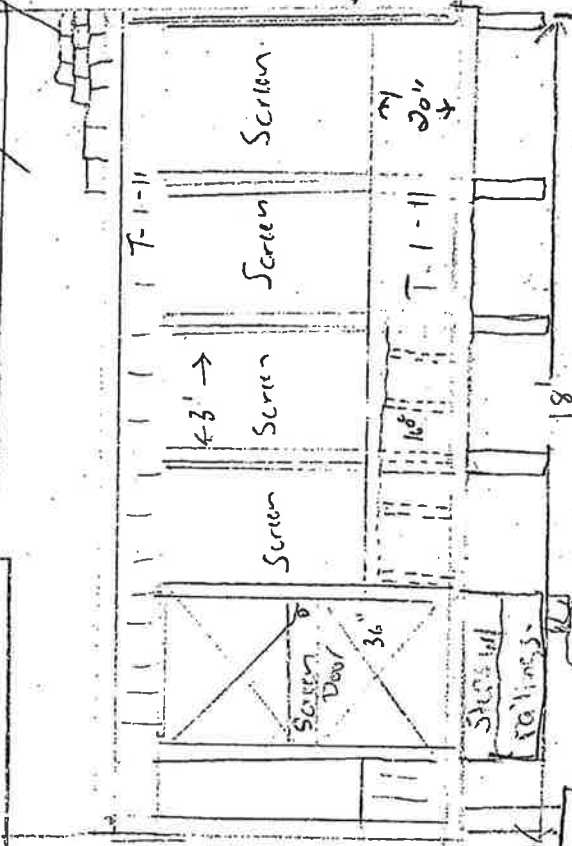
← Double 2x4

1x4 Mahogany Floor.  
2x4 Framing Posts for  
16'oc 2x8 floor Joists treated  
Double Box treated  
Joist w/ Hangers 16'oc  
Ceiling open framing.  
hurricane clip at ends.  
Box Bolted to house  
every 30" 3 Bolts.  
Exterior 7/8 + 1-11

interior open framing.  
Posts 4x4 treated w/  
Post anchors.  
House wall Siding remain  
Painting all exposed wu

Double 2x8  
4x4 Posts

2x8 Rafters 16'oc



Elizabeth Ettinghausen  
Block 10  
Lot 36  
24 Armory RD

```
BLK      10.01   24 ARMOUR ROAD  
LOT       39     .67 AC  
  
CARD 01 OF 01   VCS= 105    CLASS= 2  
                                ZONE= R1  
                                MAP= 10
```

| MAIN BUILDING CALCULATIONS |      |       |      |        |
|----------------------------|------|-------|------|--------|
| 1ST FLOOR                  | 1382 | 65.41 | 1.20 | 108468 |
| UPPER FLOOR                | 1334 | 39.93 | 1.20 | 63928  |

| ATTACHED ITEM CALCULATIONS |     |       |      |      |
|----------------------------|-----|-------|------|------|
| OPEN PORCH                 | 52  | 19.29 | 1.15 | 1153 |
| ATT. GAR.                  | 284 | 23.40 | 1.13 | 7511 |
| OPEN PORCH                 | 60  | 18.15 | 1.15 | 1252 |
| OPEN PORCH                 | 24  | 29.17 | 1.15 | 805  |

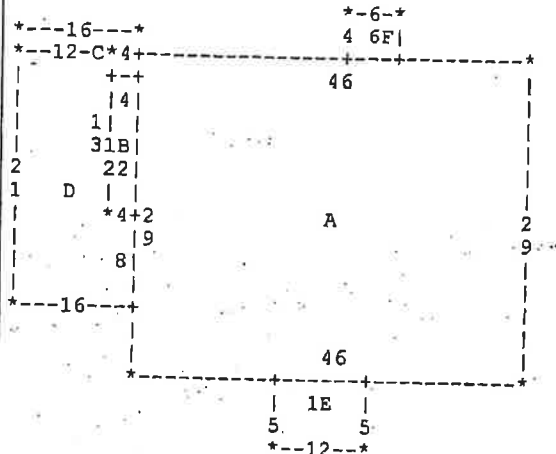
| ADD / DEDUCT |      | CALCULATIONS |      |       |
|--------------|------|--------------|------|-------|
| BASEMENT     | 1334 | 11.04        | 1.15 | 16943 |
| RAD/HOT WT   | 2716 | 4.02         | 1.12 | 12237 |
| ALL SEPART   | 2716 | 2.78         | 1.12 | 8448  |
| UNF ATTIC    | 1334 | 4.75         | 1.15 | 7293  |
| 2STY FP      | 1    | 4850         | 1.15 | 5578  |

|                         |        |
|-------------------------|--------|
| TOTAL IMPROVEMENT VALUE | 212200 |
|-------------------------|--------|

| FRNT               | AVER | DPHT | NO OF | UNIT   | ---ADJUSTMENT--- |         |        |
|--------------------|------|------|-------|--------|------------------|---------|--------|
| FOOT               | DPHT | FAC. | UNITS | RATE   | INFL(+)          | COND(-) | VALUE  |
| SITE               |      |      | 1     | 600000 |                  | 99 .05  | 570000 |
| AC 0-.46           |      |      | .46   | 200000 |                  | 99 .05  | 87400  |
| AC .47+            |      |      | .21   | 100000 |                  | 99 .05  | 19950  |
| * TOTAL LAND VALUE |      |      |       |        |                  |         | 677350 |

|         |       |             |         |     |
|---------|-------|-------------|---------|-----|
| ---     | FINAL | VALUATION   | SUMMARY | --- |
|         | LAND  | IMPROVEMENT | TOTAL   |     |
| 677,400 |       | 212,200     | 889,600 |     |

ETTINGHAUSEN ELIZ, STEPHEN & THOMAS  
 SALE DATE 052897 PRICE 100  
 BLDG CLS= 17 INT COND= AVERAGE  
 YR BUILT= 1948 EXT COND= AVERAGE  
 EXT. FIN= ALUM/VINYL LAY COND= AVERAGE



| DESCRIPT. | BSMT | FRST | UPPR | HALF | ATTC |
|-----------|------|------|------|------|------|
| A 2S-B-A  | 1334 | 1334 | 1334 |      | 1334 |
| B 1S      |      | 48   |      |      |      |
| *TOTAL*   | 1334 | 1382 | 1334 |      | 1334 |

| DESCRIPT.    | AREA |
|--------------|------|
| C OPEN PORCH | 52   |
| D ATT. GAR.  | 284  |
| E OPEN PORCH | 60   |
| F OPEN PORCH | 24   |

| DETAILED  | ITEMS | (COST | CONV. FAC.=1.29) |      |       |
|-----------|-------|-------|------------------|------|-------|
| DESCRIPT. | AREA  | RATE  | QFAC             | COND | VALUE |
| BRICK PAT | 416   | 5.69  | 1.15             | .35  | 1229  |

LAND ADJ FOR RT 206

Office of the Borough Clerk  
BOROUGH OF PRINCETON  
Princeton, New Jersey

RESIDENTIAL RENTAL PROPERTY REGISTRATION FORM

Please Print or Type

ADDRESS OF PROPERTY:

24 Armour Road  
Number and Street  
Princeton NJ 08540  
City State Zip  
Block 10.01 Lot[s] 39.00

Is this or any part of this property used for residential rental purposes? ✓ Yes        No

[If yes, answer the remaining questions; if no, skip the remaining questions. Sign on page 6 and return the form.]

NUMBER OF RENTAL UNITS AT ABOVE LOCATION:

Room Rentals or Boarding Home  
Apartment Rentals:

Efficiency  
1 Bedroom  
2 Bedrooms  
3 Bedrooms  
Other [specify                     ]

Single Family House  
Secondary Residence  
Duplex [2 units]  
Multiple Dwelling [3 or more units]

# of Units

one

| Name & Address of Tenant[s] | # of Occupants | Rent[s]<br>\$ | Other Charges<br>[specify] | Services Provided<br>[e.g. parking, utilities, heat, a/c, etc.] |
|-----------------------------|----------------|---------------|----------------------------|-----------------------------------------------------------------|
| Michael Davis               | 1              | 170.00        |                            | ✓                                                               |
|                             |                |               |                            |                                                                 |
|                             |                |               |                            |                                                                 |
|                             |                |               |                            |                                                                 |
|                             |                |               |                            |                                                                 |
|                             |                |               |                            |                                                                 |
|                             |                |               |                            |                                                                 |



Z0519

NUMBER OF RENTAL UNITS AT ABOVE LOCATION - Continued

| Name & Address of Tenant[s] | # of Occupants | Rent[s]<br>\$ | Other Charges<br>[specify] | Services Provided |
|-----------------------------|----------------|---------------|----------------------------|-------------------|
|                             |                |               |                            |                   |
|                             |                |               |                            |                   |
|                             |                |               |                            |                   |
|                             |                |               |                            |                   |

DESCRIPTION OF DWELLING:

Year Constructed 1948 Number of Stories 2 Height of Building [feet] 35?  
# of Rooms 8 + bathrooms

Type of Construction:

☐ Masonry/Concrete ☐ Masonry/Steel ☒ Wood Frame ☐ Exterior Masonry Wall/Frame

☐ Other [specify] \_\_\_\_\_

OWNER

Check One:

- ☐ Corporation  
☐ Partnership  
☒ Individual Owner [s]  
☐ Unincorporated Business

Name of Owner[s]: Elizabeth S. Ettinghausen

Address of Owner[s]: \_\_\_\_\_

Number and Street

City

State

Zip

Telephone Number: \_\_\_\_\_

[home]

[office]

If the property is owned by a corporation or partnership, please attached a list of the names and residences of each officer, director, stockholder or partner of the corporation or partnership.

AGENT

Name of Agent: \_\_\_\_\_

Address of Agent: \_\_\_\_\_

Number and Street

City

State

Zip

Telephone Number: \_\_\_\_\_

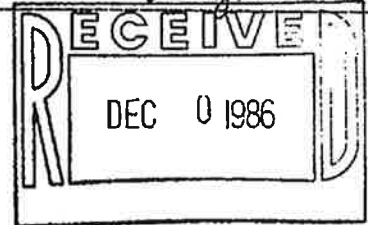
[home]

[office]

Agent's Signature ... Acceptance of Designation

Every landlord SHALL provide each occupant or tenant in his/her building or project a copy of the certificate of registration and at the time of the creation of a new tenancy. Amendments to the certificate shall be filed within 20 days after any change in the information required to be included herein. If an amended certificate is filed the landlord shall furnish each occupant or tenant with a copy of the amended certificate within 7 days after the amendment has been filed with the municipal clerk in the case of a tenant occupied one family dwelling or a non-owner occupied two family dwelling and within 7 days of receipt of a validated certificate from the Bureau of Housing Inspection in the case of a building or project subject to the "Hotel and Multiple Dwelling Law".

Date: 12/29/86 Owner's Signature Elizabeth S. Stenhouse  
Received by [Signature] Date Stamp:  
Signature - Clerk's Office



NOTE: Filing and acceptance of this form does not constitute approval by the Borough that the rental property complies with any applicable Municipal or State regulations pertaining to said property other than the purpose of rental registration.

| For Office Use Only      |                  |          |
|--------------------------|------------------|----------|
| Interdepartmental Dist.  | Date Distributed | Comments |
| CLERK'S OFFICE           |                  |          |
| ASSESSOR'S OFFICE        |                  |          |
| BUILDING/FIRE INSPECTION |                  |          |
| HEALTH DEPARTMENT        |                  |          |
| ZONING DEPARTMENT        |                  |          |

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